



Chatham County Finance Office  
P O Box 608  
Pittsboro, NC 27312

## REQUEST FOR BIDS

### Goldston Library Addition

**Release Date:** Tuesday, September 3, 2024

**Mandatory Pre-Bid Meeting:** Tuesday, September 10, 2024, at 10:00 AM EST

**Deadline for all questions:** Tuesday, September 17, 2024, at 12 Noon EST

**Addendum Release:** Thursday, September 19, 2024, at 5:00 PM EST (*if needed*)

**Bid Deadline:** Tuesday, October 1, 2024, at 2:00 PM EST

**Physical Address:** Chatham County Finance  
12 East St  
Pittsboro, NC 27312

**Mailing address:** Chatham County Finance  
PO Box 608  
Pittsboro, NC 27312

**Questions and Contact:** **Michele Peluso**  
Chatham County Finance  
[purchasing@chathamcountync.gov](mailto:purchasing@chathamcountync.gov)

**County Project Manager:** **Brian Stevens**  
Chatham County Facilities and Construction Division  
[Brian.stevens@chathamcountync.gov](mailto:Brian.stevens@chathamcountync.gov)

**Chatham County Bids  
and Opportunity Page:** <https://www.chathamcountync.gov/government/bid-proposal-opportunities>



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P O Box 608  
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**ADVERTISEMENT**  
Request for Bids:  
Goldston Library Addition

Chatham County is soliciting to create additional space in the existing Goldston Library based on the scope and drawings provided within these documents. Pursuant to NC General Statute 87.1 a general contractor license is required. Bids will be received by Michele Peluso, Chatham County Finance Office until **2:00 PM, EST, on Tuesday, October 1, 2024**. Bids will be opened publicly and read aloud at **2:00 PM EST**, at the Chatham County Performance Building 964 East Street, Pittsboro, NC 27312, second floor conference room.

Copies of the BID DOCUMENTS and addenda may be obtained in electronic format via the Chatham County webpage at <https://www.chathamcountync.gov/government/bid-proposal-opportunities>.

Each BID must be submitted in a sealed envelope, addressed to Michele Peluso, Chatham County Finance Office at 12 East St., Pittsboro, NC 27312. Each sealed envelope containing a BID must be plainly marked on the outside as BID for Goldston Library Addition and the envelope should bear on the outside the BIDDER'S GC License number, BIDDER'S name, address, and the name of the project for which the BID is submitted. If forwarded by mail, the sealed envelope containing the BID must be enclosed in another envelope addressed to the OWNER at PO Box 608, Pittsboro, NC 27312.

All BIDS must be made on the required BID form. All blank spaces for BID prices must be filled in, in ink or typewritten, and the BID form must be fully completed and executed when submitted. Only one copy of the BID form is required. BIDDERS must satisfy themselves of the accuracy of the estimated quantities in the BID Schedule by examination of the site and a review of the drawings and specifications including ADDENDA.

A **mandatory pre-bid meeting** is scheduled for **Tuesday, September 10, 2024, at 10:00 AM EST**, on the site located at **9235 Pittsboro Goldston Road, Goldston, NC 27252**. After BIDS have been submitted, the BIDDER shall not assert that there was a misunderstanding concerning the quantities of WORK or of the nature of the WORK to be done.

Questions regarding this RFB must be submitted in writing either via e-mail to Michele Peluso at [purchasing@chathamcountync.gov](mailto:purchasing@chathamcountync.gov) or by fax to 919-542-4261. All questions requiring additional information will be responded to in an addendum. **The deadline for questions is Tuesday, September 17, 2024, by 12:00 Noon. The last addendum for this project will be issued Thursday, September 19, 2024, by 5:00 PM.**



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P O Box 608  
Pittsboro, NC 27312

## INFORMATION FOR BIDDERS

Request for Bids:  
Goldston Library Addition

BIDS will be received by Chatham County (herein called the "OWNER") until **2:00 PM EST, Tuesday, October 1, 2024**, and then publicly opened and read aloud at the Chatham County Performance Building 964 East Street, Pittsboro, NC 27312, second floor conference room.

Contractors, who are both submitting a bid and attending the public bid open, may choose to present your sealed bid to the Finance Office representative at the bid open location, and prior to the 2:00 PM deadline.

The OWNER may waive any informalities or minor defects or reject any and all BIDS.

Any BID may be withdrawn prior to the above scheduled time for the opening of BIDS or authorized postponement thereof.

Any BID received after the time and date specified shall not be considered.

No BIDDER may withdraw a BID within 60 days after the actual date of the opening thereof. Should there be reasons why the contract cannot be awarded within the specified period, the time may be extended by mutual agreement between the OWNER and the BIDDER.

BIDDERS must satisfy themselves of the accuracy of the estimated quantities in the BID Schedule by examination of the site and a review of the drawings and specifications including ADDENDA.

The BID DOCUMENTS contain the provisions required for the construction of the PROJECT. Information obtained from an officer, agent, or employee of the OWNER or any other person shall not affect the risks or obligations assumed by the CONTRACTOR or relieve the contractor from fulfilling any of the conditions of the contract.

The NOTICE TO PROCEED shall be issued within Thirty (30) days of the execution of the Agreement by the OWNER. Should there be reasons why the NOTICE TO PROCEED cannot be issued within such period, the time may be extended by mutual agreement between the OWNER AND CONTRACTOR. If the NOTICE TO PROCEED has not been issued within the Thirty (30) day period or within the period mutually agreed upon, the CONTRACTOR may terminate the Agreement without further liability on the part of either party.

The OWNER may make such investigations as deemed necessary to determine the ability of the BIDDER to perform the WORK, and the BIDDER shall furnish to the OWNER all such information and data for this purpose as the OWNER may request.

The OWNER reserves the right to reject any BID if the evidence submitted by, or investigation of, such BIDDER fails to satisfy the OWNER that such BIDDER is properly qualified to carry out the obligations of the Agreement and to complete the WORK contemplated therein. A conditional or qualified BID will not be accepted.

Award will be made to the lowest responsive, responsible BIDDER.

All applicable laws, ordinances, and the rules and regulations of all authorities having jurisdiction over construction of the PROJECT shall apply to the contract throughout. Each BIDDER is responsible for inspecting the site and for reading and being thoroughly familiar with the BID DOCUMENTS. The failure or omission of any BIDDER to do any of the foregoing shall in no way relieve any BIDDER from any obligation in respect to its BID.



## ADDITIONAL CONTRACTING REQUIREMENTS

### A. Insurance Requirements

Chatham County requires selected contractors and any subcontractors to obtain and maintain, at their own expense, all insurance required by state and federal law. If requested, the selected organization agrees to provide Chatham County with evidence of required policies, certificates and/or endorsements upon the award of the contract. At a minimum, contractors and subcontractors are required to have the following coverage related to any contract work for Chatham County:

- **Worker's Compensation** - The contractor shall provide and maintain Worker's Compensation Insurance as required by the laws of North Carolina, as well as employer's liability coverage with minimum limits of \$500,000, covering all of Contractor's employees who are engaged in any work under the contract. If any work is sublet, the Contractor shall require the subcontractor to provide the same coverage for any of his employees engaged in any work under the contract. (Non-applicable-individual.)
- **Commercial General Liability** - General Liability Coverage on a Comprehensive Broad Form on an occurrence basis in the minimum amount of \$100,000 bodily injury per person, \$500,000 bodily injury per occurrence and \$100,000 property damage. (Defense cost shall be in excess of the limit of liability.)
- **Automobile** - Automobile Liability Insurance, to include liability coverage, covering all owned, hired, and non-owned vehicles used in performance of the contract. The minimum combined single limit shall be \$250,000.00 bodily injury and \$100,000 property damage.

The County shall be named as an additional insured on both the professional liability and comprehensive general liability coverage. Contractor shall furnish copies of all such policies and all renewals, terminations, and alterations to the County on a current basis.

### B. E-Verify

Effective September 4, 2013, North Carolina local government units are prohibited from entering into certain contracts unless the contractor and the contractor's subcontractors, if any, comply with the requirements of N.C. Gen. Stats. §64-26(a). Prior to providing any services hereunder, Contractor and Contractor's subcontractors, if any, are subject to the provisions of N.C. Gen. Stats. §64-26(a). Contractor agrees to fully comply with such statute and require Contractor's subcontractors, if any, to fully comply with such statute.

### C. Iran Divestment Act

Effective October 1, 2015, North Carolina local government units are prohibited from entering into certain contracts unless the contractor and the contractor's subcontractors, if any, comply with the requirements of §143C-6A-5. Contractor agrees to fully comply with such statute and require Contractors subcontractors, if any, to fully comply with such statute.

**D. Divestment from Companies that Boycott Israel:**

Contractor certifies that (a) it is not identified on the Israel Boycott List, or any other list created by the NC State Treasurer pursuant to NC G.S. 147-86.80 et al, and (b) it will not take any action causing it to appear on any such list during the term of the Contract Agreement.

**E. Additional County Conditions:**

- All proposing firms or individuals shall comply with all conditions, requirements, and specifications contained herein, with any departure constituting sufficient cause for rejection of the submittal. However, Chatham County reserves the right to change the conditions, requirements and specifications as it deems necessary.
- The bid form must be signed by a duly authorized official of the proposing organization or individual submitting the bid.
- No bids will be accepted from any person or organization that is in arrears for any obligation to Chatham County, or that otherwise may be deemed irresponsible or unresponsive by county staff or the Chatham County Board of Commissioners.
- Chatham County is not obligated to enter into any contract as a result of the RFB.
- Chatham County reserves the right to reject any and all bids or any part thereof and to select the most responsive firm that is deemed in the best interest of Chatham County.
- Chatham County may approve or disapprove the use of specific proposed subcontractors in any bid.
- Chatham County reserves the right to enter into an agreement with another proposing vendor in the event that the originally selected vendor fails to execute a contract with the County or defaults on their contract.
- Chatham County reserves the right to negotiate with any, none or all of the proposing company.
- All costs, including travel and expenses, incurred in the preparation of this proposal will be borne solely by the proposing company.
- The County will not return bid materials to those submitting proposals.
- No agreements with any selected vendor shall be binding until a contract is signed and executed by the Board of Commissioners or County Manager and authorized representatives of the vendor.
- Chatham County will follow all applicable local, state, and federal procurement requirements when expending federal funds and require all contractors to comply in full.
- Details of all terms and conditions for purchase orders and contracts can be found at <https://www.chathamcountync.gov/government/departments-programs-a-h/finance/forms>.

**BID BOND / PERFORMANCE AND PAYMENT BOND REQUIREMENTS**

**A. Bid Bond**

Pursuant to G.S. 143-129(b) Each proposal shall be accompanied by a cash deposit, a cashier's check or a certified check on some bank or trust company insured by the Federal Deposit Insurance Corporation in an amount not less than five percent (5%) of the proposal; or in lieu thereof, a bidder may offer a bid bond executed by a corporate surety licensed under the laws of North Carolina to execute such bond; conditioned that the surety will upon demand forth with make payment to the obligee upon said bond if the bidder fails to execute the contract



in accordance with the bid bond, and upon failure to forthwith make payment, the surety shall pay to the obligee an amount equal to the amount of said bond. The deposit shall be retained if the successful bidder fails to execute the contract within ten days (10) after notice of award or fails to give satisfactory surety required herein. **Bid Guaranties should be sealed in a separate envelope, marked as such, and attached to the envelope containing the bidder's proposal.** Checks are to be made payable to the County of Chatham. Facsimile bid bonds will not be accepted.

A refund of any cash deposits, made by unsuccessful bidders, will be issued as soon as the bids have been awarded by the County.

## **B. Performance and Payment Bond**

Having satisfied all conditions of the award set forth elsewhere in these documents, the successful bidder(s) shall furnish, within ten (10) days after award, the following:

1. A Performance Bond in the amount of one hundred percent (100%) of the Construction Contract amount, conditioned upon the faithful performance of the Contract in accordance with the plans, specifications and conditions of the Contract. Such bond shall be solely for the protection of the contracting body which awarded the Contract.
2. A Payment Bond in the amount of one hundred percent (100%) of the Construction Contract amount, conditioned upon the prompt payment for all labor or materials for which a Contractor or Subcontractor is liable. The Payment Bond shall be solely for the protection of the persons furnishing materials or performing labor for which a Contractor or Subcontractor is liable.

Such bond shall be in the same form as that indicated in the contract documents and shall bear the same date subsequent to that of the agreement. The current Power of Attorney for the person who signs for any surety shall be attached to such bond. This bond shall be signed by a guarantee or surety company licensed to do business in the State of North Carolina and the agent MUST be a North Carolina resident.

The failure of the successful bidder to supply the required bonds within ten (10) days after award, or within such extended period as the Owner may grant, shall constitute a default; and the Owner may either award the contract to the next lowest responsible bidder or re advertise for bids. If the successful bidder fails to provide satisfactory surety, the Owner shall retain the bid guarantee as outlined in these instructions.

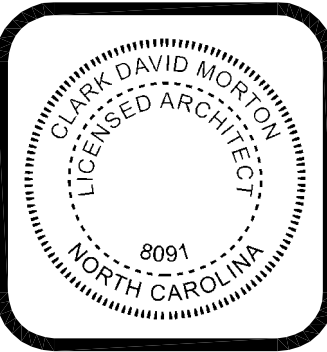
Chatham County is an Equal Opportunity Employer and does not discriminate on the basis of sex, marital status, race, color, creed, national origin, age or disability.

## PROJECT INFORMATION

Work to be included in this project will be as identified within the project documents with minimal invasion (or construction) associated with the existing space.

This project will be performed while the existing facility remains in operation which will require proper supervision and behavior by all parties associated with the project. Any interactions with staff or patrons that is found to be inappropriate could result in removal of individuals or contractors from the site/project.

Please note that as this is a government managed project, items/materials noted within the documents are to be used as a basis for design and alternative items/materials can be submitted for approval as long as they meet the equal to or better than standard against the basis of design. Submittals may be requested for substantial materials/equipment such as HVAC equipment, plumbing fixtures, cabinets and countertops, etc. **Submittals will be required for sign-off for finishes such as paint, flooring, base, color choices, etc.**



# INDEX OF DRAWINGS

## ARCHITECTURAL DRAWINGS

- CS-1 DRAWING INDEX, NOTES, CODE REFERENCES
- LS-1 LIFE SAFETY PLAN (PROVIDED PRIOR TO PERMIT)
- LS-2 FIRE EXITING PLAN (PROVIDED PRIOR TO PERMIT)
- SP-1 EXISTING SITE PLAN
- SP-2 PROPOSED SITE PLAN
- A-1 PROPOSED FLOOR PLAN
- A-2 EXISTING FLOOR PLAN
- A-3 PROPOSED ELEVATIONS
- A-4 EXISTING ELEVATIONS
- A-5 PROPOSED ROOF PLAN
- A-6 EXISTING ROOF PLAN
- A-7 SECTIONS AND CABINetry

## ELECTRICAL DRAWINGS

- E-1 ELECTRICAL NOTES, LEGENDS AND SCHEDULES
- E-2 LIGHTING AND ELECTRICAL PLAN AND NOTES
- E-3 PANEL SCHEDULES AND RISER DIAGRAM

## PLUMBING DRAWINGS

- P-1 PLUMBING NOTES AND FIXTURE SCHEDULE
- P-1 PLUMBING FLOOR PLAN AND RISER

## MECHANICAL - HVAC DRAWINGS

- M-1 HVAC NOTES, SCHEDULE AND DIFFUSER SCHEDULE
- M-2 DUCT LAYOUT, NOTES, AND DETAILS

## STRUCTURAL DRAWINGS

- S-1 FOUNDATION PLAN AND DETAILS
- S-2 FLOOR PLAN AND DETAILS
- S-3 ROOF FRAMING PLAN AND DETAILS
- S-4 DESIGN CRITERIA AND STRUCTURAL NOTES

## CODE - TABULATION

**APPLICABLE CODES**  
 2018 NORTH CAROLINA BUILDING CODE, AS AMENDED.  
 LATEST ADOPTED EDITION - NATIONAL ELECTRIC CODE  
 APPLICABLE CODES BY REFERENCE

## OCCUPANCY

BUSINESS: B

## TYPE OF CONSTRUCTION

TYPE V-A

## GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH REQUIREMENTS OF 2018 NORTH CAROLINA BUILDING CODE.
2. THE CONTRACTOR SHALL REVIEW THE DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK AND SHALL SUBMIT ANY QUESTIONS IMMEDIATELY IN WRITING TO THE BIDDING AGENCY.
3. DO NOT SCALE DRAWINGS.
4. SUBMIT A MINIMUM OF THREE (3) COPIES OF SHOP DRAWINGS FOR FLOOR AND ROOF SYSTEMS FOR REVIEW AND APPROVAL TO THE BIDDING AGENCY PRIOR TO FABRICATION.
5. THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE NORTH CAROLINA ENERGY CODE FOR BUILDING CONSTRUCTION.
6. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY. ALL WORK SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA BUILDING CODE, CURRENT ADOPTED EDITION.
7. TERMITE PROTECTION SHALL BE PROVIDED IN STRICT COMPLIANCE WITH NORTH CAROLINA BUILDING CODE REQUIREMENTS. PROVIDE CERTIFICATE AS DIRECTED BY BUILDING OFFICIAL.
8. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
9. THE WINDOW AND DOOR SUPPLIER SHALL PROVIDE SHOP DRAWINGS TO THE BIDDING AGENCY FOR REVIEW AND APPROVAL.
10. ALL NEW EXTERIOR WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED.
11. PROVIDE METAL THRESHOLD AT ALL EXTERIOR DOORS.
12. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE NORTH CAROLINA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION.
13. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMIT AND INSPECTION COSTS RELATED TO THE PROJECT. SAID COSTS SHALL BE INCLUDED IN THE BID.
15. THE CONTRACTOR SHALL PROVIDE A METAL DUMPSTER AND PORT-O-LET FOR THE DURATION OF CONSTRUCTION. SITE SHALL BE LEFT IN A CLEAN CONDITION AT THE END OF EACH WORKDAY, WITH PILING BEING DONE TO REMOVE ANY LOOSE DEBRIS, OR GARBAGE.
16. THE CONTRACTOR SHALL PROVIDE FINE GRADING AT ANY PORTION OF THE EXISTING SITE THAT HAS BEEN DAMAGED DURING CONSTRUCTION. ALL DAMAGED GRASSED AREAS SHALL HAVE NEW SOG PLACED OVER 1 1/2" OF SOIL/COMPOST MIXTURE. THIS SHALL BE COMPLETED PRIOR TO FINAL INSPECTION AND ACCEPTANCE.
17. THE CONTRACTOR SHALL REVIEW MATERIAL NOTES SHOWN ON SHEET A-1 AND SITE WORK NOTED ON SHEET SP-1.
18. IT IS THE INTENT THAT THE LIBRARY WILL REMAIN IN OPERATION DURING THE PERIOD OF THE CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH LIBRARY STAFF AS NEEDED TO MAINTAIN A SAFE OPERATING ENVIRONMENT FOR THE DURATION OF THE PROJECT.

# ADDITION AND ALTERATIONS

For  
**Chatham County Public Libraries**  
 At

## Goldston Public Library

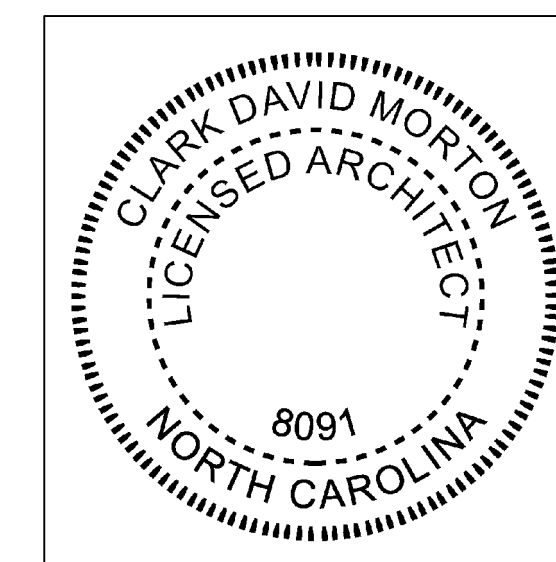
9235 Pittsboro Goldston Road  
 Goldston, North Carolina 27252

## CLARK DAVID MORTON, Architect

ARCHITECTURE - PLANNING - CONSTRUCTION OBSERVATION

133 Colonial Trail Court  
 Pittsboro, North Carolina 27312  
 North Carolina License No. 8091  
 (305) 753- 1798 (c) (919) 533-6979  
 cdmorton@bellsouth.net

Clark David Morton, Architect  
 No. Carolina Lic. #8091  
 4 April 2024



CLARK DAVID MORTON, ARCHITECT  
 North Carolina Lic. No. 8091

**Bid Set**

CLARK DAVID MORTON, ARCHITECT  
 Architecture - Planning - Construction Observation  
 133 Colonial Trail Court  
 Pittsboro, North Carolina 27312  
 305-753-1798 (c) 919-533-6979  
 cdmorton@bellsouth.net

ADDITION & ALTERATION  
 to  
**Goldston Public Library**  
 9235 Pittsboro Goldston Road  
 Goldston, North Carolina 27252

REVISIONS

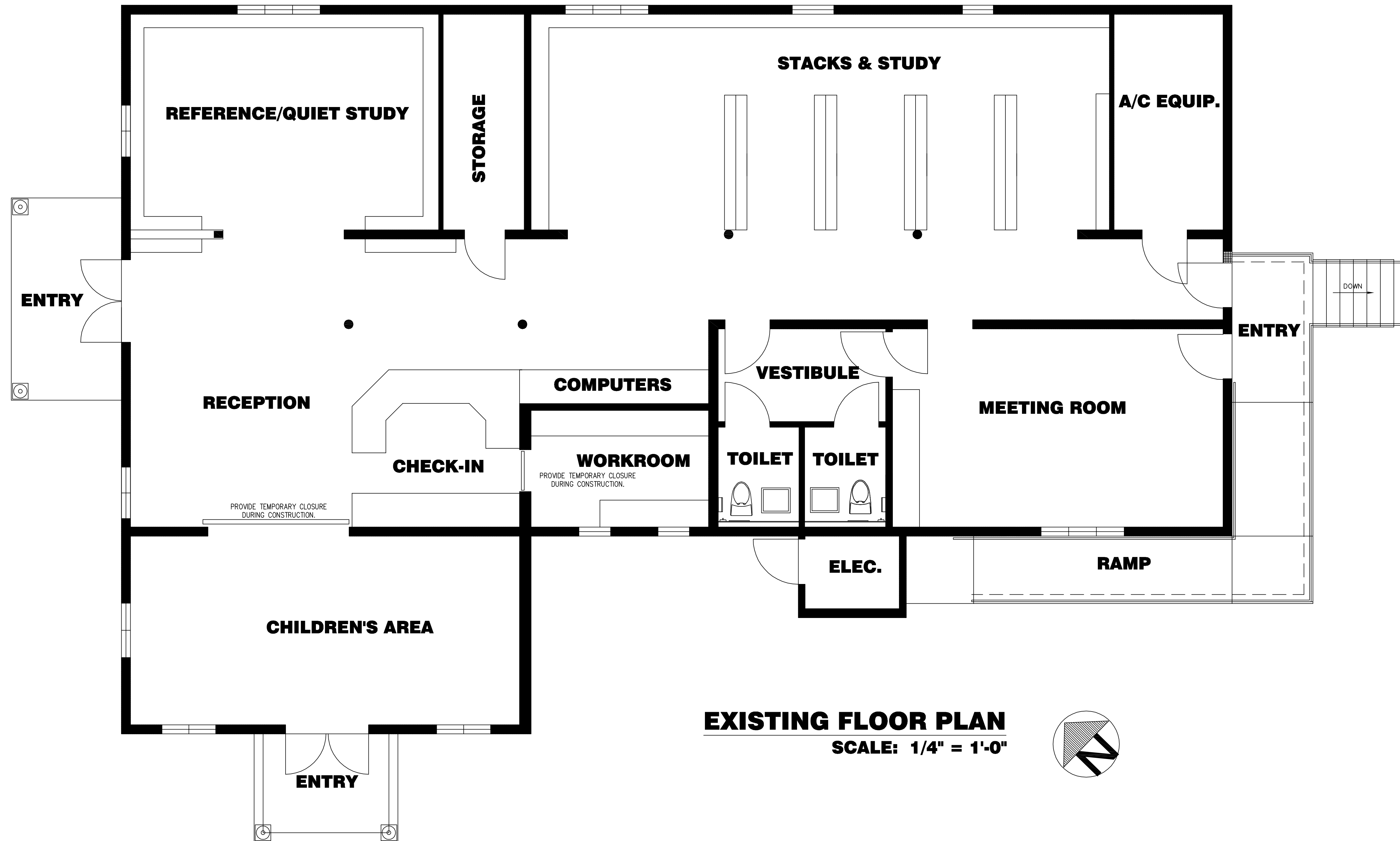

PROJECT 20-001  
 INITIAL ISSUE DATE  
 4 April 2024

SHEET  
 CS-1









**CLARK DAVID MORTON, ARCHITECT**  
North Carolina Lic. No. 8091

**Bid Set**

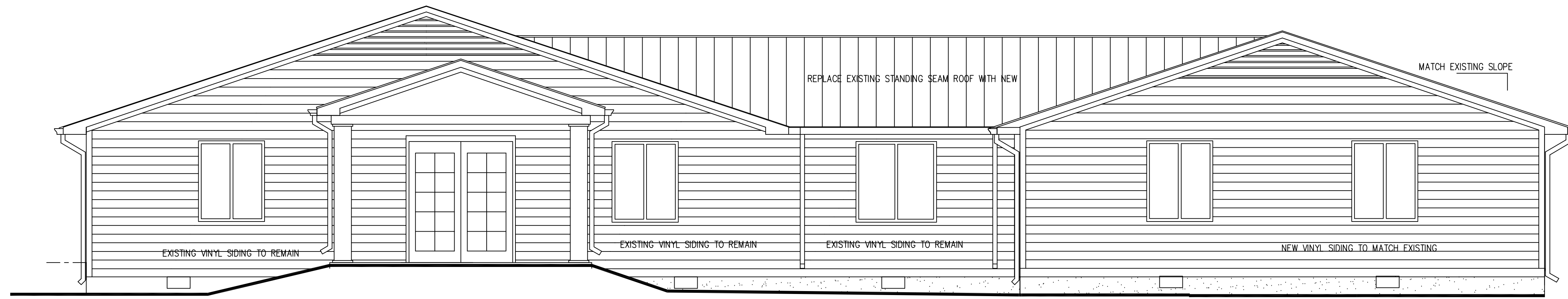
CLARK DAVID MORTON, ARCHITECT  
Architecture • Planning • Construction Observation  
133 Colonial Trail Court  
Pittsboro, North Carolina 27312  
305-753-1798 (C) 919-533-6979  
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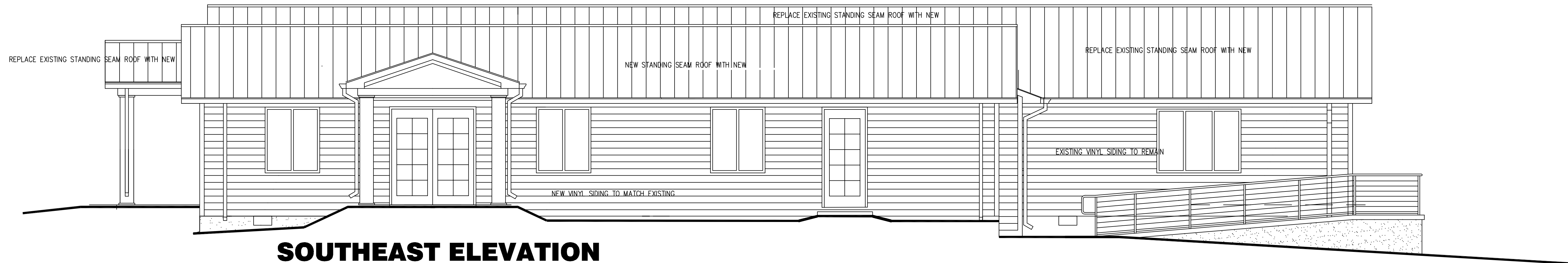
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4 April 2024

SHEET NO.  
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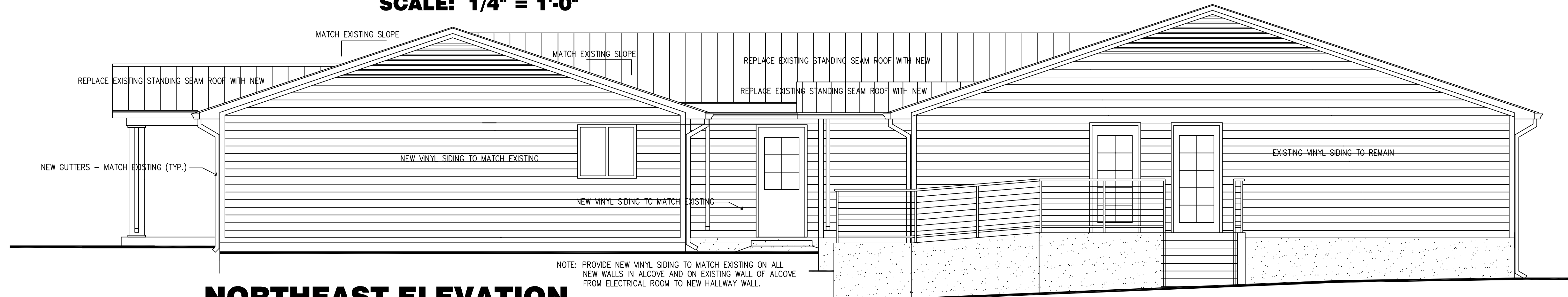
**SOUTHWEST ELEVATION**

SCALE: 1/4" = 1'-0"



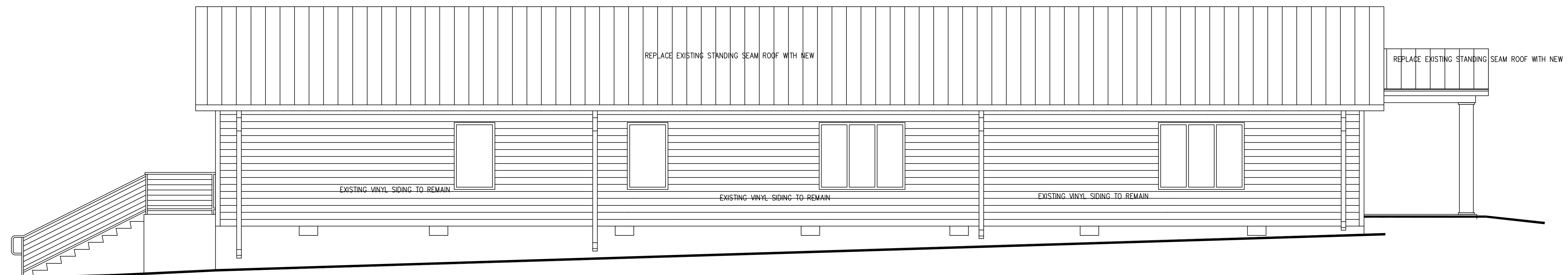
**SOUTHEAST ELEVATION**

SCALE: 1/4" = 1'-0"



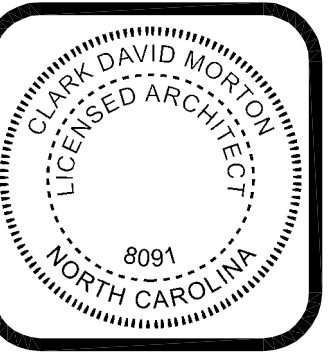
**NORTHEAST ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTHWEST ELEVATION**

SCALE: 1/4" = 1'-0"



**CLARK DAVID MORTON, ARCHITECT**  
North Carolina Lic. No. 8091

**Bid Set**

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Pittsboro, North Carolina 27312  
305-753-1798 (c) 919-535-6979  
cdmorton@bellsouth.net

**ADDITION & ALTERATION**  
to  
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9235 Pittsboro Goldston Road  
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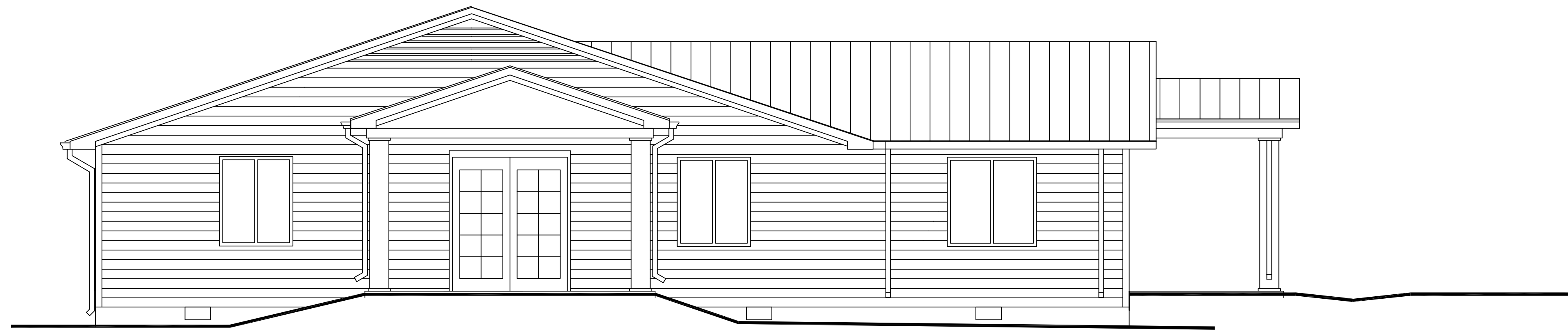
**REVISIONS**

**PROJECT 20-001**  
INITIAL ISSUE DATA  
4 April 2024

**SHEET**

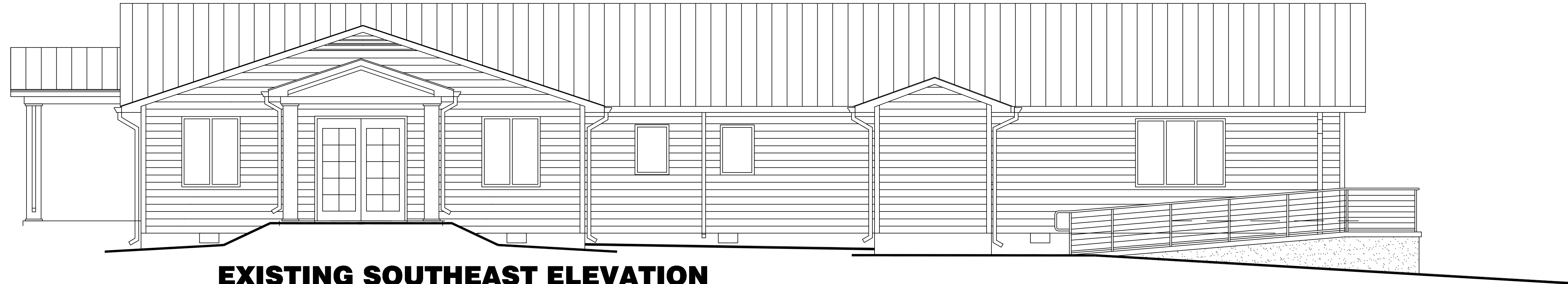
**A-3**





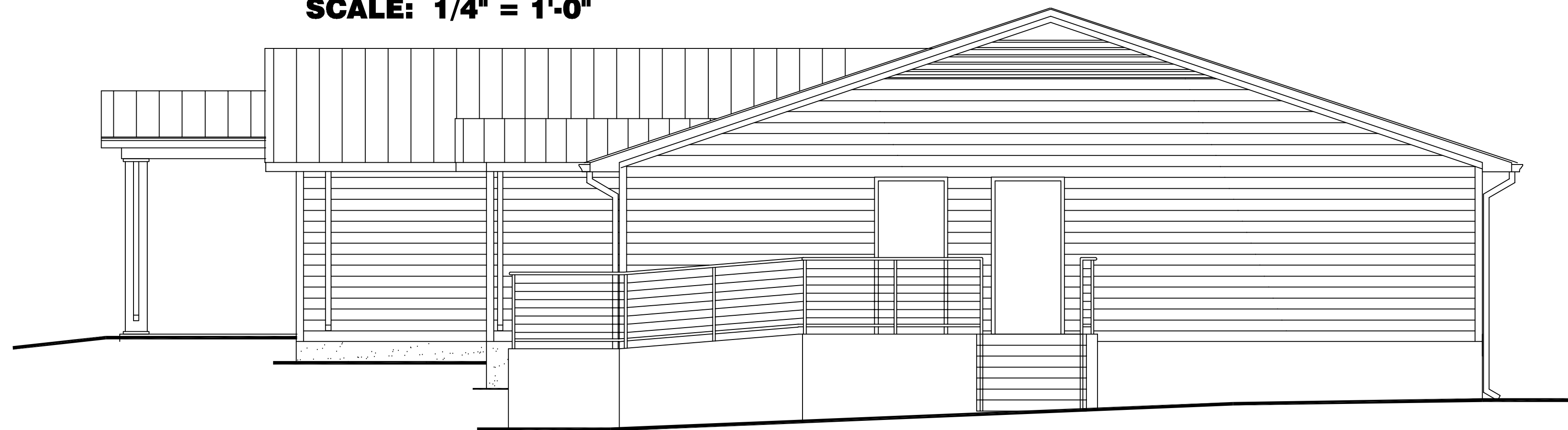
**EXISTING SOUTHWEST ELEVATION**

SCALE: 1/4" = 1'-0"



**EXISTING SOUTHEAST ELEVATION**

SCALE: 1/4" = 1'-0"



**EXISTING NORTHEAST ELEVATION**

SCALE: 1/4" = 1'-0"



**EXISTING NORTHWEST ELEVATION**

SCALE: 1/4" = 1'-0"



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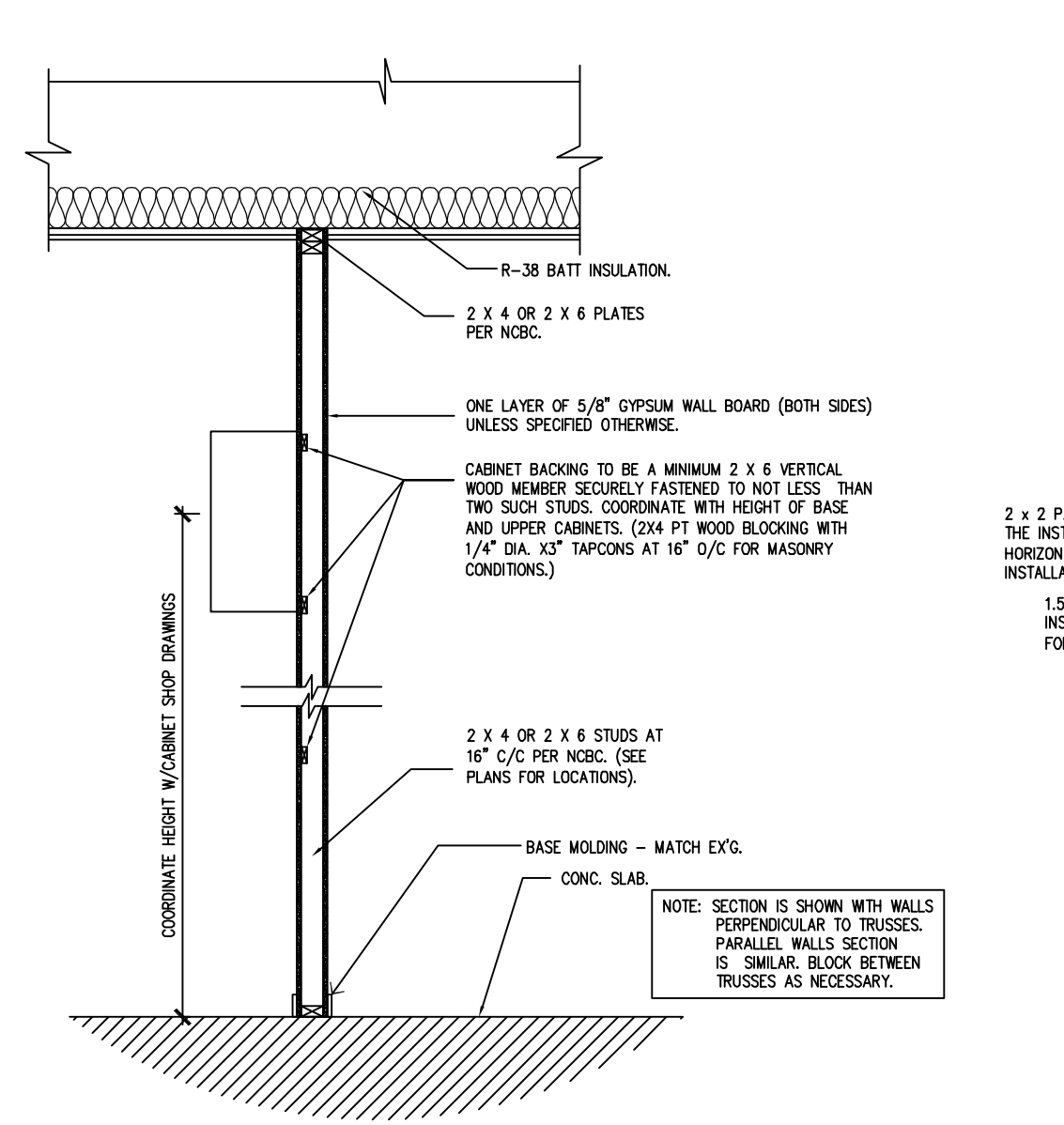
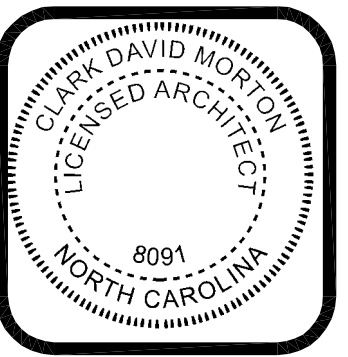
**ADDITION & ALTERATION**  
to  
**Goldston Public Library**  
9235 Pittsboro Goldston Road  
Goldston, North Carolina 27522

REVISIONS  
  
  
  
  
**PROJECT 20-001**  
**INITIAL ISSUE DATE**  
4 April 2024

SHEET NO.  
**A-4**

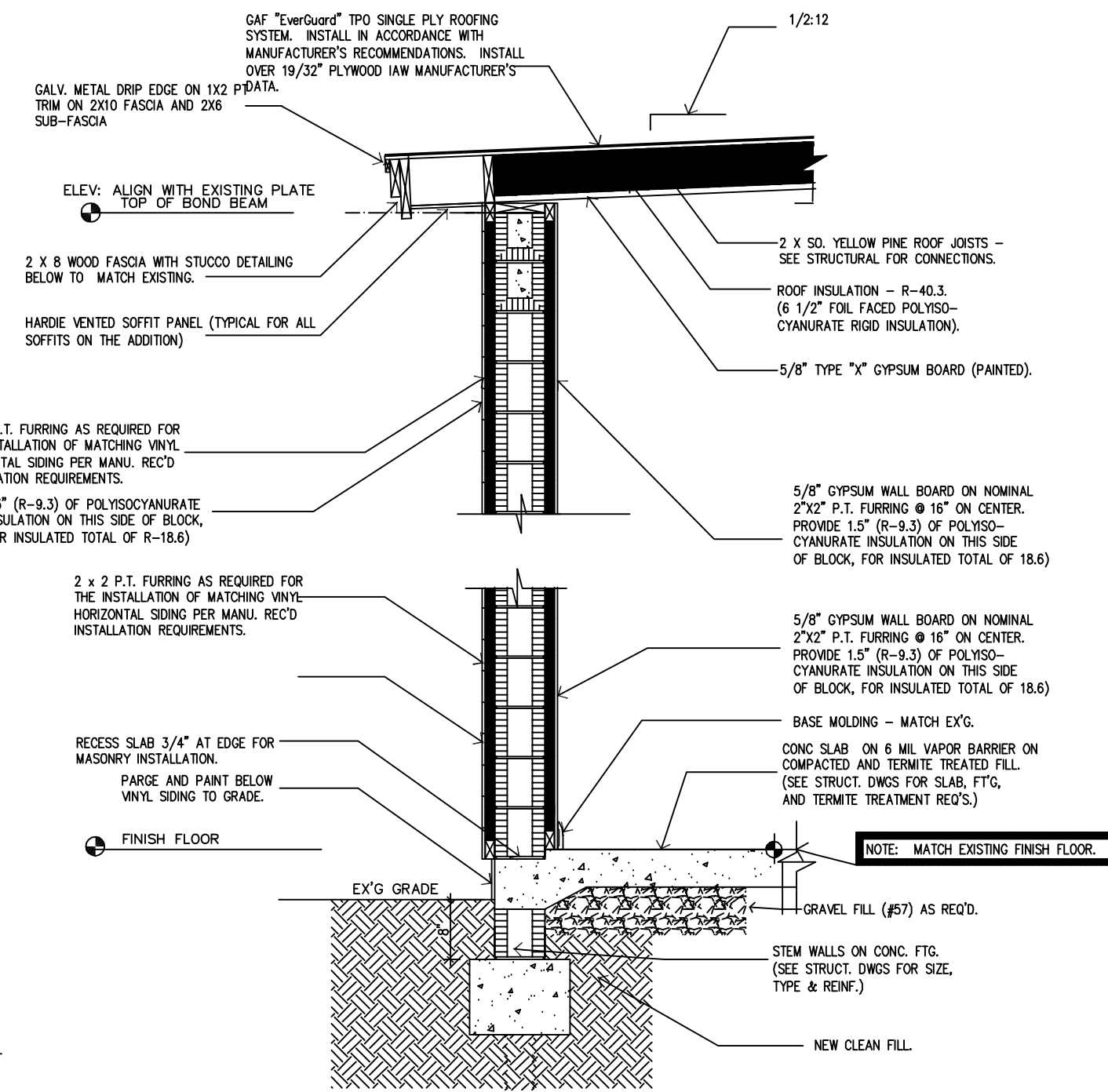




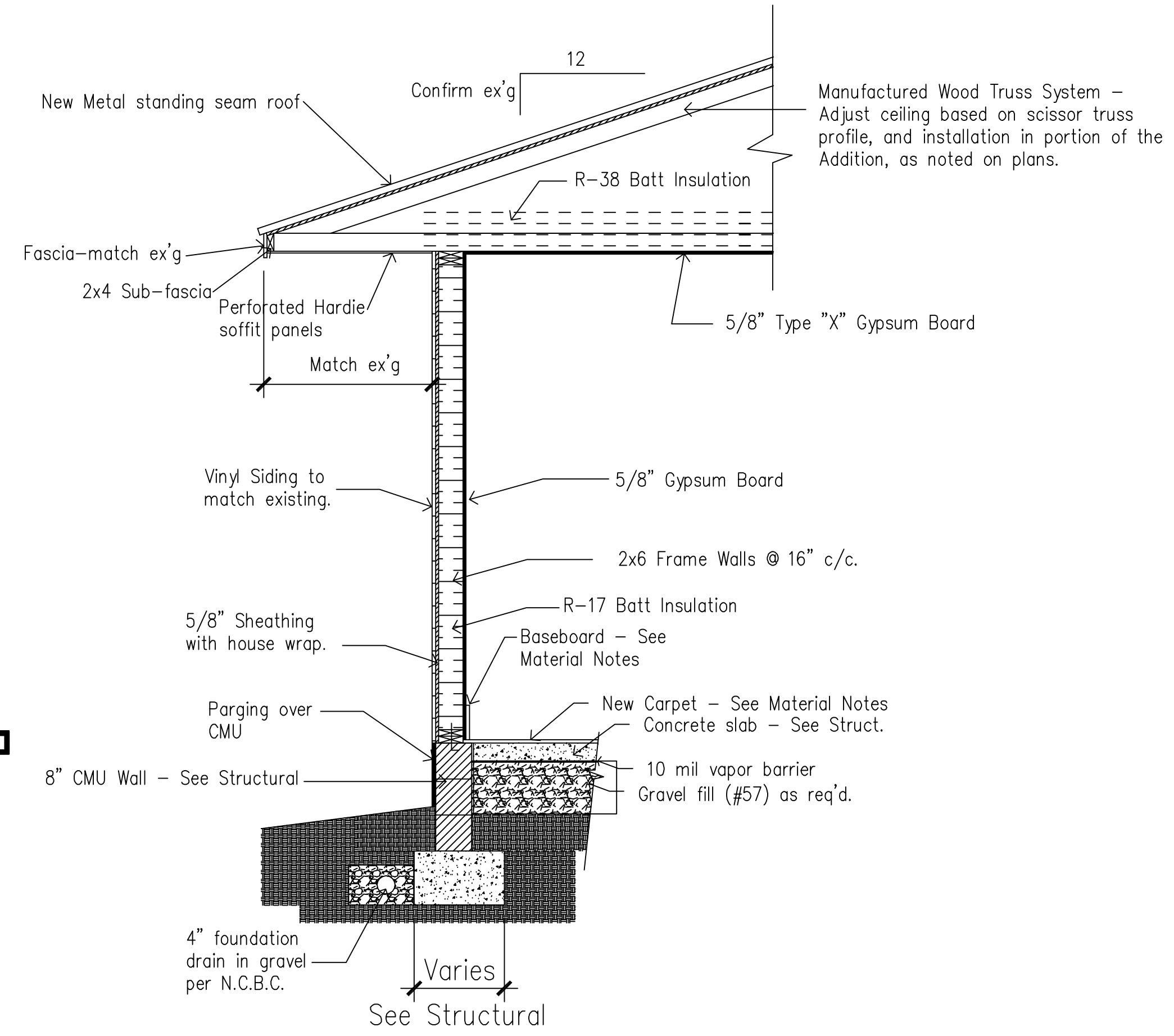


**Typical Interior Wall Section**  
Scale: 1/2" = 1'-0"

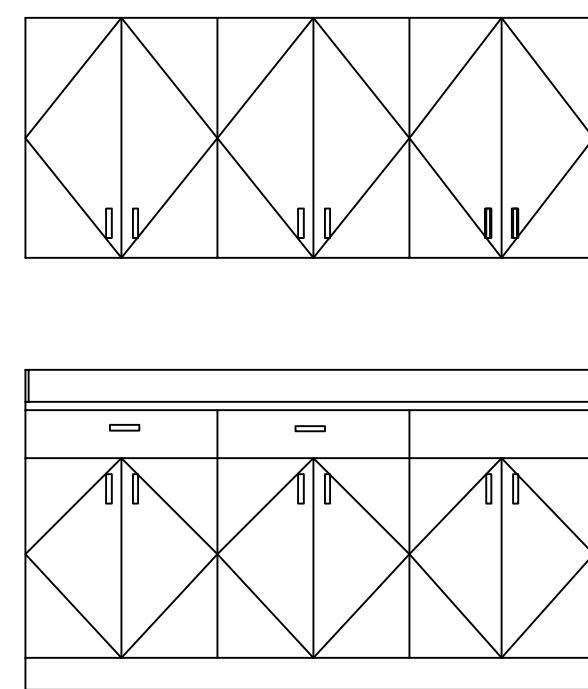
ROOF INSULATION = R-38  
WALL INSULATION = R-17  
DUCT INSULATION = R-6



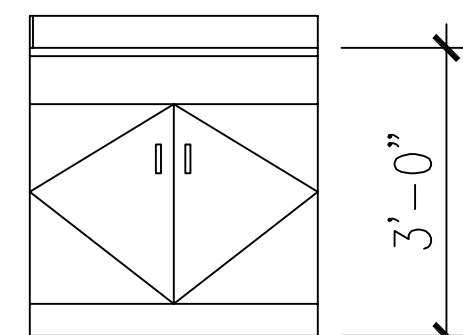
**Typical CMU Wall Section**  
Scale: 1/2" = 1'-0"



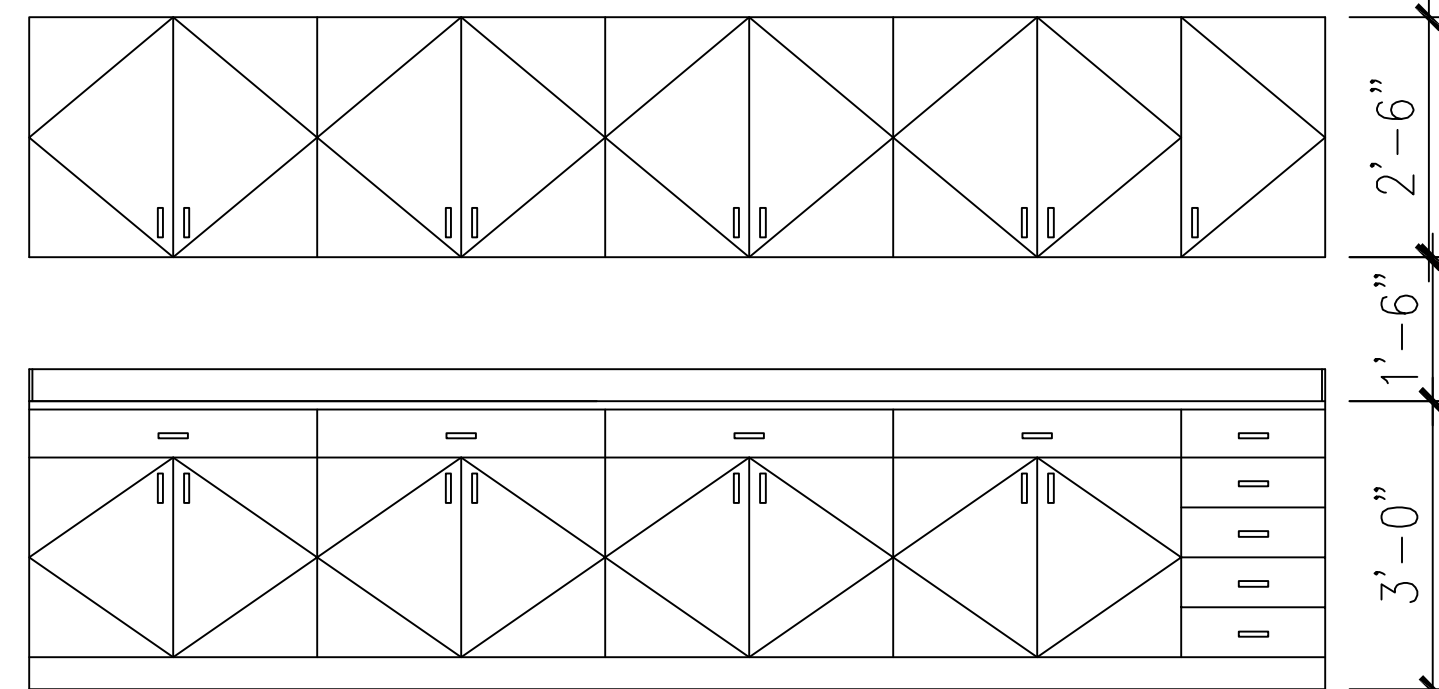
**Typical Frame Wall Section**  
Scale: 1/2" = 1'-0"



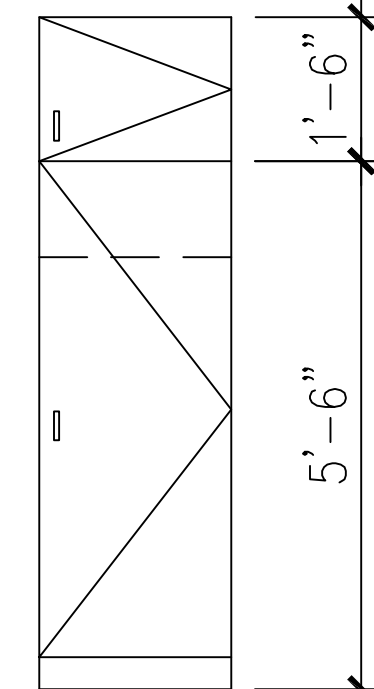
**Vestibule**  
Scale: 1/2" = 1'-0"



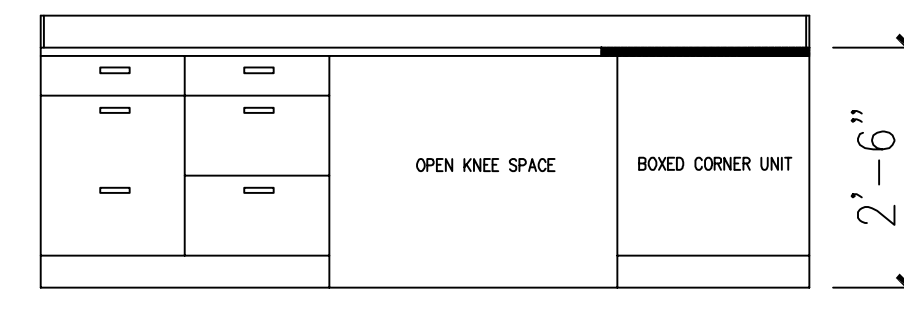
**Staff Toilet**  
Scale: 1/2" = 1'-0"



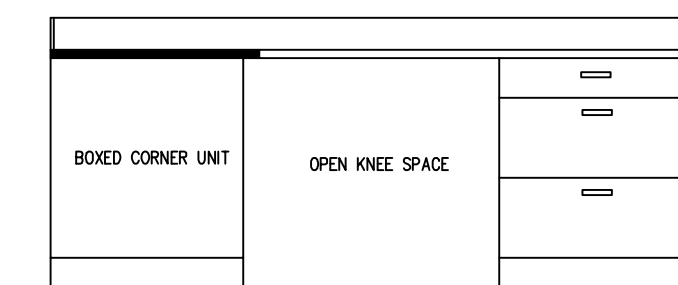
**Workroom**  
Scale: 1/2" = 1'-0"



**Pantry**  
Scale: 1/2" = 1'-0"



**North View**



**East View**

**Administration**

Scale: 1/2" = 1'-0"

CLARK DAVID MORTON, ARCHITECT  
North Carolina Lic. No. 8091

**Bid Set**

CLARK DAVID MORTON, ARCHITECT  
Architecture - Planning - Construction Observation  
133 Colonial Trail Court  
Pittsboro, North Carolina 27312  
305-753-1798 (C) 910-533-6879  
cdmorton@bellsouth.net

ADDITION & ALTERATION

to  
**Goldston Public Library**  
9235 Pittsboro Goldston Road  
Goldston, North Carolina 27252

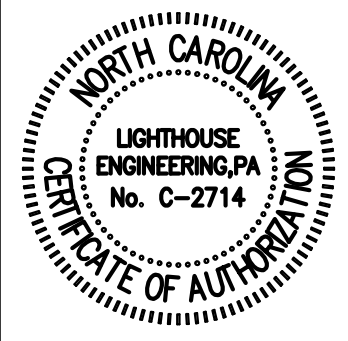
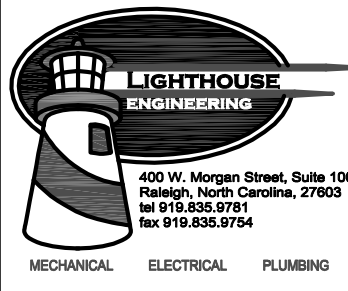
REVISIONS

PROJECT 20-001  
INITIAL ISSUE DATE  
4 April 2024

SHEET NO.

**A-7**





PRICING SET

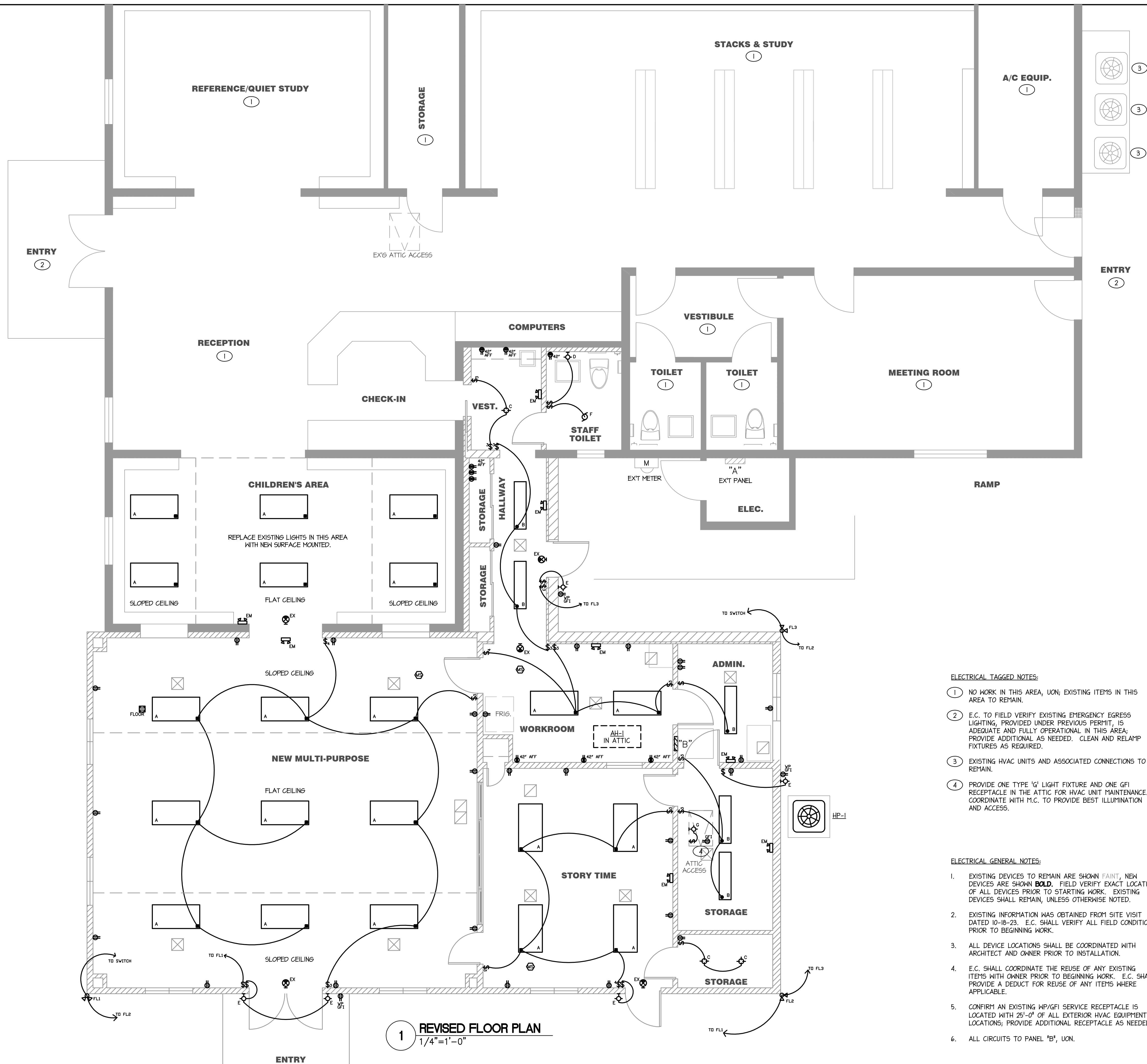
PROPOSED ADDITION AND ALTERATION  
**FRIENDS OF THE GOLDSTON LIBRARY**  
9235 Pittsboro Goldston Road  
Goldston, North Carolina 27252

REVISIONS

DATE  
**03-19-2024**  
DRAWN BY  
**JRS**  
PROJECT NO.

SHEET TITLE  
**ELECTRICAL PLANS**

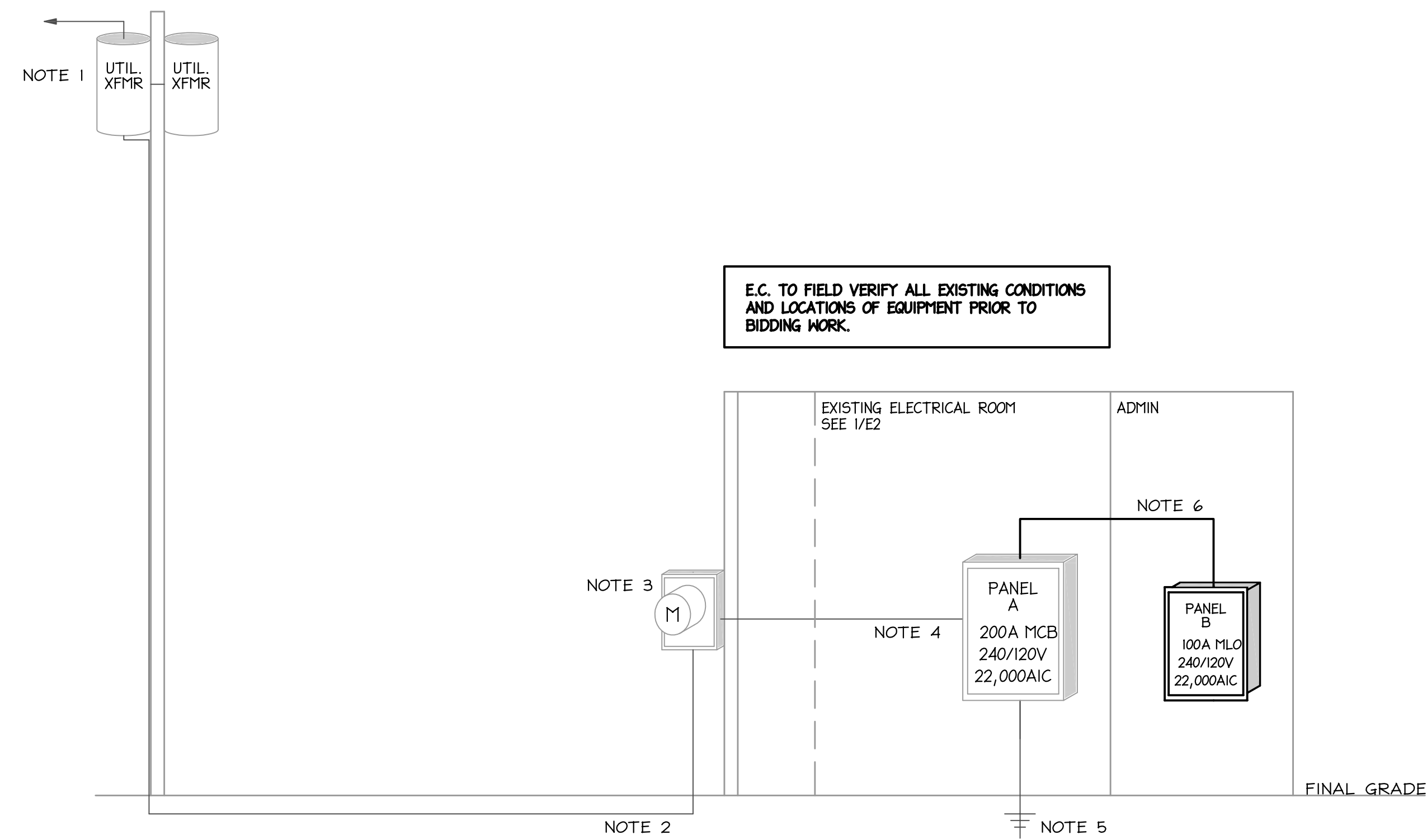
SHEET  
**E2**



- ELECTRICAL TAGGED NOTES:**
- NO WORK IN THIS AREA, UON; EXISTING ITEMS IN THIS AREA TO REMAIN.
  - E.C. TO FIELD VERIFY EXISTING EMERGENCY EGRESS LIGHTING, PROVIDED UNDER PREVIOUS PERMIT, IS ADEQUATE AND FULLY OPERATIONAL IN THIS AREA; PROVIDE ADDITIONAL AS NEEDED. CLEAN AND RELAMP FIXTURES AS REQUIRED.
  - EXISTING HVAC UNITS AND ASSOCIATED CONNECTIONS TO REMAIN.
  - PROVIDE ONE TYPE 'G' LIGHT FIXTURE AND ONE GFI RECEPTACLE IN THE ATTIC FOR HVAC UNIT MAINTENANCE. COORDINATE WITH M.C. TO PROVIDE BEST ILLUMINATION AND ACCESS.

- ELECTRICAL GENERAL NOTES:**
- EXISTING DEVICES TO REMAIN ARE SHOWN FAINT, NEW DEVICES ARE SHOWN BOLD. FIELD VERIFY EXACT LOCATION OF ALL DEVICES PRIOR TO STARTING WORK. EXISTING DEVICES SHALL REMAIN, UNLESS OTHERWISE NOTED.
  - EXISTING INFORMATION WAS OBTAINED FROM SITE VISIT DATED 10-18-23. E.C. SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO BEGINNING WORK.
  - ALL DEVICE LOCATIONS SHALL BE COORDINATED WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
  - E.C. SHALL COORDINATE THE REUSE OF ANY EXISTING ITEMS WITH OWNER PRIOR TO BEGINNING WORK. E.C. SHALL PROVIDE A DUCT FOR REUSE OF ANY ITEMS WHERE APPLICABLE.
  - CONFIRM AN EXISTING HP/GFI SERVICE RECEPTACLE IS LOCATED WITH 25'-0" OF ALL EXTERIOR HVAC EQUIPMENT LOCATIONS; PROVIDE ADDITIONAL RECEPTACLE AS NEEDED.
  - ALL CIRCUITS TO PANEL 'B', UON.

ZTY-2318-E2.dwg  
Apr 02, 2024 9:43am



E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.

**1 EXISTING POWER RISER DIAGRAM**  
FOR REFERENCE ONLY

**EXISTING POWER RISER DIAGRAM NOTES:**

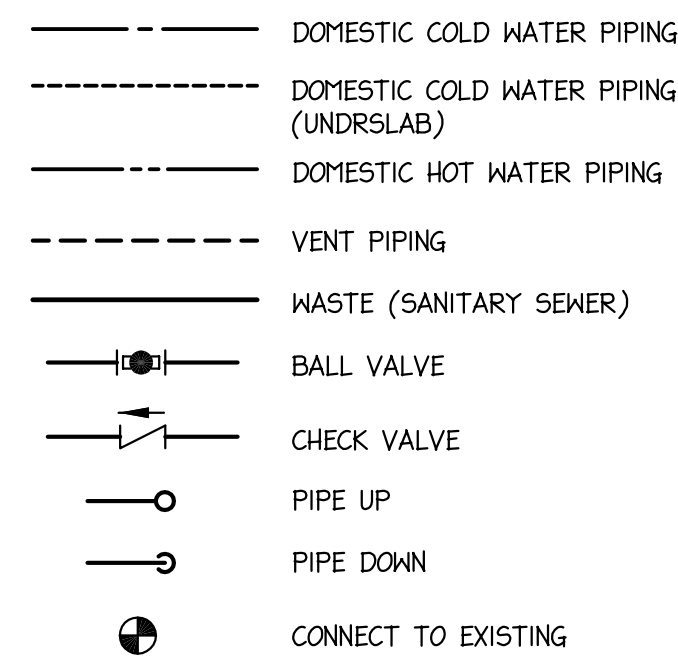
ITEMS SHOWN FAINT ARE EXISTING. EXISTING INFORMATION WAS OBTAINED FROM SITE VISIT DATED 09-29-20. E.C. SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO BEGINNING WORK.

1. EXISTING POLE MOUNTED UTILITY TRANSFORMER(S). E.C. TO NOTIFY UTILITY OF ADDITIONAL LOAD TO BE ADDED BY THIS PROJECT AND CONFIRM THE EXISTING TRANSFORMER IS SIZED ADEQUATELY.
2. EXISTING SERVICE LATERAL CONDUCTORS TO METER.
3. EXISTING METER BASE.
4. EXISTING 200A FEEDER.
5. EXISTING GND. TO GROUNDING ELECTRODE SYSTEM.
6. 4#2 CU., #8 CU. GND IN 1 1/2" CONDUIT.

**PLUMBING GENERAL NOTES**

- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT IN STRICT ACCORDANCE WITH THE "YEAR" STATE PLUMBING CODE AND ALL STATE AND LOCAL CODES, STANDARDS, AND PER MANUFACTURER'S DIRECTIONS.
- ALL PLUMBING FIXTURES AND PLUMBING SYSTEM EQUIPMENT SHALL BE PROVIDED COMPLETE WITH ALL ACCESSORIES, HANGERS, VALVES, STOPS, TAILPIECES, TRAPS, FAUCETS, STRAINERS, ETC. SEE FIXTURE SCHEDULE.
- FURNISH AND INSTALL COMPLETE SYSTEMS OF SOIL, WASTE, VENT, HOT AND COLD WATER PIPING FROM ALL PLUMBING FIXTURES, AND/OR OTHER EQUIPMENT.
- CLEANOUT PLUGS SHALL BE INSTALLED IN ACCORDANCE WITH PLUMBING CODE REQUIREMENTS. PROVIDE CLEANOUTS AT THE BASE OF ALL WASTE STACKS, AT EVERY FOUR 45 DEGREE TURNS, AND AT EVERY 100 FEET. CLEANOUTS SHALL BE PLACED IN READILY ACCESSIBLE LOCATIONS.
- ALL SOIL, WASTE, AND VENT LINES SHALL BE CONCEALED IN THE BUILDING CONSTRUCTION.
- COPPER PIPING SHALL BE PROTECTED AGAINST CONTACT WITH MASONRY OR DISSIMILAR METALS. ALL HANGERS, SUPPORTS, ANCHORS, AND CLIPS SHALL BE COPPER OR COPPER PLATED. WHERE COPPER PIPING IS CARRIED ON IRON TRAPEZE HANGERS WITH OTHER PIPING, SATISFACTORY AND PERMANENT ELECTROLYTIC ISOLATION MATERIAL SHALL PROTECT THE COPPER AGAINST CONTACT WITH OTHER METALS.
- WHERE COPPER PIPING IS SLEEVED THROUGH MASONRY, SLEEVES SHALL BE COPPER OR RED BRASS. WHERE COPPER MUST BE CONCEALED IN A MASONRY PARTITION OR AGAINST MASONRY, CONTACT SHALL BE PREVENTED BY COATING THE COPPER HEAVILY WITH ASPHALTIC ENAMEL AND PROVIDING 15# ASPHALT SATURATED FELT BETWEEN THE PIPE AND MASONRY.
- THE PLUMBING CONTRACTOR SHALL COORDINATE CLOSELY WITH THE MECHANICAL AND THE ELECTRICAL CONTRACTORS TO AVOID CONFLICT WITH OTHER TRADES.
- CEILING AREA HAS LIMITED SPACE. CONTRACTOR MUST COORDINATE WITH OTHER TRADES FOR ALL STRUCTURES, PIPING, CONDUIT, DUCTWORK, LIGHTING, ETC. TO PROPERLY BE INSTALLED.
- ALL PIPE INSULATION SHALL RUN CONTINUOUSLY THROUGH FLOORS, WALLS, AND PARTITIONS.
- PROVIDE BALL VALVES IN ALL BRANCH LINES OF THE HOT AND COLD WATER DISTRIBUTION SYSTEM ON 1/2" AND LARGER CW 4 HW AND AS SHOWN ON PLANS, RISERS, AND SCHEMATIC DETAILS. PROVIDE SHUT OFF VALVES ON THE FIXTURE SUPPLY TO EACH PLUMBING FIXTURE, APPLIANCE, OR MECHANICAL EQUIPMENT.
- VACUUM BREAKERS SHALL BE PROVIDED FOR ALL FIXTURES TO WHICH HOSES MAY BE ATTACHED. VACUUM BREAKERS SHALL BE PERMANENTLY ATTACHED.
- WASTE AND VENT PIPING SHALL BE AS FOLLOWS:  
BELOW SLAB: PVC PIPE, PVC SOCKET FITTINGS, AND SOLVENT-CEMENTED FITTINGS.  
ABOVE SLAB: PVC PIPE, PVC SOCKET FITTINGS, AND SOLVENT-CEMENTED FITTINGS.
- DOMESTIC WATER PIPING ABOVE SLAB SHALL BE TYPE 'L' COPPER. INSULATION IS REQUIRED ON ALL WATER SUPPLY PIPING ABOVE FINISHED FLOOR. INSULATION TO HAVE A MINIMUM R FACTOR OF 6.5 OR PER LOCAL JURISDICTION.
- ALL PLUMBING VENT LOCATIONS TO BE VERIFIED WITH ARCHITECT BEFORE INSTALLATION.
- ALL PLUMBING LINES REQUIRED TO BE JETTED PRIOR TO TURNOVER.
- PIPING SHOULD BE COORDINATED WITH ALL STRUCTURAL FOOTINGS AND FOUNDATIONS. PIPE SHOULD BE OFFSET TO AVOID CONTACT WITH FOOTINGS AND FOUNDATION WALLS. IF PIPING MUST RUN UNDERNEATH A FOOTING OR THROUGH A FOUNDATION WALL, THE PIPE MUST BE INSTALLED WITH A RELIEVING ARCH OR IN A PIPE SLEEVE.
- INVERT ELEVATIONS SHALL BE ESTABLISHED AND VERIFIED BEFORE WASTE PIPING IS INSTALLED SO THAT PROPER SLOPES WILL BE MAINTAINED.
- REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF PLUMBING FIXTURES.
- PROVIDE ACCESS DOORS FOR ALL VALVES AND DEVICES REQUIRING ACCESS WHEN LOCATED IN WALLS OR ABOVE INACCESSIBLE CEILING CONSTRUCTION. ACCESS DOORS TO BE RATED WHERE INSTALLED IN RATED ASSEMBLIES.

**PLUMBING LEGEND**

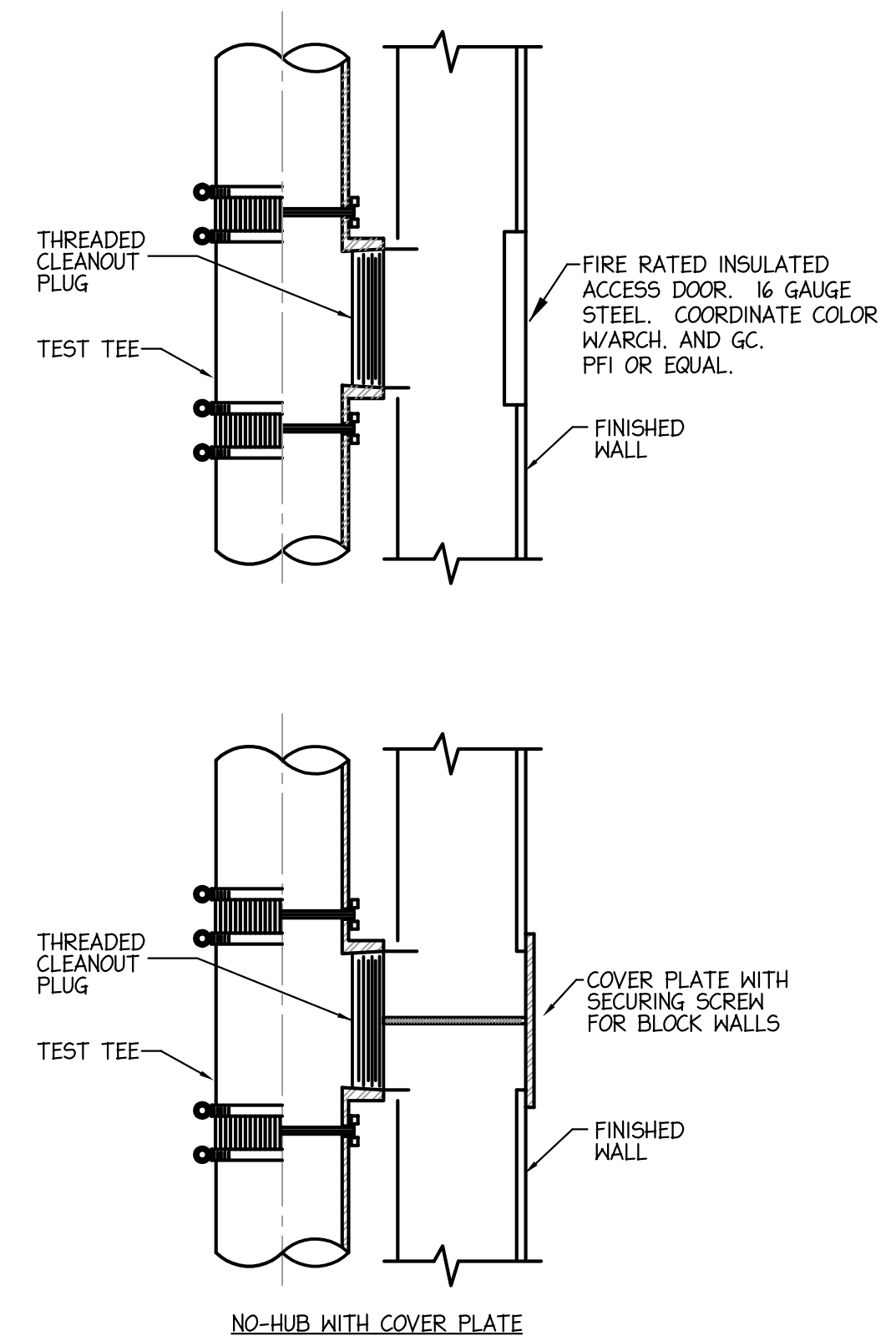


- AAV AIR ADMITTANCE VALVE
- ABV ABOVE
- AFF ABOVE FINISHED FLOOR
- BV BALANCING VALVE
- CW COLD WATER
- DN DOWN
- E.C. ELECTRICAL SUB-CONTRACTOR
- FCO FLOOR CLEAN OUT
- FD FLOOR DRAIN
- FR FROM
- FS FLOOR SINK
- G.C. GENERAL CONTRACTOR
- HB HOSE BIBB
- HD HUB DRAIN
- HW HOT WATER
- M.C. MECHANICAL SUB-CONTRACTOR
- P.C. PLUMBING SUB-CONTRACTOR
- SD STORM DRAINAGE
- V VENT
- W WASTE

**PLUMBING FIXTURE SPECIFICATIONS AND CONNECTION SCHEDULE**

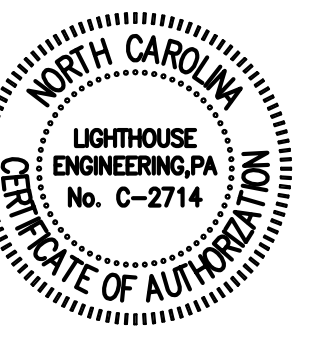
MARK	FIXTURE	TYPE	MANUFACTURER	MODEL NO.	MATERIAL	STYLE	FAUCET/VALVE				DRAIN		SUPPLIES AND STOPS	PIPE SIZES				MOUNTING	REMARKS
							MANUFACT. MODEL NO.	SPOUT	HANDLES	CENTERS	TYPE	SIZE		WASTE	VENT	CW	HW		
P-1	WATER CLOSET	FLUSH TANK	AMERICAN STANDARD	22ICA.104	VITREOUS CHINA	STANDARD ELONGATED	-	-	-	-	-	-	McGUIRE 185	3"	2"	1/2"	-	FLOOR	PROVIDE WITH OPEN FRONT SEAT WITH NO LID. 1.28 GPF, WATERSENSE
P-2	LAVATORY	SINGLE COMPT	AMERICAN STANDARD	0476.028	VITREOUS CHINA	ADA OVAL	CFG 4771L	CENTERSET	SINGLE LEVER	4"	POP-UP	1 1/2"	McGUIRE 175	2"	1 1/2"	1/2"	1/2"	COUNTER TOP	MOUNT AT ADA HEIGHT
P-3	KITCHEN SINK	SINGLE COMPT	DAYTON	D125214	STAINLESS STEEL	6 1/2" DEEP 4-HOLE	CFG 4751B	8" SWING	SINGLE LEVER	8"	CRUMB CUP	1 1/2"	McGUIRE 165	1 1/2"	1 1/2"	1/2"	1/2"	COUNTER TOP	PROVIDE WITH ELKAY LK-35
WCO	WALL CLEAN-OUT	ROUND COVER	J.R. SMITH	4472	CAST IRON	S.S. COVER	-	-	-	-	-	-	-	-	-	-	-	WALL	

NOTES:  
1. CATALOG NUMBERS AND MANUFACTURERS ARE TO INDICATE TYPE AND QUALITY OF FIXTURE DESIRED. SUBMIT CUTSHEETS OF THESE AND ALTERNATE MANUFACTURERS FOR ARCHITECT AND OWNER APPROVAL PRIOR TO PURCHASE OF ANY FIXTURES. INFORMATION ON ALTERNATE FIXTURES PROPOSED BY THE CONTRACTOR SHALL INCLUDE THE ADD/DEDUCT ASSOCIATED WITH ACCEPTANCE OF THAT FIXTURE (OR THE ALTERNATE PACKAGE AS A WHOLE).



**1 WALL CLEANOUT DETAIL**  
NO SCALE (WCO)

Drawing Sheet List	
#	Title
P1	PLUMBING PLANS



PRICING SET

PROPOSED ADDITION AND ALTERATION  
**FRIENDS OF THE GOLDSTON LIBRARY**  
9235 Pittsboro Goldston Road  
Goldston, North Carolina 27252

REVISIONS

DATE  
03-19-2024

DRAWN BY  
MJP

PROJECT NO.

SHEET TITLE  
PLUMBING LEGEND AND SCHEDULE

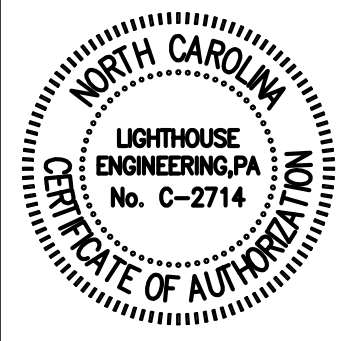
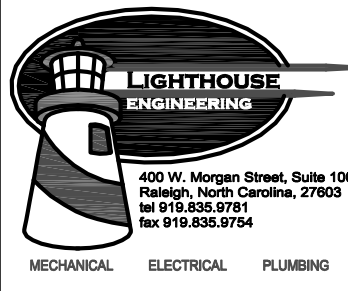
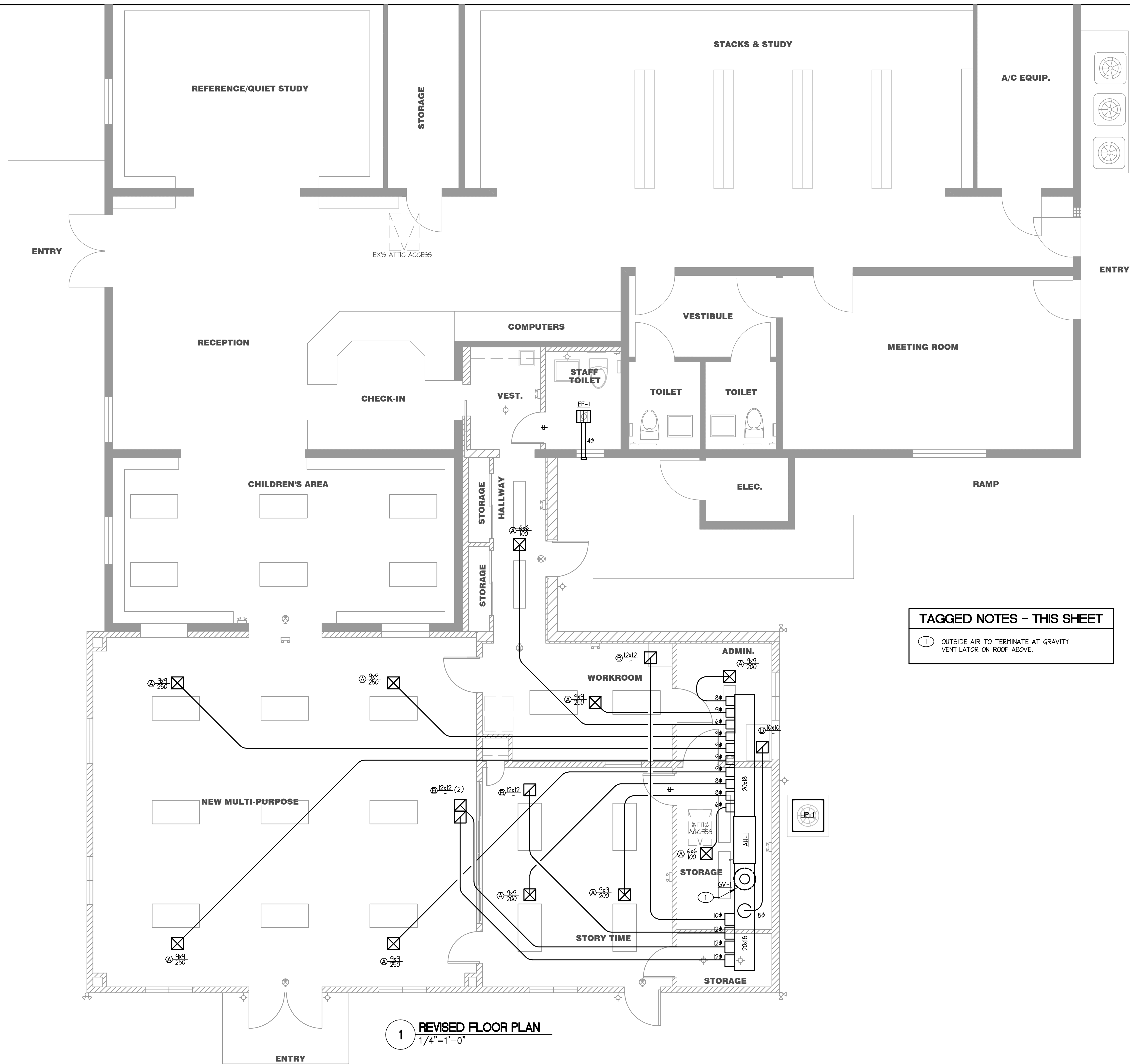
SHEET

P1









PRICING SET

PROPOSED ADDITION AND ALTERATION  
**FRIENDS OF THE GOLDSTON LIBRARY**  
 9235 Pittsboro Goldston Road  
 Goldston, North Carolina 27252

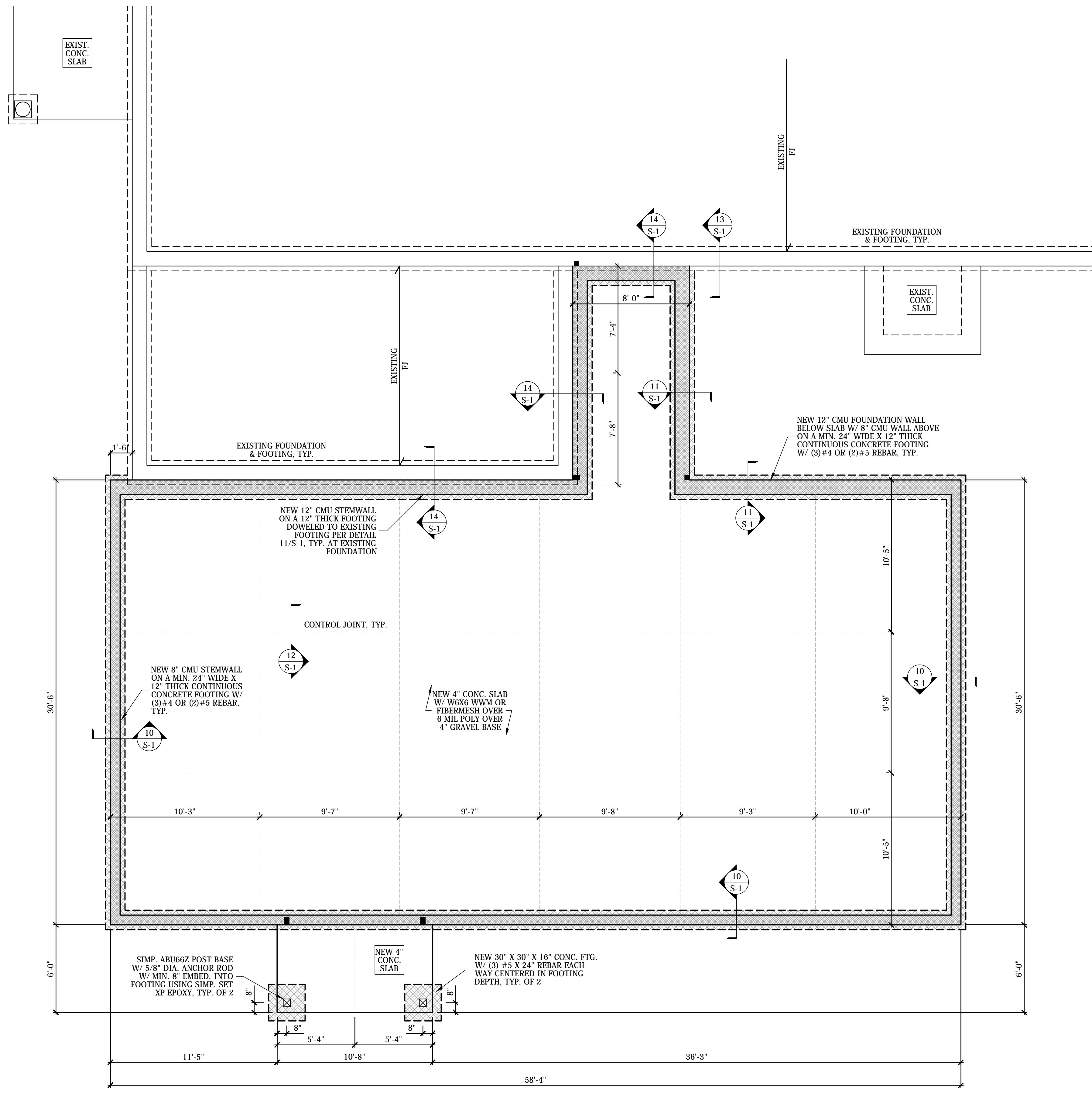
REVISIONS

DATE  
 03-19-2024  
 DRAWN BY  
 PNI  
 PROJECT NO.

SHEET TITLE  
 MECHANICAL  
 PLANS

SHEET

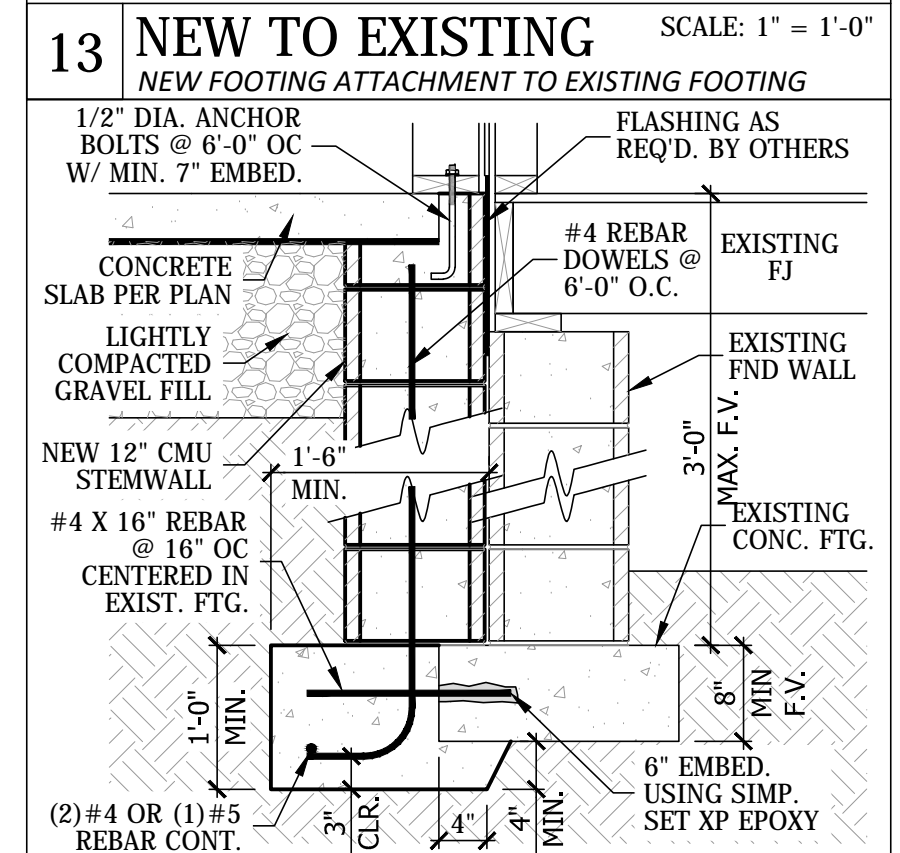
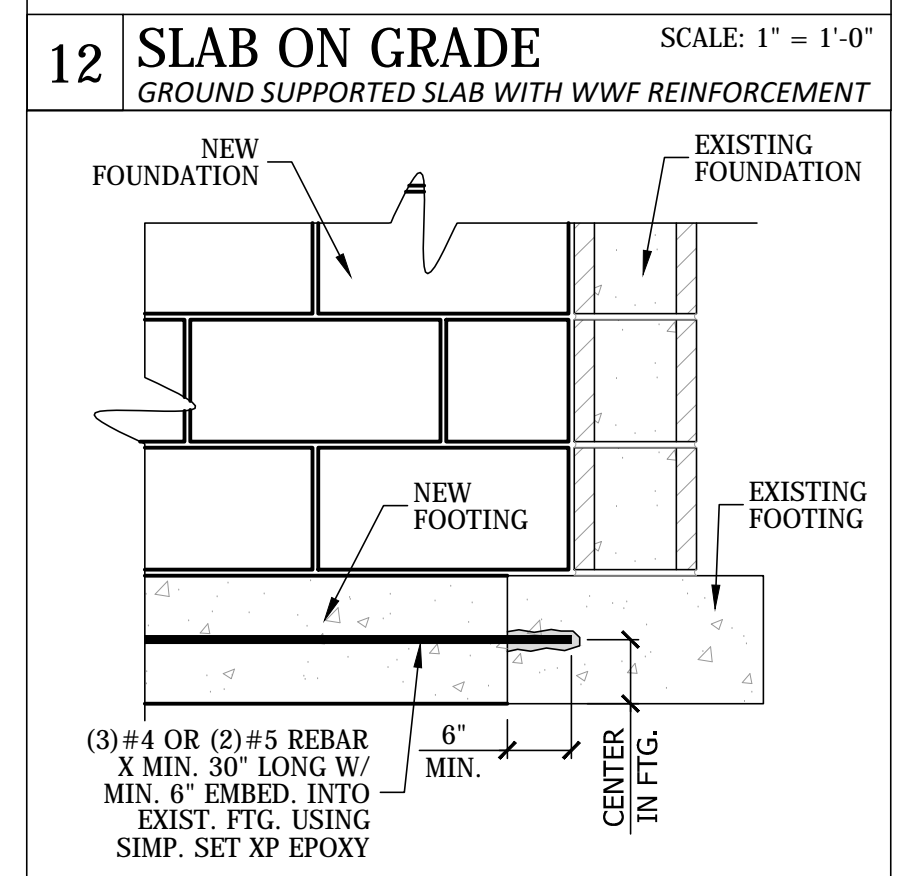
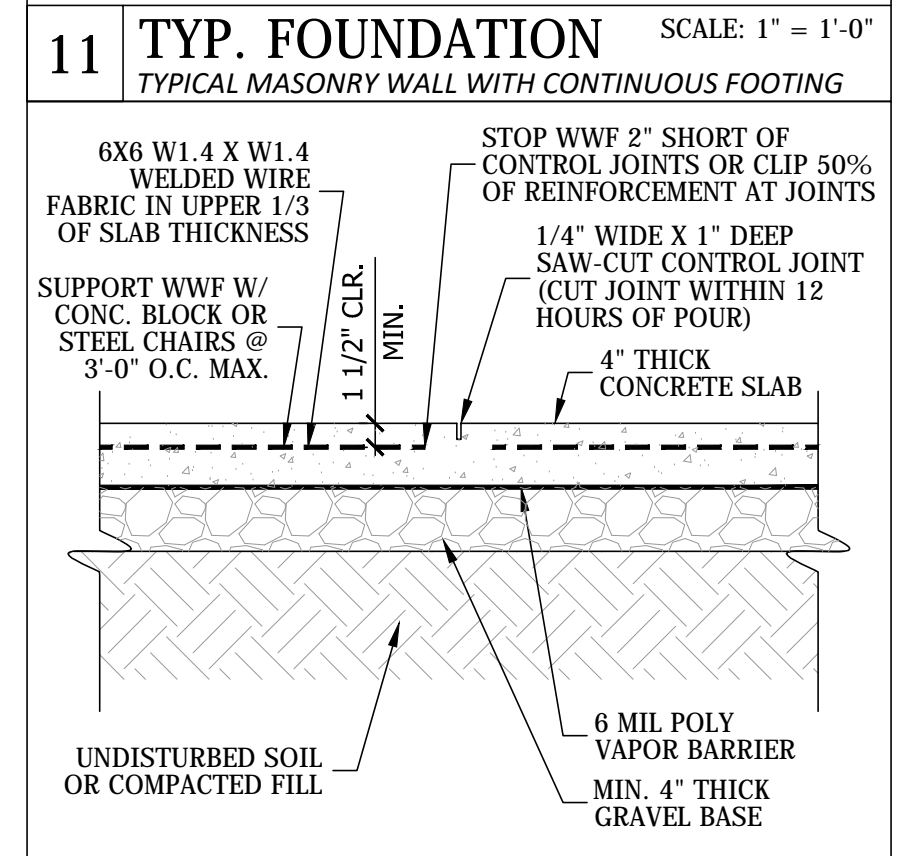
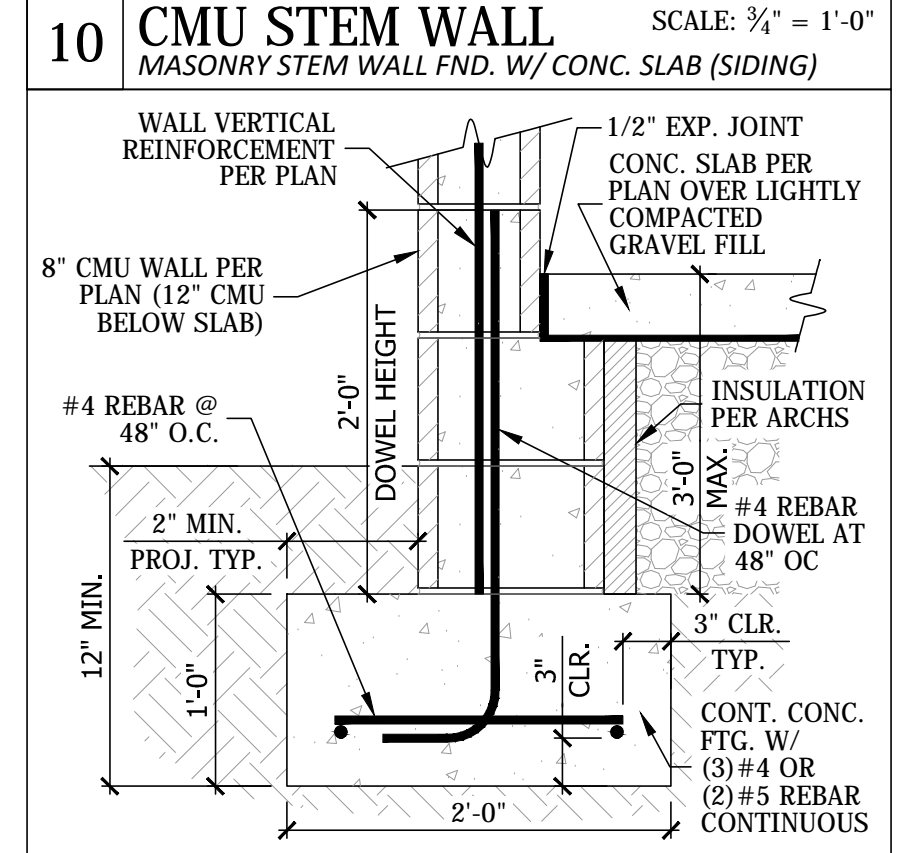
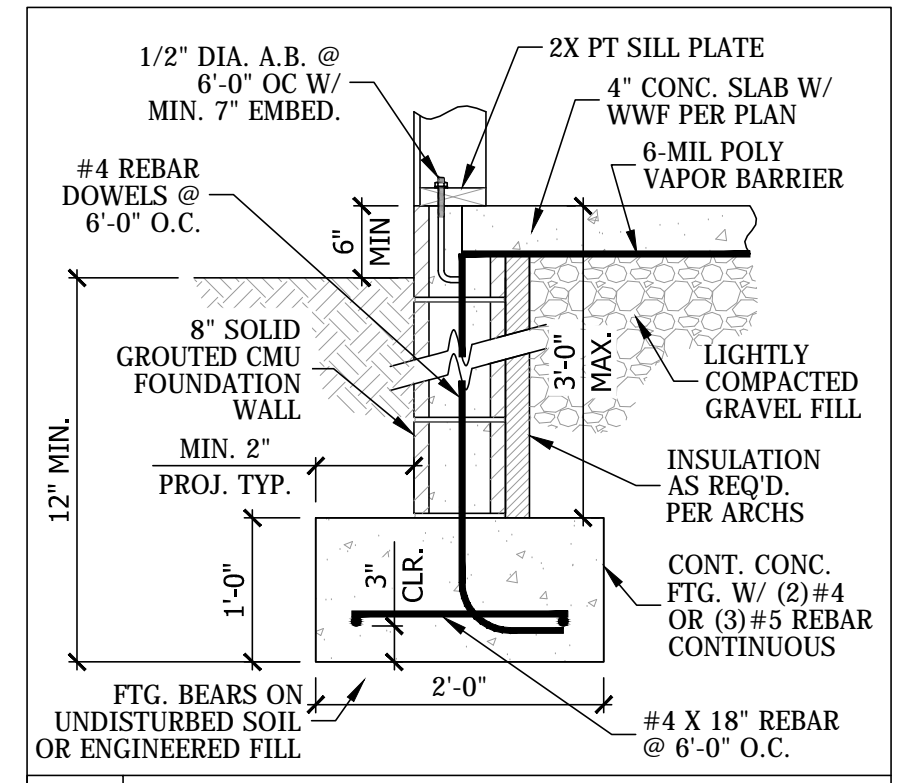
M2



**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

POINT LOAD REQUIRING SOLID BLOCKING TO FOUNDATION



SEAL DATE: 00/00/0000

REVISIONS	
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**GOLDSTON PUBLIC LIBRARY**  
 9235 PITTSBORO GOLDSTON RD.  
 GOLDSTON, NC 27252

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 C. DAVID MORTON  
 PLAN NAME:  
 GOLDSTON LIBRARY

JOB #:  
 23119  
 DATE:  
 04/01/2024  
 DRAWN BY:  
 PSE

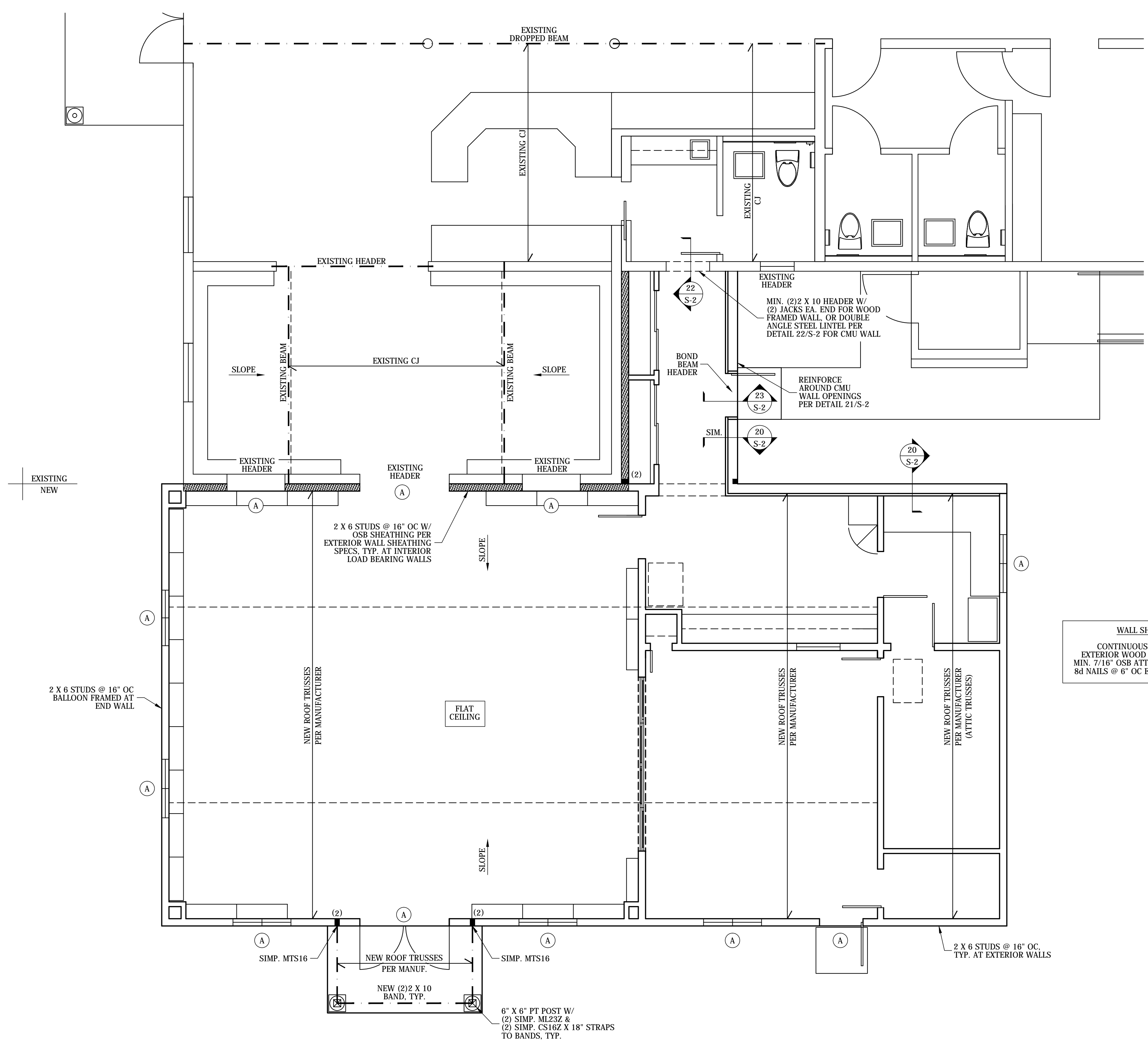
FOUNDATION PLAN  
 FIRST FLOOR FRAMING

SHEET:  
**S-1**  
 1 OF 4

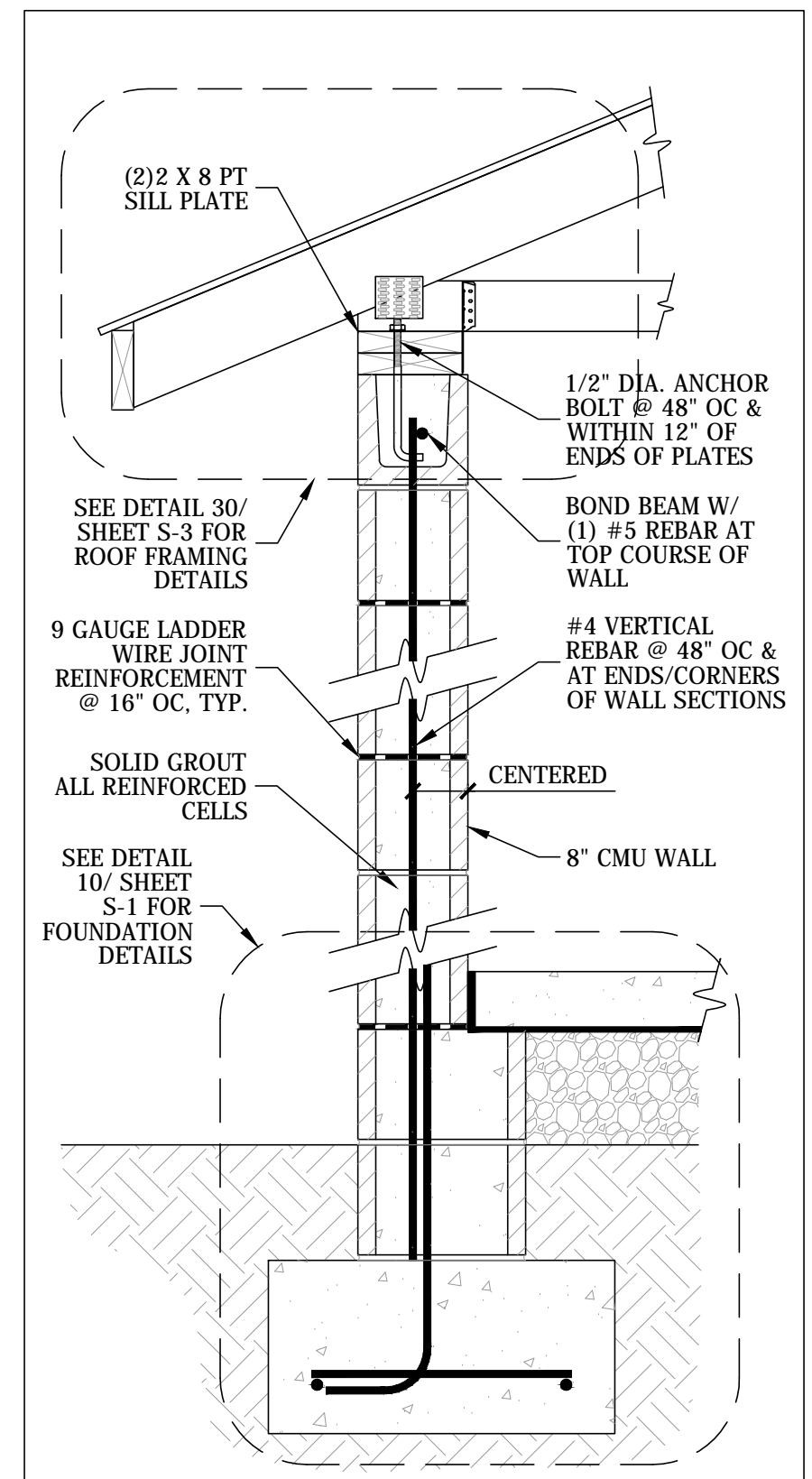
7 HEADER SCHEDULE	
TAG	HEADER
A	(3)2 X 10

- HEADERS SHALL BE SUPPORTED ON SINGLE JACK STUDS UNLESS NOTED OTHERWISE.
- REQUIRED NUMBER OF FULL HEIGHT KING STUDS AT EACH END OF HEADER SHALL BE ONE HALF OF STUDS INTERRUPTED BY A WALL OPENING, OR AS REQUIRED BY NCR TABLE R602.7.5

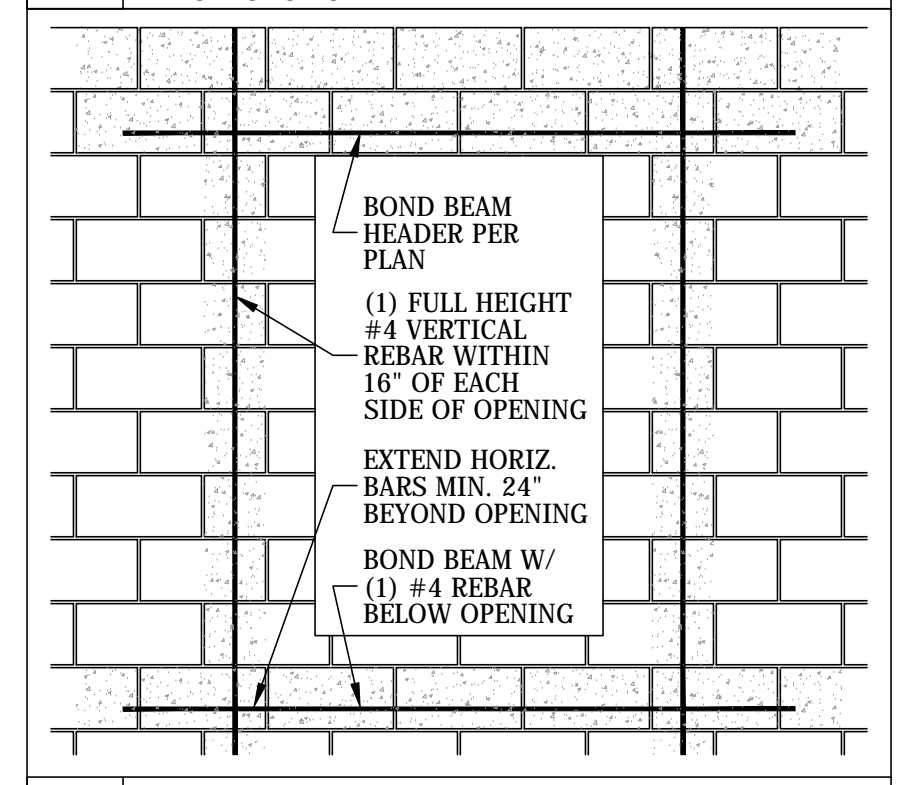
LEGEND	
■	POINT LOAD REQUIRING SOLID BLOCKING TO FOUNDATION
(#)	NUMBER OF STUDS IN STUD COLUMN (2 X 6 UNO)
▨	LOAD BEARING WALL



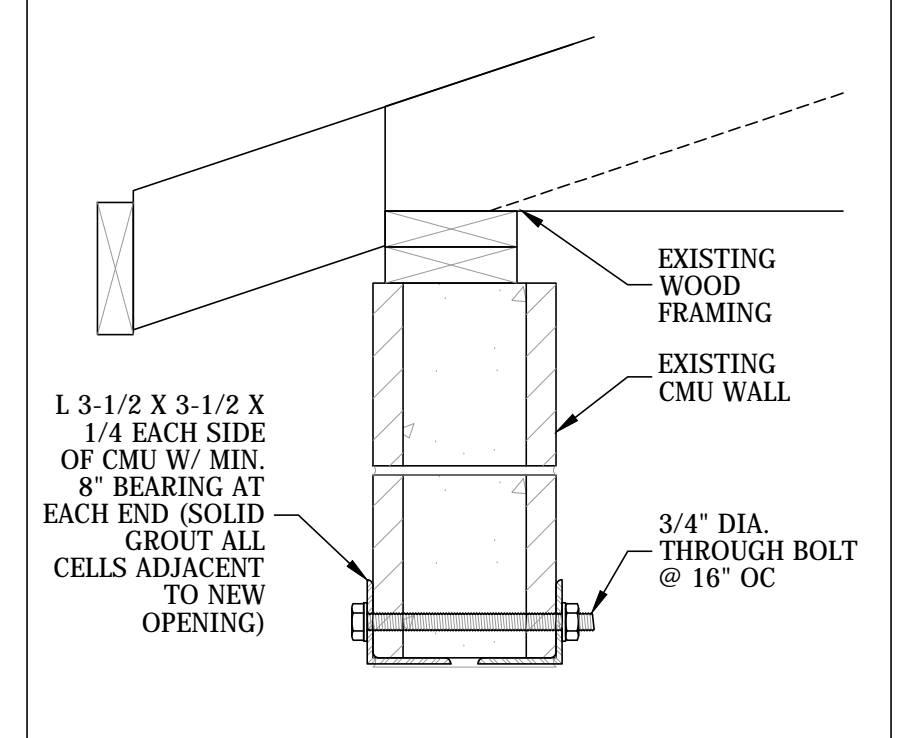
**FIRST FLOOR PLAN**  
 PLATE HEIGHT: MATCH EXISTING  
 SCALE: 1/4" = 1'-0"



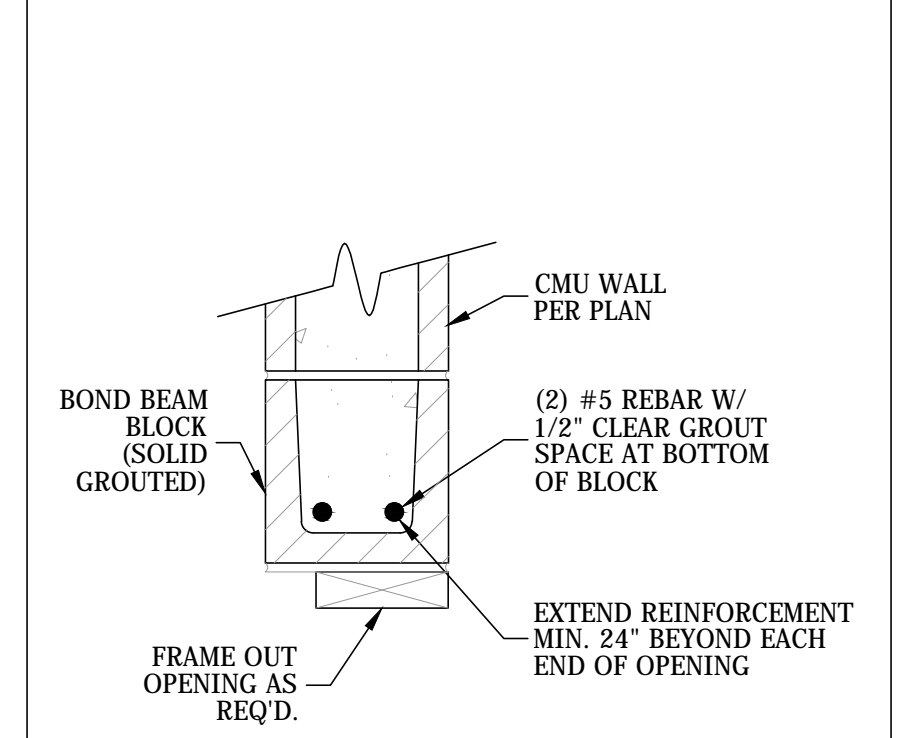
**20 WALL SECTION**  
 TYPICAL 8" CMU WALL  
 SCALE: 1" = 1'-0"



**21 WALL OPENINGS**  
 TYPICAL REINFORCEMENT AROUND OPENINGS  
 SCALE: 1/2" = 1'-0"



**22 NEW OPENING**  
 DBL ANGLE HDR FOR NEW OPENING IN EXIST. CMU WALL  
 SCALE: 1 1/2" = 1'-0"

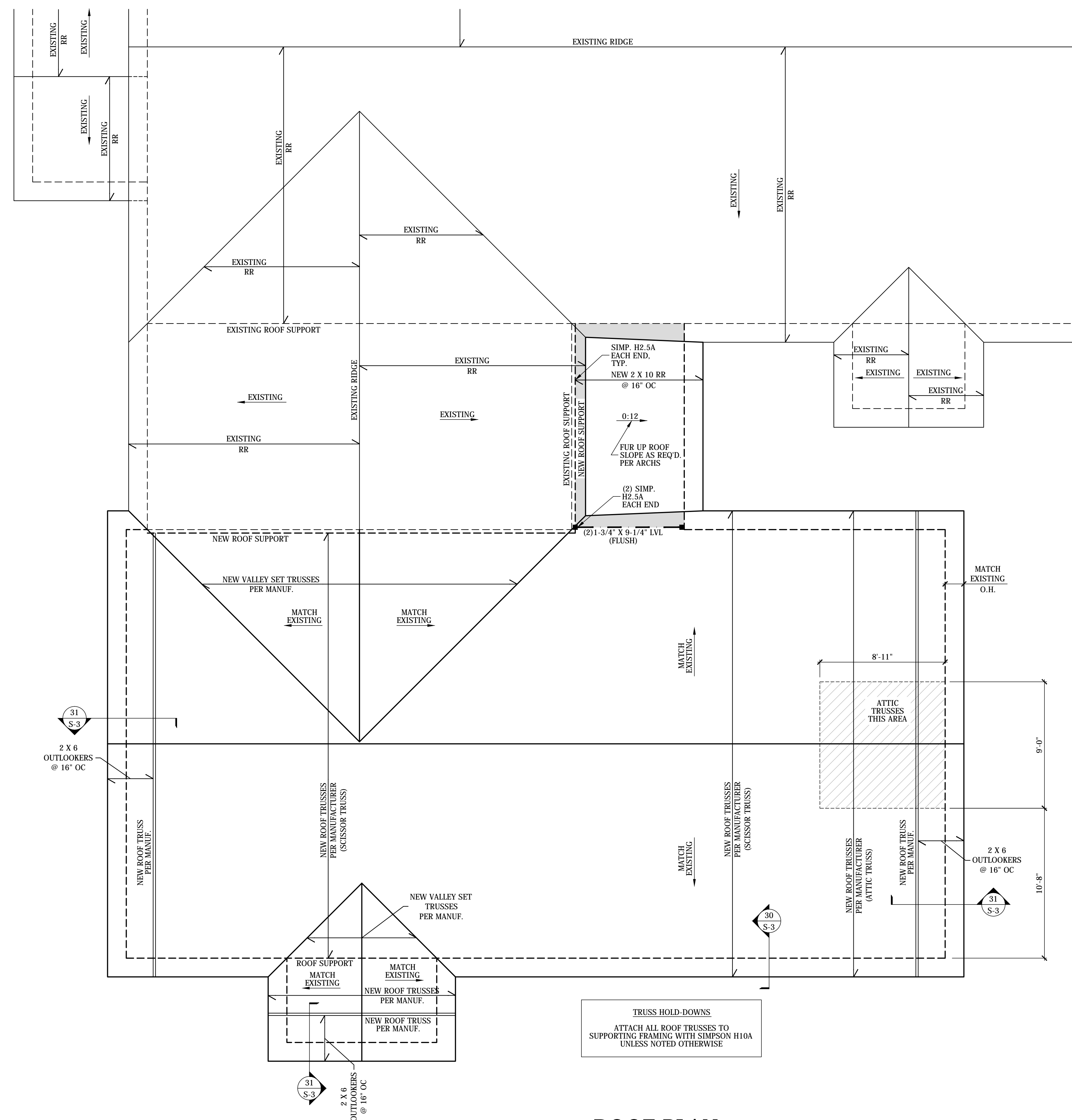


**23 BOND BEAM HEADER**  
 BOND BEAM HEADER OVER WALL OPENING  
 SCALE: 1 1/2" = 1'-0"

**WALL SHEATHING:**  
 CONTINUOUSLY SHEATH ALL EXTERIOR WOOD FRAMED WALLS W/ MIN. 7/16" OSB ATTACHED TO STUDS W/ 8d NAILS @ 6" OC EDGES / 12" OC FIELD

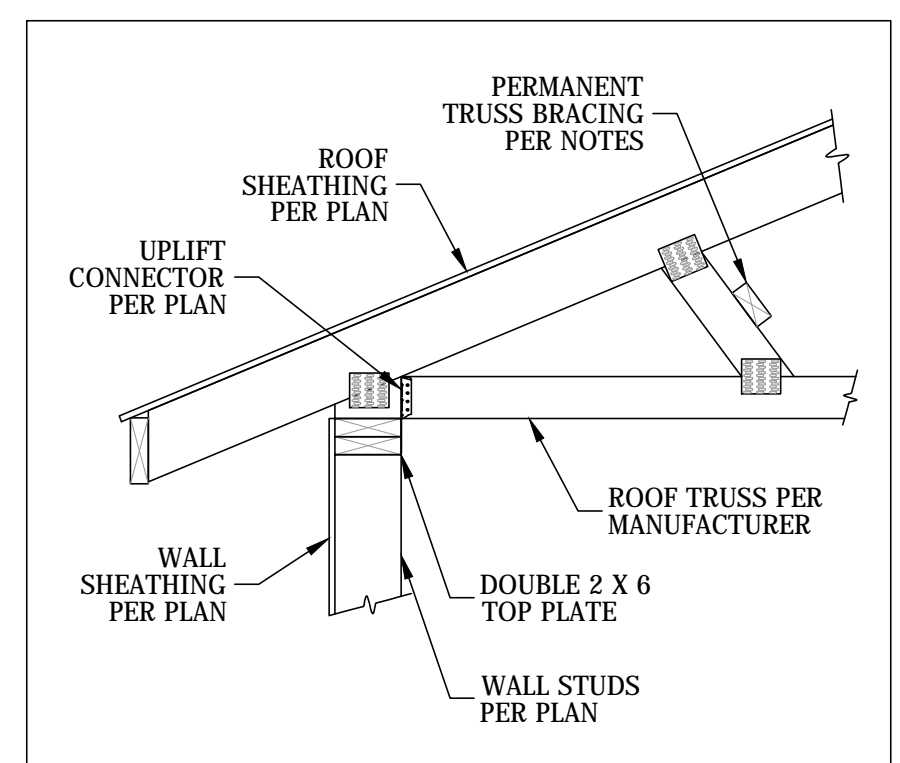
REVISIONS	
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LEGEND	
■	POINT LOAD REQUIRING SOLID BLOCKING TO FOUNDATION
□	OVERFRAMED ROOF WITH RAFTERS BEARING ON A 2X FLAT PLATE ON LOW RAFTERS

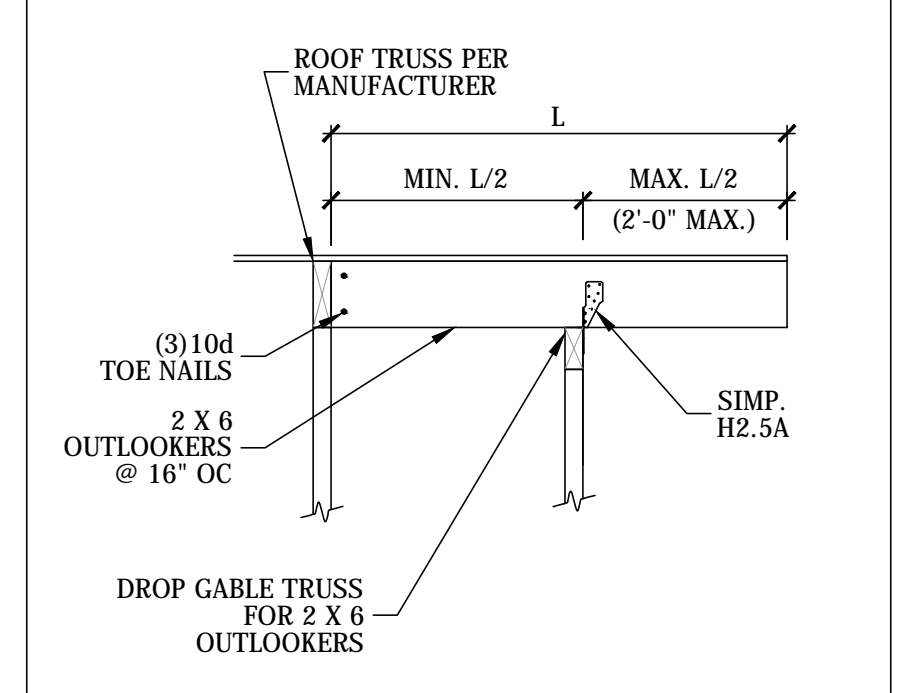


**TRUSS HOLD-DOWNS**  
 ATTACH ALL ROOF TRUSSES TO SUPPORTING FRAMING WITH SIMPSON H10A UNLESS NOTED OTHERWISE

**ROOF PLAN**  
 SCALE: 1/4" = 1'-0"



**30 TRUSS HOLDDOWN** SCALE: 3/4" = 1'-0"  
 TYPICAL TRUSS HOLDDOWN TO DOUBLE TOP PLATE



**31 RAKE OVERHANG** SCALE: 3/4" = 1'-0"  
 OUTLOOKER FRAMING

**BID SET**

SEAL DATE: 00/00/0000

REVISIONS	
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ARCHITECT:  
 C. DAVID MORTON  
 PLAN NAME:  
 GOLDSTON LIBRARY

JOB #:  
 23119

DATE:  
 04/01/2024

DRAWN BY:  
 PSE

**ROOF FRAMING PLAN**

SHEET:  
**S-3**  
 3 OF 4







# State of North Carolina AFFIDAVIT A – Listing of Good Faith Efforts

County of \_\_\_\_\_

(Name of Bidder)

Affidavit of \_\_\_\_\_

I have made a good faith effort to comply under the following areas checked:

**Bidders must earn at least 50 points from the good faith efforts listed for their bid to be considered responsive.** (1 NC Administrative Code 30 I.0101)

- 1 – (10 pts) Contacted minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- 2 --(10 pts) Made the construction plans, specifications and requirements available for review by prospective minority businesses, or providing these documents to them at least 10 days before the bids are due.
- 3 – (15 pts) Broken down or combined elements of work into economically feasible units to facilitate minority participation.
- 4 – (10 pts) Worked with minority trade, community, or contractor organizations identified by the Office of Historically Underutilized Businesses and included in the bid documents that provide assistance in recruitment of minority businesses.
- 5 – (10 pts) Attended prebid meetings scheduled by the public owner.
- 6 – (20 pts) Provided assistance in getting required bonding or insurance or provided alternatives to bonding or insurance for subcontractors.
- 7 – (15 pts) Negotiated in good faith with interested minority businesses and did not reject them as unqualified without sound reasons based on their capabilities. Any rejection of a minority business based on lack of qualification should have the reasons documented in writing.
- 8 – (25 pts) Provided assistance to an otherwise qualified minority business in need of equipment, loan capital, lines of credit, or joint pay agreements to secure loans, supplies, or letters of credit, including waiving credit that is ordinarily required. Assisted minority businesses in obtaining the same unit pricing with the bidder's suppliers in order to help minority businesses in establishing credit.
- 9 – (20 pts) Negotiated joint venture and partnership arrangements with minority businesses in order to increase opportunities for minority business participation on a public construction or repair project when possible.
- 10 - (20 pts) Provided quick pay agreements and policies to enable minority contractors and suppliers to meet cash-flow demands.

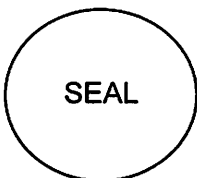
The undersigned, if apparent low bidder, will enter into a formal agreement with the firms listed in the Identification of Minority Business Participation schedule conditional upon scope of contract to be executed with the Owner. Substitution of contractors must be in accordance with GS143-128.2(d) Failure to abide by this statutory provision will constitute a breach of the contract.

The undersigned hereby certifies that he or she has read the terms of the minority business commitment and is authorized to bind the bidder to the commitment herein set forth.

Date: \_\_\_\_\_ Name of Authorized Officer: \_\_\_\_\_

Signature: \_\_\_\_\_

Title: \_\_\_\_\_



State of \_\_\_\_\_, County of \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

Notary Public \_\_\_\_\_

My commission expires \_\_\_\_\_

# State of North Carolina --AFFIDAVIT B-- Intent to Perform Contract with Own Workforce.

County of \_\_\_\_\_

Affidavit of \_\_\_\_\_

(Name of Bidder)

I hereby certify that it is our intent to perform 100% of the work required for the \_\_\_\_\_

\_\_\_\_\_ contract.  
(Name of Project)

In making this certification, the Bidder states that the Bidder does not customarily subcontract elements of this type project, and normally performs and has the capability to perform and will perform all elements of the work on this project with his/her own current work forces; and

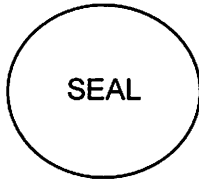
The Bidder agrees to provide any additional information or documentation requested by the owner in support of the above statement. The Bidder agrees to make a Good Faith Effort to utilize minority suppliers where possible.

The undersigned hereby certifies that he or she has read this certification and is authorized to bind the Bidder to the commitments herein contained.

Date: \_\_\_\_\_ Name of Authorized Officer: \_\_\_\_\_

Signature: \_\_\_\_\_

Title: \_\_\_\_\_



State of \_\_\_\_\_, County of \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_

Notary Public \_\_\_\_\_

My commission expires \_\_\_\_\_

# State of North Carolina - AFFIDAVIT C - Portion of the Work to be Performed by HUB Certified/Minority Businesses

County of \_\_\_\_\_

(Note this form is to be submitted only by the apparent lowest responsible, responsive bidder.)

If the portion of the work to be executed by HUB certified/minority businesses as defined in GS143-128.2(g) and 128.4(a),(b),(e) is equal to or greater than 10% of the bidders total contract price, then the bidder must complete this affidavit.  
 This affidavit shall be provided by the apparent lowest responsible, responsive bidder within **72 hours** after notification of being low bidder.

Affidavit of \_\_\_\_\_ I do hereby certify that on the \_\_\_\_\_  
 (Name of Bidder)

Project ID# \_\_\_\_\_ (Project Name) Amount of Bid \$ \_\_\_\_\_

I will expend a minimum of \_\_\_\_\_% of the total dollar amount of the contract with minority business enterprises. Minority businesses will be employed as construction subcontractors, vendors, suppliers or providers of professional services. Such work will be subcontracted to the following firms listed below. Attach additional sheets if required

Name and Phone Number	*Minority Category	**HUB Certified Y/N	Work Description	Dollar Value

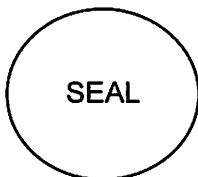
\*Minority categories: Black, African American (B), Hispanic (H), Asian American (A) American Indian (I), Female (F) Socially and Economically Disadvantaged (D)

\*\* HUB Certification with the state HUB Office required to be counted toward state participation goals.

Pursuant to GS143-128.2(d), the undersigned will enter into a formal agreement with Minority Firms for work listed in this schedule conditional upon execution of a contract with the Owner. Failure to fulfill this commitment may constitute a breach of the contract.

The undersigned hereby certifies that he or she has read the terms of this commitment and is authorized to bind the bidder to the commitment herein set forth.

Date: \_\_\_\_\_ Name of Authorized Officer: \_\_\_\_\_



Signature: \_\_\_\_\_

Title: \_\_\_\_\_

State of \_\_\_\_\_, County of \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

Notary Public \_\_\_\_\_

My commission expires \_\_\_\_\_

# State of North Carolina AFFIDAVIT D – Good Faith Efforts

County of \_\_\_\_\_

(Note this form is to be submitted only by the apparent lowest responsible, responsive bidder.)

If the goal of 15% participation by HUB Certified/ minority business **is not** achieved, the Bidder shall provide the following documentation to the Owner of his good faith efforts:

Affidavit of \_\_\_\_\_ I do hereby certify that on the  
(Name of Bidder)

\_\_\_\_\_ (Project Name)  
Project ID# \_\_\_\_\_ Amount of Bid \$ \_\_\_\_\_

I will expend a minimum of \_\_\_\_\_% of the total dollar amount of the contract with HUB certified/ minority business enterprises. Minority businesses will be employed as construction subcontractors, vendors, suppliers or providers of professional services. Such work will be subcontracted to the following firms listed below. (Attach additional sheets if required)

Name and Phone Number	*Minority Category	**HUB Certified Y/N	Work Description	Dollar Value

\*Minority categories: Black, African American (B), Hispanic (H), Asian American (A) American Indian (I), Female (F) Socially and Economically Disadvantaged (D)

\*\* HUB Certification with the state HUB Office required to be counted toward state participation goals.

**Examples** of documentation that may be required to demonstrate the Bidder's good faith efforts to meet the goals set forth in these provisions include, but are not necessarily limited to, the following:

- A. Copies of solicitations for quotes to at least three (3) minority business firms from the source list provided by the State for each subcontract to be let under this contract (if 3 or more firms are shown on the source list). Each solicitation shall contain a specific description of the work to be subcontracted, location where bid documents can be reviewed, representative of the Prime Bidder to contact, and location, date and time when quotes must be received.
- B. Copies of quotes or responses received from each firm responding to the solicitation.
- C. A telephone log of follow-up calls to each firm sent a solicitation.
- D. For subcontracts where a minority business firm is not considered the lowest responsible sub-bidder, copies of quotes received from all firms submitting quotes for that particular subcontract.
- E. Documentation of any contacts or correspondence to minority business, community, or contractor organizations in an attempt to meet the goal.
- F. Copy of pre-bid roster
- G. Letter documenting efforts to provide assistance in obtaining required bonding or insurance for minority business.
- H. Letter detailing reasons for rejection of minority business due to lack of qualification.
- I. Letter documenting proposed assistance offered to minority business in need of equipment, loan capital, lines of credit, or joint pay agreements to secure loans, supplies, or letter of credit, including waiving credit that is ordinarily required.

Failure to provide the documentation as listed in these provisions may result in rejection of the bid and award to the next lowest responsible and responsive bidder.

Pursuant to GS143-128.2(d), the undersigned will enter into a formal agreement with Minority Firms for work listed in this schedule conditional upon execution of a contract with the Owner. Failure to fulfill this commitment may constitute a breach of the contract.

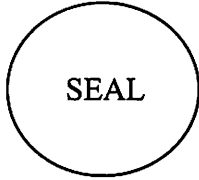
Do not submit with the bid Do not submit with the bid Do not submit with the bid Do not submit with the bid Do not submit with the bid

The undersigned hereby certifies that he or she has read the terms of this commitment and is authorized to bind the bidder to the commitment herein set forth.

Date: \_\_\_\_\_ Name of Authorized Officer: \_\_\_\_\_

Signature: \_\_\_\_\_

Title: \_\_\_\_\_



State of \_\_\_\_\_, County of \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

Notary Public \_\_\_\_\_

My commission expires \_\_\_\_\_

**APPENDIX E**

**MBE DOCUMENTATION FOR CONTRACT PAYMENTS**

Prime Contractor/Architect: \_\_\_\_\_

Address & Phone: \_\_\_\_\_

Project Name: \_\_\_\_\_

Pay Application #: \_\_\_\_\_ Period: \_\_\_\_\_

The following is a list of payments made to Minority Business Enterprises on this project for the above-mentioned period.

MBE FIRM NAME	* INDICATE TYPE OF MBE	AMOUNT PAID THIS MONTH	TOTAL PAYMENTS TO DATE	TOTAL AMOUNT COMMITTED

\*Minority categories: Black, African American (B), Hispanic (H), Asian American (A), American Indian (I), Female (F), Social and Economically Disadvantage (D)

Date: \_\_\_\_\_ Approved/Certified By: \_\_\_\_\_

Name

\_\_\_\_\_

Title

\_\_\_\_\_

Signature

***SUBMIT WITH EACH PAY REQUEST & FINAL PAYMENT***