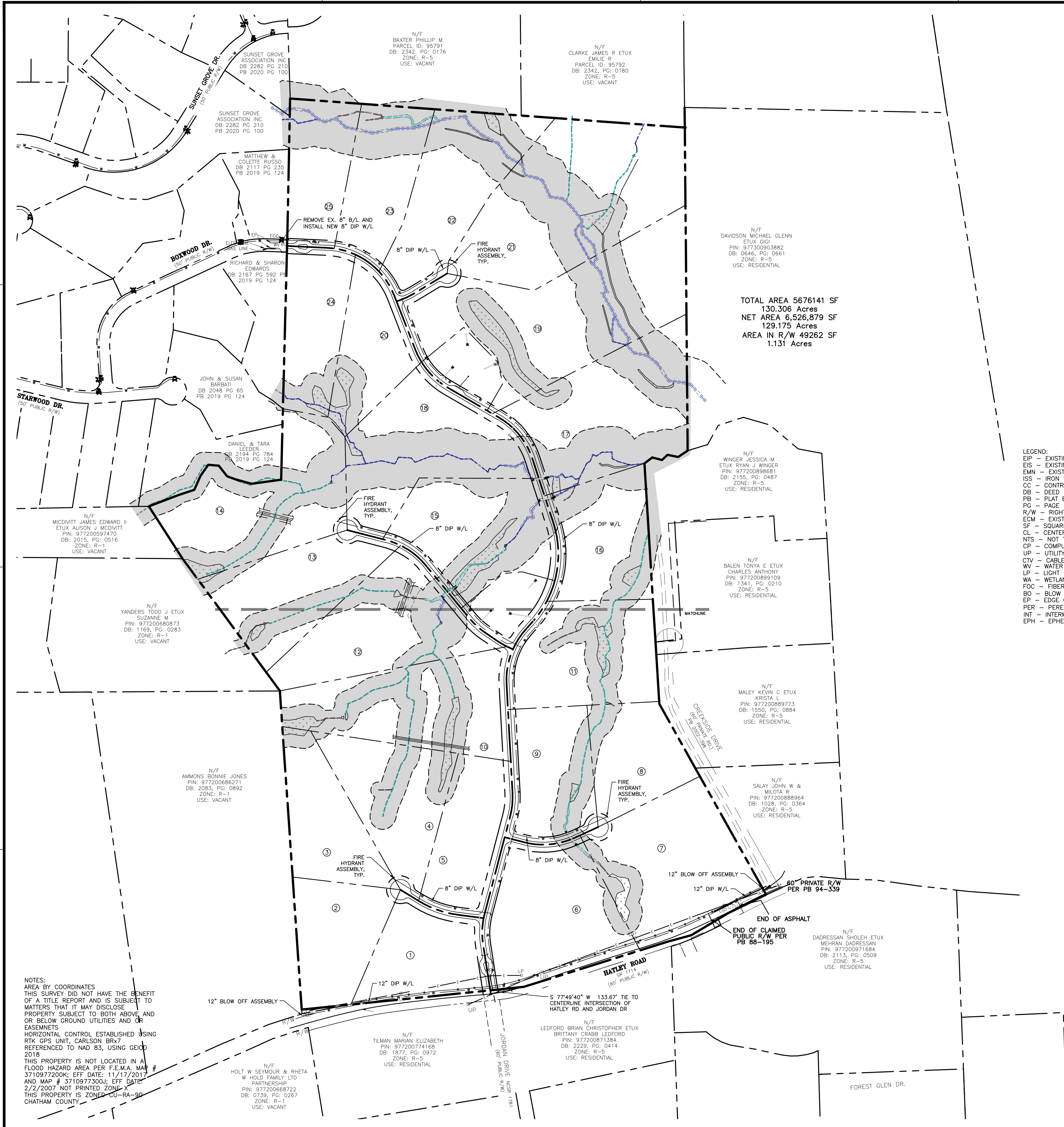




NOTES:
AREA BY COORDINATES
THIS SURVEY DID NOT HAVE THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO MATTERS THAT IT MAY DISCLOSE PROPERTY SUBJECT TO BOTH ABOVE AND OR BELOW GROUND UTILITIES AND OR EASEMENTS
HORIZONTAL CONTROL ESTABLISHED USING RTK GPS UNIT, CARLSON BRX7 REFERENCED TO NAD 83, USING GEIOD 2018
THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER F.E.M.A. MAP # 3710977200K; EFF DATE: 11/17/2017 AND MAP # 3710977300K; EFF DATE: 2/2/2007 NOT PRINTED ZONE-X
THIS PROPERTY IS ZONED CU-RA-90 CHATHAM COUNTY

N/F
AMMONS BONNIE JONES
PIN: 977200680271
DB: 2083, PG: 0892
ZONE: R-1
USE: VACANT

N/F
YANDERS TODD J ETUX
SUZANNE M
PIN: 977200680873
DB: 1169, PG: 0283
ZONE: R-1
USE: VACANT

DANIEL & TARA
LEIDER
DB: 2194 PG 784
PB: 2019 PG 124

JOHN & SUSAN
BARBARI
DB: 2048 PG 65
PB: 2019 PG 124

MATTHEW &
COLETTE RUSSO
DB: 2117 PG 235
PB: 2019 PG 124

SUNSET GROVE
ASSOCIATION INC
DB: 2282 PG 210
PB: 2020 PG 100

N/F
BAXTER PHILLIP M
PARCEL ID: 95791
DB: 2342, PG: 0176
ZONE: R-5
USE: VACANT

N/F
CLARKE JAMES R ETUX
EMILIE R
PARCEL ID: 95792
DB: 2342, PG: 0180
ZONE: R-5
USE: VACANT

N/F
DAVIDSON MICHAEL GLENN
ETUX GIGI
PIN: 977300903882
DB: 0646, PG: 0661
ZONE: R-5
USE: RESIDENTIAL

TOTAL AREA 5676141 SF
130.306 Acres
NET AREA 6,526,879 SF
129.179 Acres
AREA IN R/W 49262 SF
1.131 Acres

N/F
WINGER JESSICA M
ETUX RYAN J WINGER
PIN: 977200898681
DB: 2150, PG: 0487
ZONE: R-5
USE: RESIDENTIAL

N/F
BALEN TONYA E ETUX
CHARLES ANTHONY
PIN: 977200899109
DB: 1341, PG: 0210
ZONE: R-5
USE: RESIDENTIAL

N/F
MALEY KEVIN C ETUX
KRISTA L
PIN: 977200899773
DB: 1550, PG: 0884
ZONE: R-5
USE: RESIDENTIAL

N/F
SALAY JOHN W &
MILOTA R
PIN: 977200898964
DB: 1028, PG: 0364
ZONE: R-5
USE: RESIDENTIAL

N/F
DADDRESSN SHOLEH ETUX
MEHRAN DADDRESSN
PIN: 977200971684
DB: 2113, PG: 0509
ZONE: R-5
USE: RESIDENTIAL

N/F
LEDFORD BRIAN CHRISTOPHER ETUX
BRITTANY CRABB LEDFORD
PIN: 977200871384
DB: 2229, PG: 0414
ZONE: R-5
USE: RESIDENTIAL

N/F
TILMAN MARIAN ELIZABETH
PIN: 977200774168
DB: 1877, PG: 0972
ZONE: R-5
USE: RESIDENTIAL

N/F
HOLT W SEYMOUR & RHETA
W HOLD FAMILY LTD
PARTNERSHIP
PIN: 97720068722
DB: 0739, PG: 0267
ZONE: R-1
USE: VACANT

GENERAL NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHATHAM COUNTY AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- BOUNDARY, STREAM, AND WETLAND INFORMATION TAKEN FROM A SURVEY BY BENTON W. DEWANEY AND ASSOCIATES ENTITLED BOUNDARY SURVEY FOR PRANAY PAREKH 739 HATLEY ROAD. TOPOGRAPHIC INFORMATION AND OTHER SITE DATA HAS BEEN TAKEN CHATHAM COUNTY'S GIS DATA.

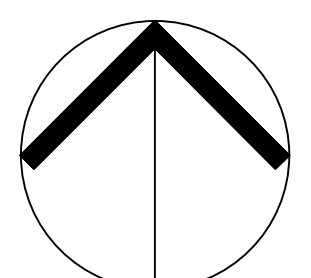
CONDITIONS OF SITE PLAN APPROVAL:

- THERE IS TO BE NO CONSTRUCTION OF ANY HOME OR ACCESSORY STRUCTURE NORTH OF PANTHERS CREEK ON THE SITE.
- CONSTRUCTION TRAFFIC ENTERING THE SITE FROM BOXWOOD DRIVE SHALL BE PROHIBITED.
- A VEHICULAR TURNAROUND SHALL BE PROVIDED ON THE SITE JUST BEFORE THE GATE ENTRANCE FROM BOXWOOD DRIVE AND BEFORE THE GATE ENTRANCE FROM HATLEY ROAD.

UTILITY NOTES

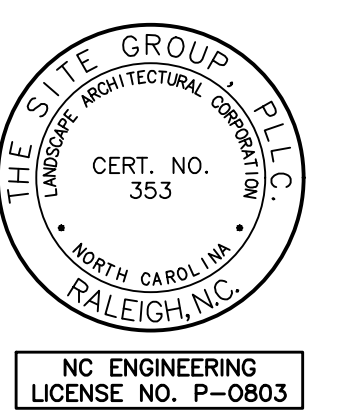
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHATHAM COUNTY AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
- ALL EXISTING UTILITY SERVICES (UNUSED) SHALL BE ABANDONED AT TAP (MAIN) & REMOVED FROM ROW OF EASEMENT.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION. (CHAPTER 14, 2012 NC FIRE CODE, NFPA 241 AND CHAPTER 33, 2012 NC BUILDING CODE).
- A NCDOT PERMIT IS REQUIRED PRIOR TO STARTING ANY WORKING IN THE NCDOT RIGHT OF WAY.
- ON-SITE SEPTIC TO BE INSTALLED PER LOT. SEPTIC IS TO BE DESIGNED BY OTHERS.
- FIRE POND TO SERVE AS ADDITIONAL FIRE FLOW FOR CHATHAM COUNTY FIRE DEPARTMENT.
- FIRE HYDRANTS SHALL BE PLACED AT A MAXIMUM DISTANCE OF 500 FEET ON CENTER IN PROPOSED DEVELOPMENTS AND/OR SUBDIVISIONS.

LEGEND:
EIP - EXISTING IRON PIPE
EIS - EXISTING IRON STAKE
EMN - EXISTING MAG NAIL
ISS - IRON STAKE SET
CC - CONTROL CORNER
DB - DEED BOOK
PB - PLAT BOOK
PG - PAGE
R/W - RIGHT OF WAY
ECM - EXISTING CONCRETE MONUMENT
SF - SQUARE FEET
CL - CENTERLINE
NTS - NOT TO SCALE
CP - COMPUTED POINT
UP - UTILITY POLE
CTV - CABLE TV PEDESTAL
WV - WATER VALVE
LP - LIGHT POLE
WA - WETLAND AREA
FOC - FIBER OPTIC CABLE VALUT
BO - BLOW OFF VALVE
EP - EDGE OF PAVEMENT
PER - PERENNIAL STREAM
INT - INTERMITTENT STREAM
EPH - EPHEMERAL STREAM



NORTH
OVERALL
UTILITY PLAN

SCALE: 1" = 200' (DRAWING SCALED FOR 24x36 INCH PLOTS)



PROGRESS
20 MAR 2024

THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
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Fax: 919.839.2255
E Mail: SRN@thesitegroup.net

FIRST PLAT FOR:
**RIDGEWOOD HILLS
SUBDIVISION**
739 HATLEY RD.
CHATHAM COUNTY, NORTH CAROLINA

Drawn By: WRR
Checked By: SRN

DATE:
PROGRESS

FIRST PLAT DOCUMENTS

OVERALL UTILITY PLAN

Job Code: PPPS

Dwg No.
**SITE
400**

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