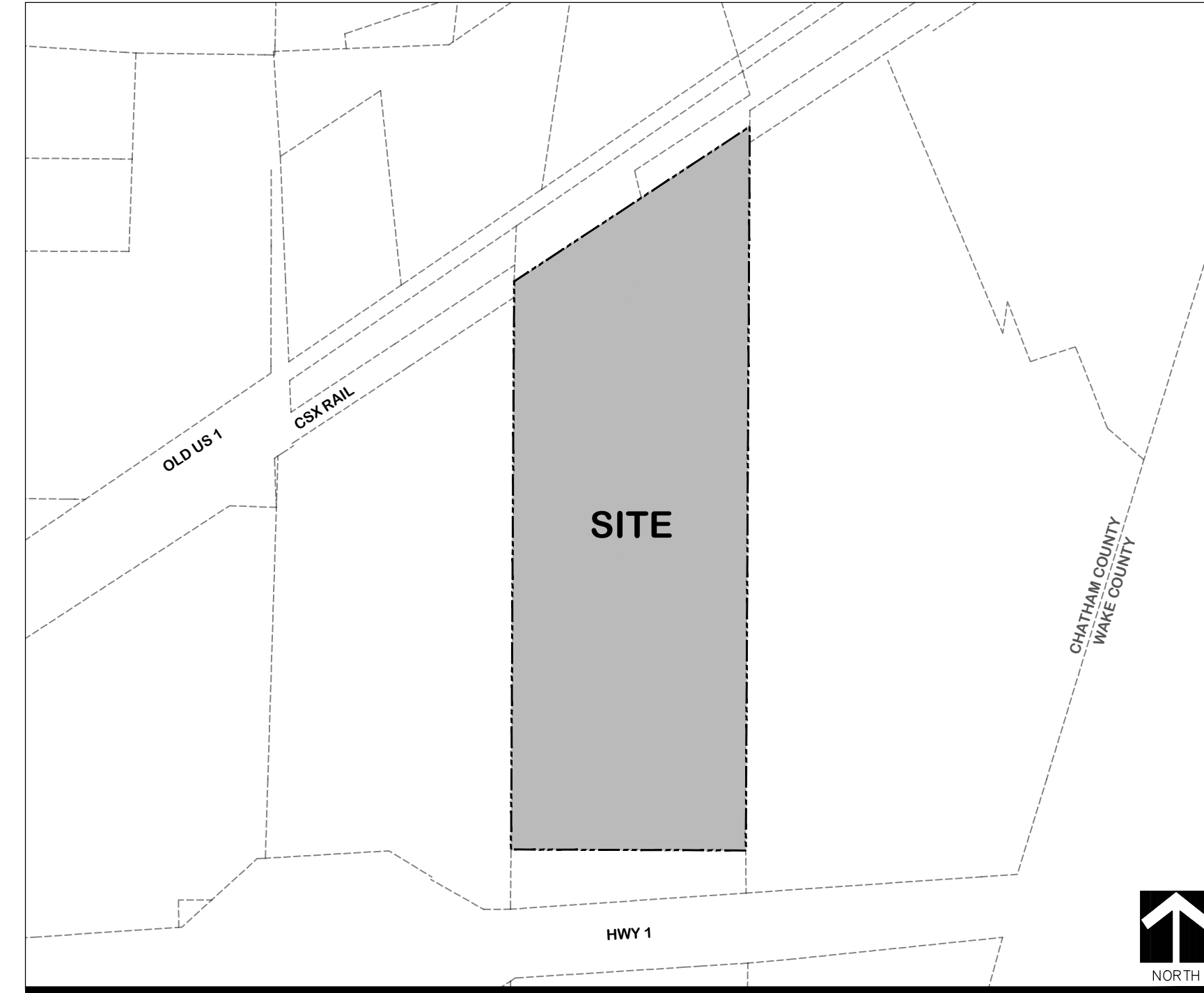


SITE PLAN FOR APPEARANCE COMMISSION APPLICATION FOR: NEW HILL CONCRETE BATCH PLANT NEW HILL, NORTH CAROLINA 27562

MUNICIPAL CONTACT LIST

- CHATHAM COUNTY
PLANNING DEPARTMENT
JASON SULLIVAN, DIRECTOR
80 EAST STREET A
PITTSBORO, NC 27312
919.542.8204
- CHATHAM COUNTY
PLANNING DEPARTMENT
JASON SULLIVAN, ZONING OFFICIAL
80 EAST STREET A
PITTSBORO, NC 27312
919.542.8204
- STREETS AND HIGHWAYS
NCDOT
DIVISION 8, DISTRICT 1
REUBEN BLAKELY, PE
121 DOT DRIVE
CARTHAGE, NC 28327
910.773.8000
910.947.3873 FAX
- CHATHAM COUNTY
BUILDING INSPECTIONS
BRANDON ANCONA,
BUILDING INSPECTIONS SUPERVISOR
12 EAST STREET
P.O. BOX 1089
PITTSBORO, NC 27312
919.930.5047
- CHATHAM COUNTY
ENVIRONMENTAL HEALTH
DEPARTMENT (SEPTIC
PERMITTING)
AMY LOWRY, DIRECTOR
P.O. BOX 130
PITTSBORO, NC 27312
919.545.8460



VICINITY MAP
1" = 500'

INDEX TO PLANS

C-0.0	COVER SHEET
	BOUNDARY & TOPOGRAPHIC SURVEY
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C-2.0	SITE LAYOUT PLAN
C-4.0	GRADING & STORM DRAINAGE PLAN
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L-1.0	LANDSCAPE PLAN

OWNER(S):
DHILLON HARDIP SINGH
5875 OLD US 1 HWY
NEW HILL, NC 27562

CIVIL ENGINEER:
PABST DESIGN GROUP, PA
P. DAN PABST, PE
107 FAYETTEVILLE STREET
RALEIGH, NC 27601
TEL: 919.848.4399
FAX: 919.848.4395
E-MAIL: dpabst@pabstdesign.com

SURVEYOR:
NEWCOMB LAND SURVEYORS, PLLC
JUSTIN LUTHER, PLS
7008 HARPS MILL ROAD, SUITE 105
RALEIGH, NC 27615
TEL: 919.847.1800
E-MAIL: justin@nls-nc.com

PABST DESIGN GROUP, PA
 Engineering | Consulting
 107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
 Phone: 919 848 4399 | Fax: 919 848 4395 | NC LICENSE NUMBER: C-3011

PREPARED FOR:
 CAROLINA CONCRETE READY MIX, INC.
 102 SOUTH WAKEFIELD STREET
 ZEBULON, NORTH CAROLINA 27597
 DATE: 6.16.2023
 PROJECT ENGINEER:
 PDP
 PROJECT CADD DESIGNER:
 JOL
 PROJECT SURVEYOR:
 NEWCOMB LAND SURVEYORS, LLC

NEW HILL CONCRETE BATCH PLANT
 NEW HILL, CHATHAM COUNTY, NORTH CAROLINA
SITE PLAN
COVER SHEET

NO.	REVISION	DATE

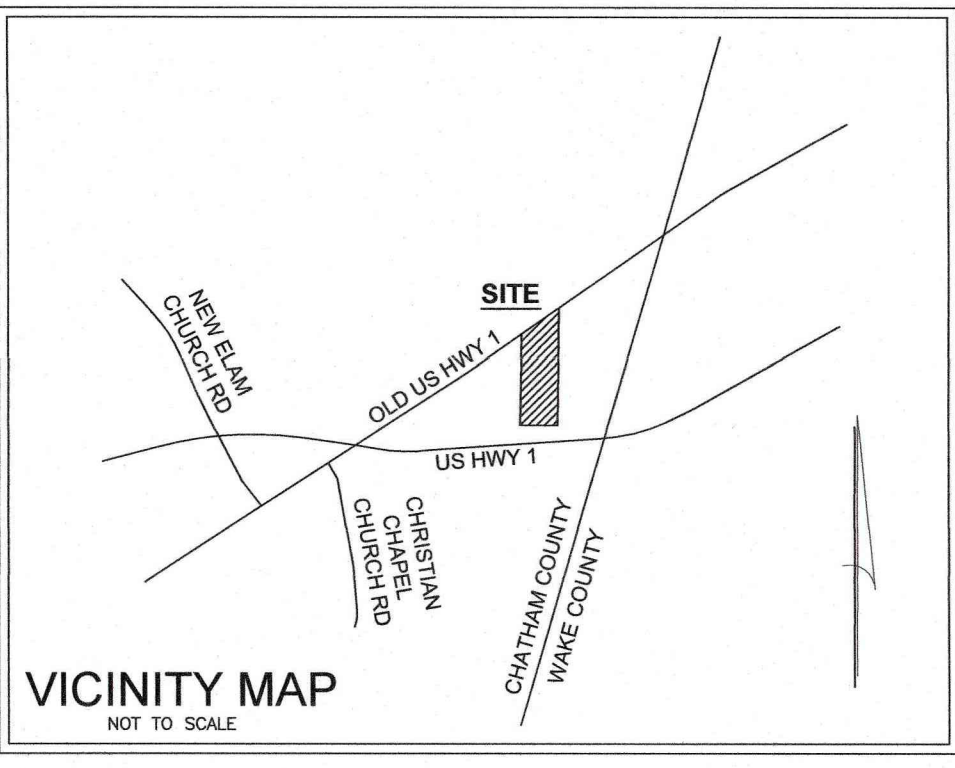
NO.	REVISION	DATE

DRAWING SHEET

C-0.0

PROJECT NUMBER
637-22

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

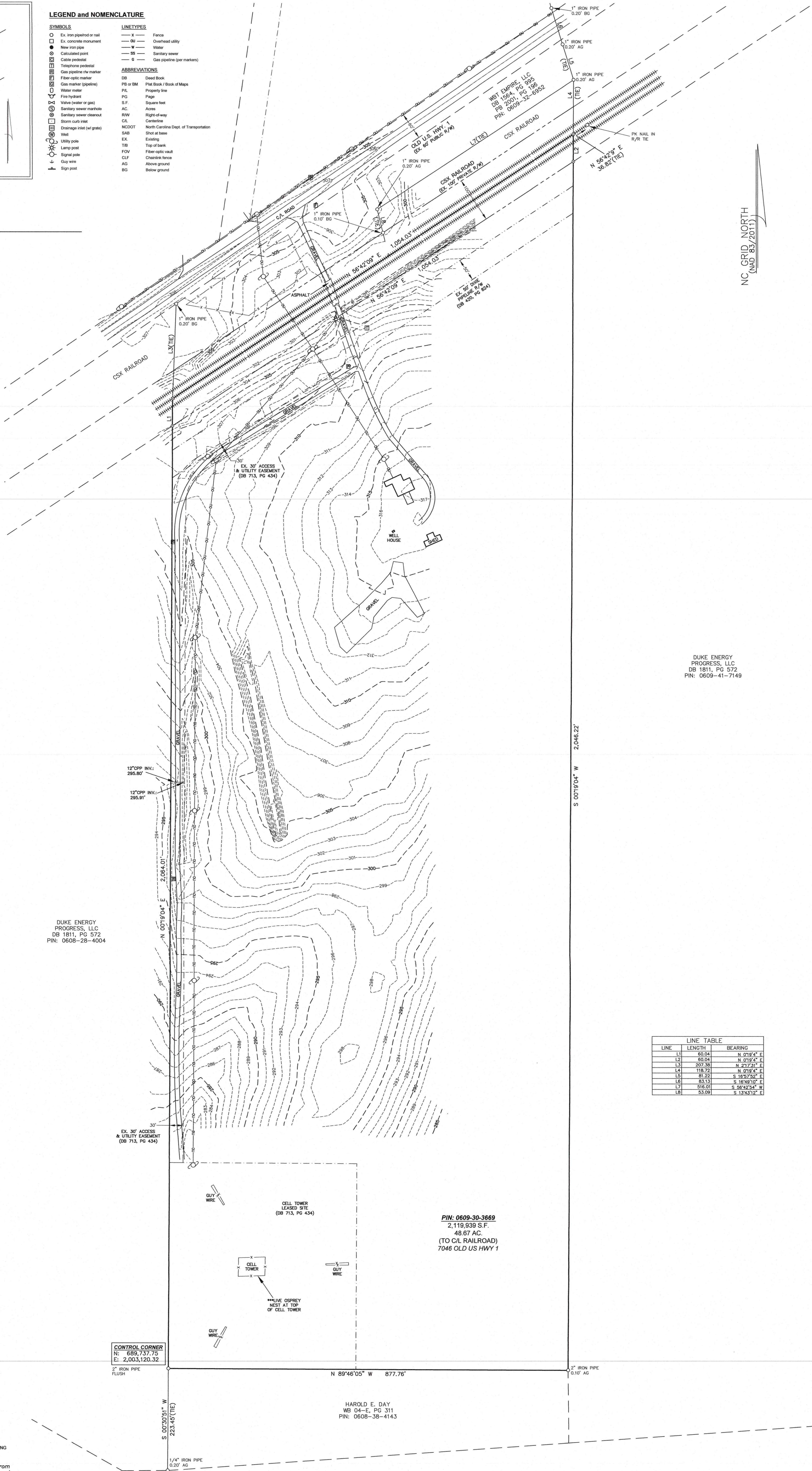


LEGEND and NOMENCLATURE

- SYMBOLS**
- Ex. iron pipelined or nail
 - Ex. concrete monument
 - New iron pipe
 - Calculated point
 - Cable pedestal
 - Telephone pedestal
 - Gas pipeline riser marker
 - Fiber-optic marker
 - Gas marker (pipeline)
 - Water meter
 - Fire hydrant
 - Valve (water or gas)
 - Sanitary sewer manhole
 - Sanitary sewer cleanout
 - Storm curb inlet
 - Drainage inlet (w/ grate)
 - Well
 - Utility pole
 - Lamp post
 - Signal pole
 - Guy wire
 - Sign post
- LINETYPES**
- X — Fence
 - O — Overhead utility
 - W — Water
 - SS — Sanitary sewer
 - G — Gas pipeline (per markers)
- ABBREVIATIONS**
- DB Deed Book
 - PB or BM Plat Book / Book of Maps
 - PL Property line
 - PL Page
 - S.F. Square feet
 - AC Acres
 - R/W Right of way
 - Ct. Contention
 - NCDOT North Carolina Dept. of Transportation
 - S&S Sheet at base
 - EX Existing
 - T/B Top of bank
 - FDV Fiber-optic vault
 - CLF Chain-link fence
 - AG Above ground
 - BG Below ground

REFERENCES:

- DEED BOOK 1342, PAGE 420
- PLAT BOOK 91, PAGE 72
- PLAT BOOK 93, PAGE 221
- PLAT BOOK 96, PAGE 20
- PLAT BOOK 2001, PAGE 196
- PLAT BOOK 2020, PAGE 216
- *OTHER SHOWN HEREON



DUKE ENERGY
PROGRESS, LLC
DB 1811, PG 572
PIN: 0609-41-7149

DUKE ENERGY
PROGRESS, LLC
DB 1811, PG 572
PIN: 0608-28-4004

LINE	LENGTH	BEARING
L1	60.04	N 01°14' E
L2	60.04	N 01°14' E
L3	207.38	N 27°31' E
L4	118.72	N 01°14' E
L5	81.22	S 16°57'42" E
L6	83.13	S 19°01'07" E
L7	516.01	S 56°42'24" W
L8	83.09	S 13°45'12" E

SURVEY NOTES:

- 1) All distances are horizontal ground distances in u.s. survey feet unless otherwise noted. Area(s) computed by coordinate geometry.
- 2) This survey does not include nor depict any environmental evaluations by this office. No investigation into the existence of wetlands or riparian buffers performed in the preparation of this survey.
- 3) Field survey(s) performed August 10 thru August 24, 2023.
- 4) Surveyor has made no investigation or independent search for easements of record, right(s) of way, encumbrances, restrictive covenants, ownership title evidence or any other facts that an accurate and current title search may disclose and may or may not be depicted hereon.
- 5) The locations of underground utilities as shown hereon (if any) are based on aboveground structures and aboveground visual evidence only. Locations of underground utilities/structures may vary from location shown hereon and any easements associated therewith may not be shown on this survey. Additional buried utilities/structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures. No 811 call tickets or private locators were requested in the preparation of this survey.
- 6) Subject property is not located within a special flood hazard zone per FEMA Flood Insurance Rate Map (FIRM) #3720060800L, effective date July 19, 2022.
- 7) The State Plane Coordinates for this project were produced with RTK GPS observations and processed using the North Carolina VRS network. The network positional accuracy of the derived positional information is ±0.07'. HORIZONTAL DATUM = NAD 83 / 2011. VERTICAL DATUM = NAVD 88.

THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

I, Justin L. Luther, certify that this plat was drawn under my supervision from an actual survey made under my supervision from references as noted on said plat; that the boundaries not surveyed are clearly indicated as drawn from information as indicated under references; that the ratio of precision or positional accuracy as calculated is greater than 1:10,000; that this plat was prepared in accordance with NCOS 47-30 as amended.

Witness my original signature, license number and seal this 31st day of August, 2023.



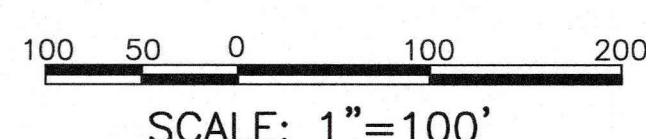
Professional Land Surveyor (L-5107)

CONTROL CORNER
N: 689,737.75
E: 2,003,120.32

PIN: 0609-30-3669
2,119,939 S.F.
48.67 AC.
(TO CL RAILROAD)
7046 OLD US HWY 1

HAROLD E. DAY
WB 04-E, PG 311
PIN: 0608-38-4143

BOUNDARY & TOPOGRAPHIC SURVEY
HARDIP SINGH DHILLON
CAPE FEAR TOWNSHIP CHATHAM COUNTY NORTH CAROLINA



SCALE: 1"=100'

NEWCOMB land surveyors, Llc, 7008 Harps Mill Road, Ste. 105, Raleigh, NC 27615, (919) 847-1800

JOB NO.: 230594
FILE NAME: B&T
PLOT DATE: 8/31/23

LEGEND	
---	LIMITS OF CONSTRUCTION
---	LIMITS OF DISTURBANCE
---	LIMITS OF DISTURBANCE & CONSTRUCTION
---	EXISTING UNKNOWN UTILITY
---	EXISTING TV
---	EXISTING TELEPHONE
---	EXISTING COMMUNICATIONS
---	EXISTING CATV
---	EXISTING FIBER OPTIC
---	EXISTING WATER PIPE
---	EXISTING WATER FORCE MAIN
---	EXISTING WATER FIRE LINE
---	EXISTING SANITARY SEWER PIPE
---	EXISTING SANITARY SEWER FORCE MAIN
---	EXISTING STORM PIPE
---	EXISTING GAS PIPE
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING FENCE
---	EXISTING TREE PROTECTION FENCE
---	EXISTING SILT/TREE PROTECTION FENCE
---	EXISTING GUARDRAIL
---	EXISTING TREE LINE
---	PROPOSED WATER PIPE
---	PROPOSED WATER FORCE MAIN
---	PROPOSED WATER FIRE LINE
---	PROPOSED SANITARY SEWER PIPE
---	PROPOSED SANITARY SEWER FORCE MAIN
---	PROPOSED STORM PIPE
---	PROPOSED GAS PIPE
---	PROPOSED OVERHEAD ELECTRIC
---	PROPOSED UNDERGROUND ELECTRIC
---	PROPOSED FENCE
---	PROPOSED TREE PROTECTION FENCE
---	PROPOSED SILT/TREE PROTECTION FENCE
---	PROPOSED GUARDRAIL
---	PROPOSED TREE LINE
---	PROPOSED TEMPORARY SILT FENCE
---	PROPOSED TEMPORARY DIVERSION DITCH
---	PROPOSED HANDICAP ACCESSIBLE ROUTE
---	FINISHED FLOOR ELEVATION
---	FLOW LINE
---	TOP OF CURB
---	TOP OF GROUND
---	EDGE OF PAVEMENT
---	TOP OF PAVEMENT
---	TOP OF WALL
---	BOTTOM OF WALL
---	HIGH POINT
---	LOW POINT
---	FLOW DIRECTION

	EXISTING CONCRETE
	EXISTING ASPHALT
	EXISTING STRUCTURE TO BE REMOVED
	EXISTING RIP RAP
	EXISTING VEGETATION
	EXISTING GRAVEL
	EXISTING WETLANDS
	EXISTING RIPARIAN BUFFER
	PROPOSED CONCRETE
	PROPOSED AREA OF UNDERGROUND GAS TANKS
	PROPOSED ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED AMENITY SPACE
	PROPOSED PAVEMENT REPAIR
	PROPOSED RIP RAP
	TREE CONSERVATION AREA
	PROPOSED GRAVEL
	PROPOSED CONSTRUCTION ENTRANCE
	7-DAY STABILIZATION
	14-DAY STABILIZATION
	PROPOSED BRICK PAVERS
	PROPOSED SS MANHOLE
	PROPOSED SS CLEANOUT
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED BLOW OFF ASSEMBLY
	PROPOSED METER VAULT
	PROPOSED HOTBOX
	PROPOSED SW MANHOLE
	PROPOSED SW INLET
	PROPOSED SW FLARED END SECTION
	BLOCK AND GRAVEL INLET PROTECTION
	SILT FENCE OUTLET
	CONCRETE WASHOUT

DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
- ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- MUNICIPAL AND UTILITY CONTACTS ARE LISTED ON COVER SHEET C-0.0.
- EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES.
- ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
- CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" SO AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE DETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE OWNER, ENGINEER AND ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSITION.
- ALL UTILITIES OR STRUCTURES NOT DESIGNATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- EXISTING PAVEMENT, CURB AND GUTTER, SIDEWALK, ETC. NOT INDICATED FOR REMOVAL, WHICH IS DAMAGED DURING DEMOLITION/CONSTRUCTION, SHALL BE REPAIRED OR REPLACED TO MATCH ORIGINAL CONDITION.
- SALVAGEABLE FILL MATERIALS FROM SITE DEMOLITION DETERMINED TO BE ACCEPTABLE BY AN INDEPENDENT SOILS TESTING LABORATORY SHALL BE UTILIZED FOR FILL MATERIAL WHERE APPROPRIATE.
- ANY NOTE, OR REFERENCE TO ANY ELEMENT, WHICH DOES NOT SPECIFY ACTION BY THE CONTRACTOR SHALL BE CONSTRUED AS INFORMATION ONLY.
- ALL PIPE INSTALLATION, WHEN REQUIRED BY PIPE DEPTHS AND EXCAVATION, SHALL BE PERFORMED WITH THE USE OF TRENCH BOXES. ALL EXCAVATIONS, UTILITY AND GRADING WORK, SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAFETY AND SECURITY FENCING, BARRIERS, PROTECTION MATERIAL AND METHODS AS REQUIRED TO COMPLETE ANY OFF SITE WORK IN A SAFE AND TIMELY MANNER.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- UNLESS OTHERWISE NOTED, ALL EXISTING VEGETATION TO REMAIN AND TO BE UNDISTURBED FOR THE DURATION OF CONSTRUCTION. IF DAMAGES OCCUR TO EXISTING VEGETATION, PLANTS SHALL BE REPLACED IN KIND.
- ANY EXISTING WELLS AND/OR SEPTIC SYSTEMS SHALL BE ABANDONED IN ACCORDANCE WITH CHATHAM COUNTY HEALTH DEPARTMENT STANDARDS.

SITE LAYOUT NOTES:

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF NEW HILL, CHATHAM COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, EDGE OF SIDEWALK, FACE OF CURB, CENTERLINE OF COLUMN AND FACE OF BUILDING WALL, UNLESS OTHERWISE NOTED. ALL RADIUS DIMENSIONS TO BACK OF CURB.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS REQUIRED IN SPECIFICATIONS.
- ALL STRIPING SHALL BE 4" WIDE AND PAINTED WHITE UNLESS NOTED OTHERWISE.
- ALL RADI TO BE 3'-0" ODC UNLESS OTHERWISE NOTED.
- ALL PLANS AND CONSTRUCTION DETAILS MUST MEET THE CURRENT SPECIFICATIONS OF CHATHAM COUNTY AND NCDOT.
- VERIFY ALL SETBACKS WITH LOCAL CODES.
- ALL CURB RAMPS SHALL HAVE A DETECTABLE WARNING COMPLYING WITH SECTIONS 4.7.7 AND 4.29.2 OF THE ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE GROUND SIGN W/ DEVELOPER.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- DETECTABLE WARNINGS ARE REQUIRED AT ANY CROSSWALK, OR ISLAND CUT THRU, WHERE THERE IS NOT CHANGE IN ELEVATION (I.E. RAMP NOT PROVIDED).
- NEW WHITE PAINT DIRECTIONAL ARROWS SHALL BE IN ACCORDANCE WITH LATEST REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL" FOR LOW SPEED URBAN CONDITIONS.
- PERMANENT AND TEMPORARY SIGNAGE REQUIRES AN APPROVED SIGN PERMIT PRIOR TO INSTALLATION. SIGNAGE IS A SEPARATE SUBMITTAL, REVIEW, AND APPROVAL PROCESS BY THE PLANNING DEPARTMENT.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING. 1-800-632-4849.

GENERAL UTILITY NOTES:

- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PABST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF THE CITY OF RALEIGH, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY N.C. "ONE CALL" AT 1-800-632-4849. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE CONCRETE PLANT.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY

TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.

- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER BEFORE COMPLETION OF THE PROJECT FOR CITY APPROVAL.
- ALL SANITARY SEWER SERVICES SHALL BE PVC SCH 40 UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- CONTRACTOR SHALL VERIFY EXISTING UTILITIES WITHIN PROPOSED ALIGNMENTS WATER / SEWER PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF CONFLICTS ARE ENCOUNTERED.

CITY OF RALEIGH UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CHATHAM COUNTY DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE.
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CHATHAM COUNTY PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CHATHAM COUNTY PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CHATHAM COUNTY PUBLIC UTILITIES DEPARTMENT.
- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" - 8" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT.

GRADING NOTES:

- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PABST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF THE CITY OF RALEIGH, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS OTHERWISE NOTED.
- ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
- CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS OFF SITE. THIS RESPONSIBILITY SHALL INCLUDE ALL REQUIRED APPROVALS AND CONDITIONS DICTATED BY THE CITY OF RALEIGH.
- ALL OPEN STORM DRAIN PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER STOPPAGE OF WORK EACH DAY.
- CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES AND INLETS.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- ONCE SILT FENCE IS INSTALLED, CALL CHRIS BRIDGERS, CITY OF RALEIGH EROSION CONTROL INSPECTOR AT 919-279-1308 TO INSPECT & APPROVE SILT FENCE AND SILT FENCE OUTLETS.
- CONTRACTOR SHALL FIELD VERIFY EXISTING TOPOGRAPHY IN RELATION TO THE PROPOSED GRADES TO ENSURE DRAINAGE IN THE DIRECTION INDICATED ON PLANS.
- INITIATE CONSTRUCTION SEQUENCE BEFORE BEGINNING CLEARING AND GRADING ON-SITE OPERATIONS.
- STRIP TOPSOIL TO FULL DEPTH IN AREAS TO BE GRADED.
- MAXIMUM GRADED SLOPE SHALL NOT EXCEED 2:1, UNLESS OTHERWISE NOTED.
- AREAS TO BE GRADED SHALL BE CLEARED OF ALL EXISTING VEGETATION. CONTRACTOR TO PROTECT VEGETATION LOCATED BEYOND GRADING LIMITS.
- COMPACT ALL FILL AREAS TO 95% OF MAXIMUM DENSITY, OR PER GEOTECHNICAL RECOMMENDATIONS.
- PROPOSED SPOT ELEVATIONS ARE SHOWN AT FINISHED GRADED.
- ALL 2:1 SLOPES TO BE STABILIZED WITH TURF REINFORCEMENT MAT PER MANUFACTURER'S RECOMMENDATIONS. SLOPES TO BE SEEDED W/ COASTAL SLOPE SHIELD MIX SUMMER/SPRING OR FALL/WINTER BLEND DEPENDING ON SEASON. CONTACT ACF ENVIRONMENTAL FOR SPECIFICATIONS AT 1-800-448-3636.

TOTAL DISTURBED AREA = ±227,153 SF, 5.21 AC

GENERAL PLANTING NOTES:

- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK'.
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWINGS SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE DESIGNER.
- CONTRACTOR SHALL HAVE UTILITY COMPANY LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY HIS/HER WORK.
- METHODS OF TREE STAKING INDICATED ON THE DRAWINGS ARE SUGGESTIONS ONLY. THE LANDSCAPE CONTRACTOR SHALL USE WHATEVER METHOD HE DEEMS FIT, HOWEVER HE WILL BE HELD LIABLE FOR ANY

DAMAGES CAUSED TO TREES BY IMPROPER STAKING METHODS (OR ABSENCE OF STAKING) AND IS RESPONSIBLE FOR UPRIGHTING AND REPLANTING TREES WHICH ARE BLOWN OVER.

- ALL AREAS NOT SHOWN AS HARD SURFACES, PLANT BED, MULCHED OR UNDISTURBED AREAS, SHALL BE SEEDED OR SODDED AS LAWN WITH BERMUDA GRASS.
- ALL LANDSCAPE BEDS CONTAIN TRIPLE SHREDDED HARDWOOD MULCH AT A THICKNESS OF 3".
- ALL LANDSCAPE BEDS SHALL HAVE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- ALL PLANT BEDS SHALL BE TREATED WITH PRE-EMERGENT WEED CONTROL (I.E. TRIFLORAL GRANULES).
- ALL PLANTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL BE VIGOROUS, HEALTHY MATERIAL FREE OF PESTS AND DISEASE.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR, AND THE TOTAL QUANTITIES SHALL BE REQUIRED ON THE PLANTING PLAN.
- OWNERS SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THIS PLAN.
- PLANT MATERIAL ON THIS SITE MUST BE INSTALLED IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS ON THIS PLAN OR TO THE STANDARDS OF THE CHATHAM COUNTY.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND LICENSES TO PERFORM THE REQUIRED WORK.

**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

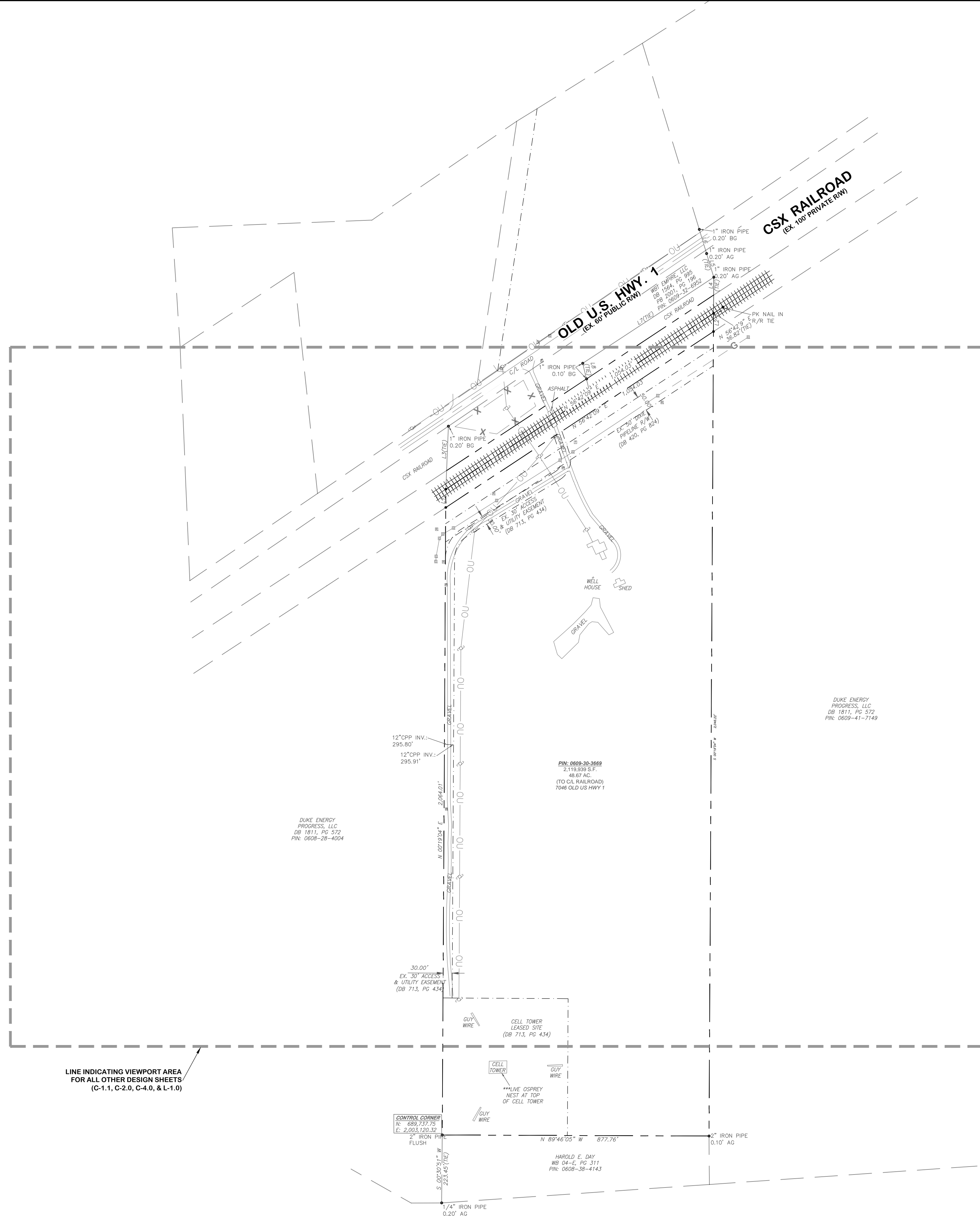
NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CHATHAM COUNTY, NCDOT, CSX, & MUTCD STANDARDS AND SPECIFICATIONS.

PABST DESIGN GROUP, PA
Engineering & Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 846 4999 | Fax: 919 946 0958 | NC LICENSE NUMBER: C-3011

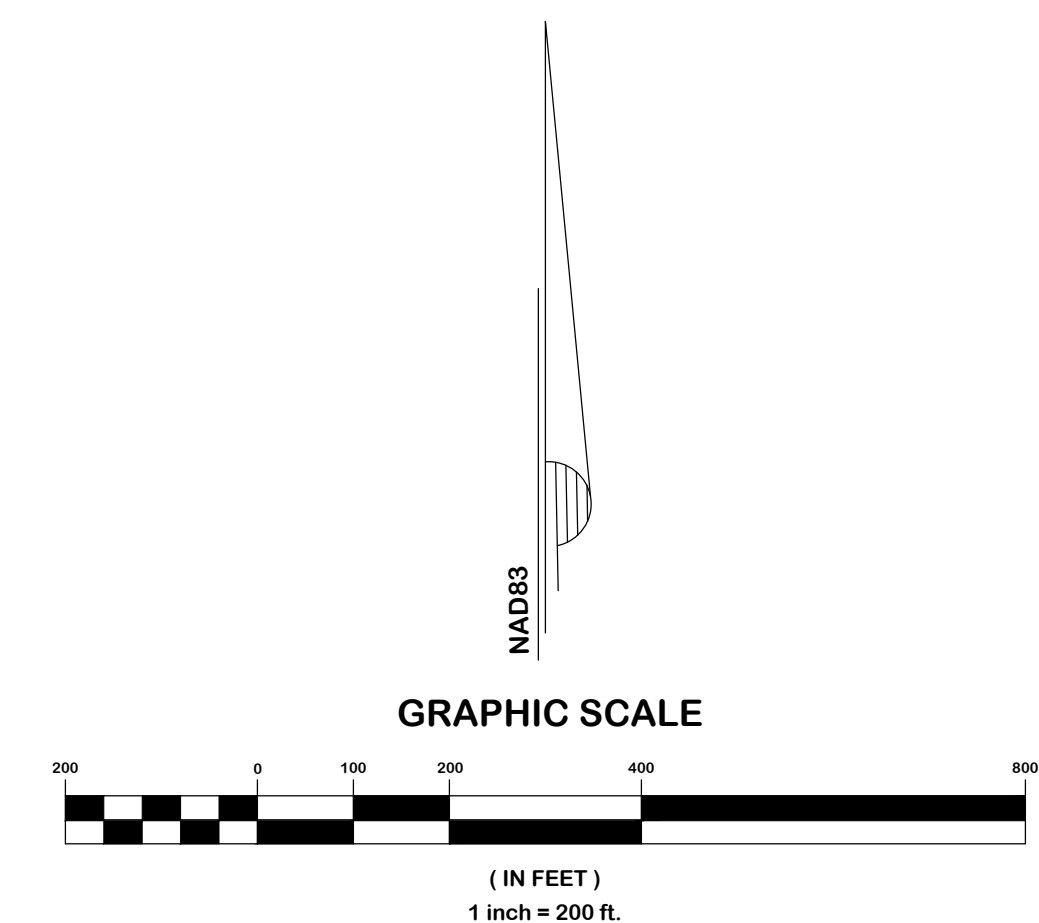
NEW HILL CONCRETE BATCH PLANT
NEW HILL, CHATHAM COUNTY, NORTH CAROLINA
SITE PLAN
LEGENDS AND NOTES SHEET

NO.	DATE	REVISION	DATE

DRAWING SHEET
C-0.1
PROJECT NUMBER
637-22



LINE INDICATING VIEWPORT AREA FOR ALL OTHER DESIGN SHEETS (C-1.1, C-2.0, C-4.0, & L-1.0)



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PAST DESIGN GROUP, PA
 Engineering | Consulting
 107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
 Phone: 919 848 4399 | Fax: 919 848 4395 | NC LICENSE NUMBER: C-3311

PREPARED FOR:
 CAROLINA CONCRETE READY MIX, INC.
 102 SOUTH WAKEFIELD STREET
 ZEBULON, NORTH CAROLINA 27597

DATE: 6.16.2023

PROJECT ENGINEER:
 PJP

PROJECT CADD DESIGNER:
 JDL

PROJECT SURVEYOR:
 WISCONSIN LAND SURVEYORS, LLC

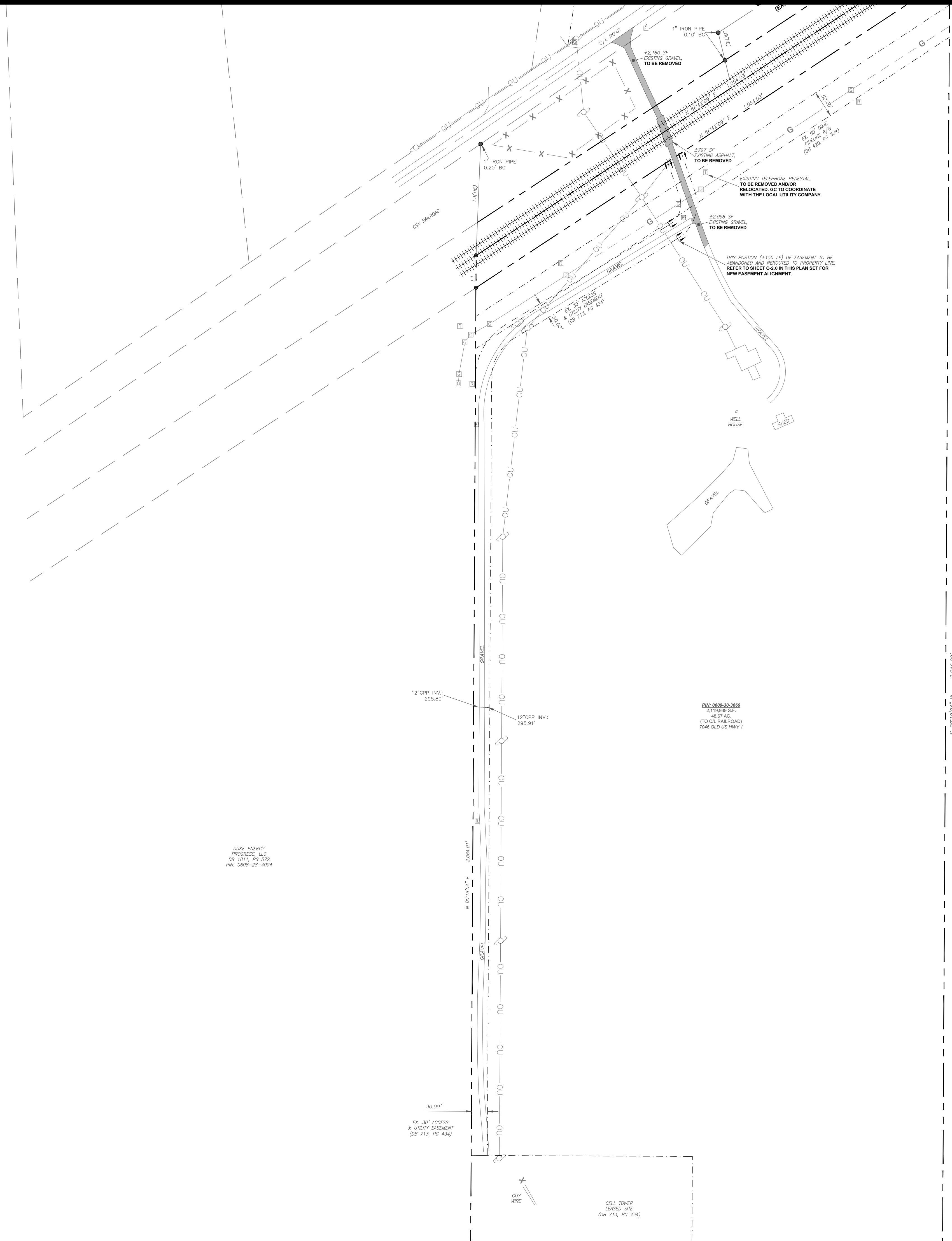
**NEW HILL CONCRETE BATCH PLANT
 SITE PLAN
 EXISTING CONDITIONS CONTEXT SHEET**

NEW HILL, CHATHAM COUNTY, NORTH CAROLINA

NO.	REVISION	DATE

NO.	REVISION	DATE

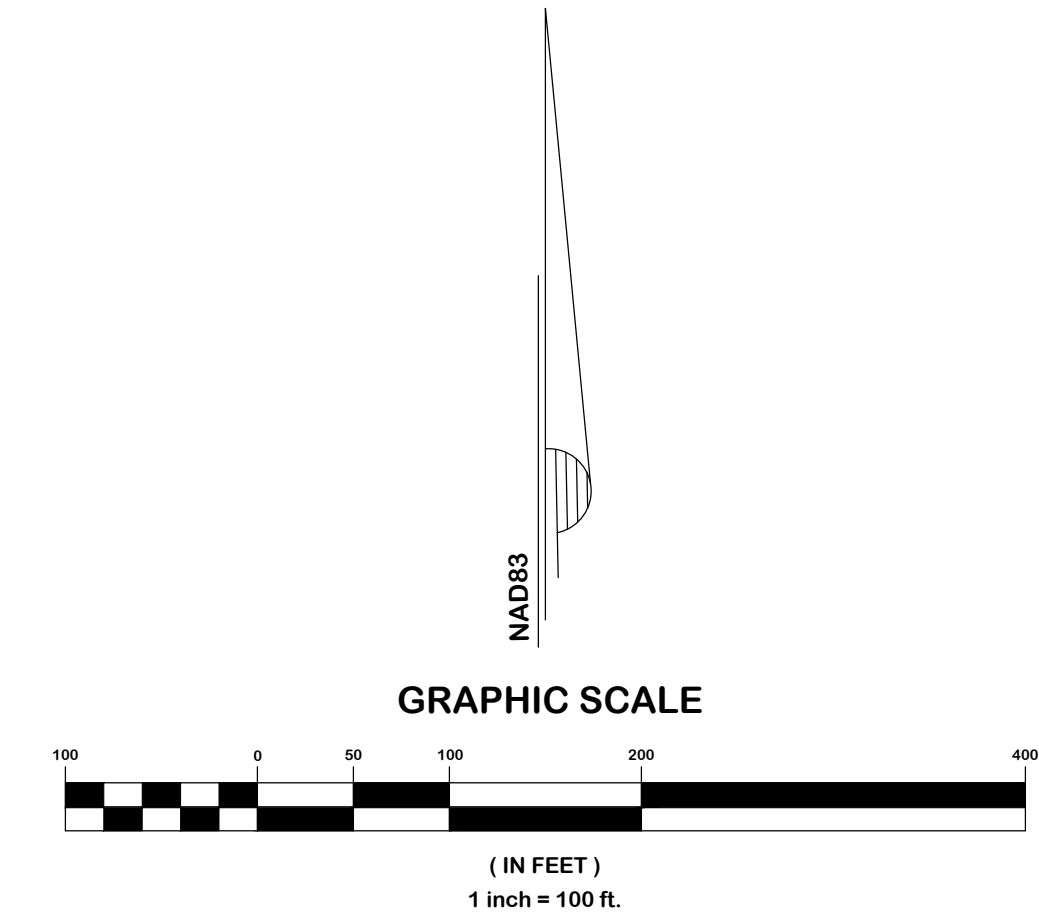
DRAWING SHEET
C-1.0
 PROJECT NUMBER
637-22



DUKE ENERGY
PROGRESS, LLC
DB 1811, PG 572
PIN: 0608-29-4004

PIN: 0609-30-989
7,119,529 SF
48.67 AC
(TO OLD RAILROAD)
7046 OLD US HWY 1

DUKE ENERGY
PROGRESS, LLC
DB 1811, PG 572
PIN: 0609-41-7149



**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

PREPARED FOR:
CAROLINA CONCRETE READY MIX, INC.
102 SOUTH WAKEFIELD STREET
ZEBULON, NORTH CAROLINA 27597
DATE: 6.16.2023
PROJECT ENGINEER:
PJP
PROJECT CADD DESIGNER:
JUL
PROJECT SURVEYOR:
WESTON LAND SURVEYORS, LLC

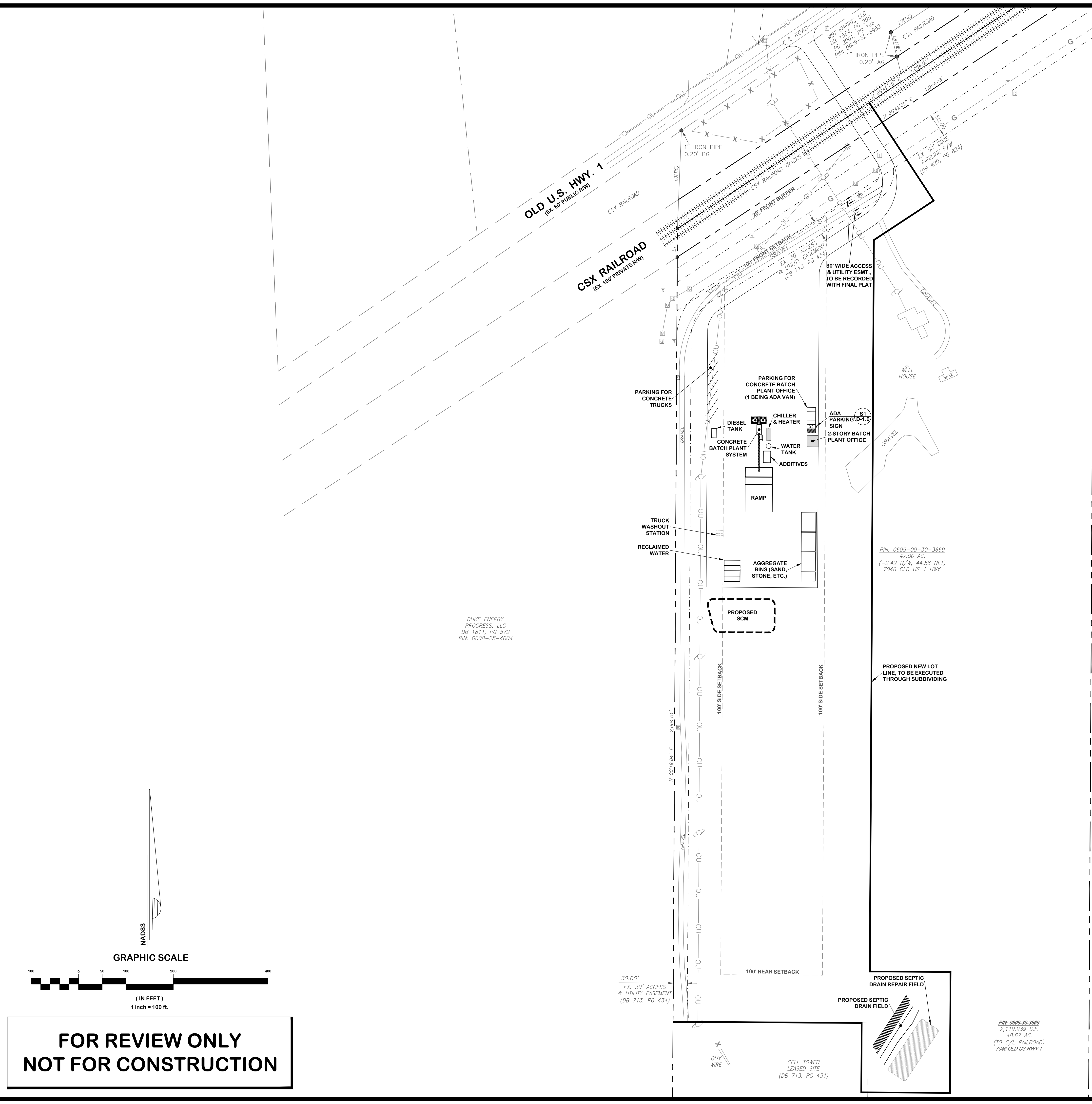
**NEW HILL CONCRETE BATCH PLANT
SITE PLAN
EXISTING CONDITIONS & DEMOLITION PLAN**

NEW HILL, CHATHAM COUNTY, NORTH CAROLINA

NO.	REVISION	DATE

DRAWING SHEET
C-1.1
PROJECT NUMBER
637-22

C:\Public\10-Projects\600-699\637-22 New Hill Concrete Batch Plant (Carolina Concrete)\50-Drawings\54-Design\637-22 C-2.0.dwg - Apr. 16, 2024 - 9:57am. Bx: hlab



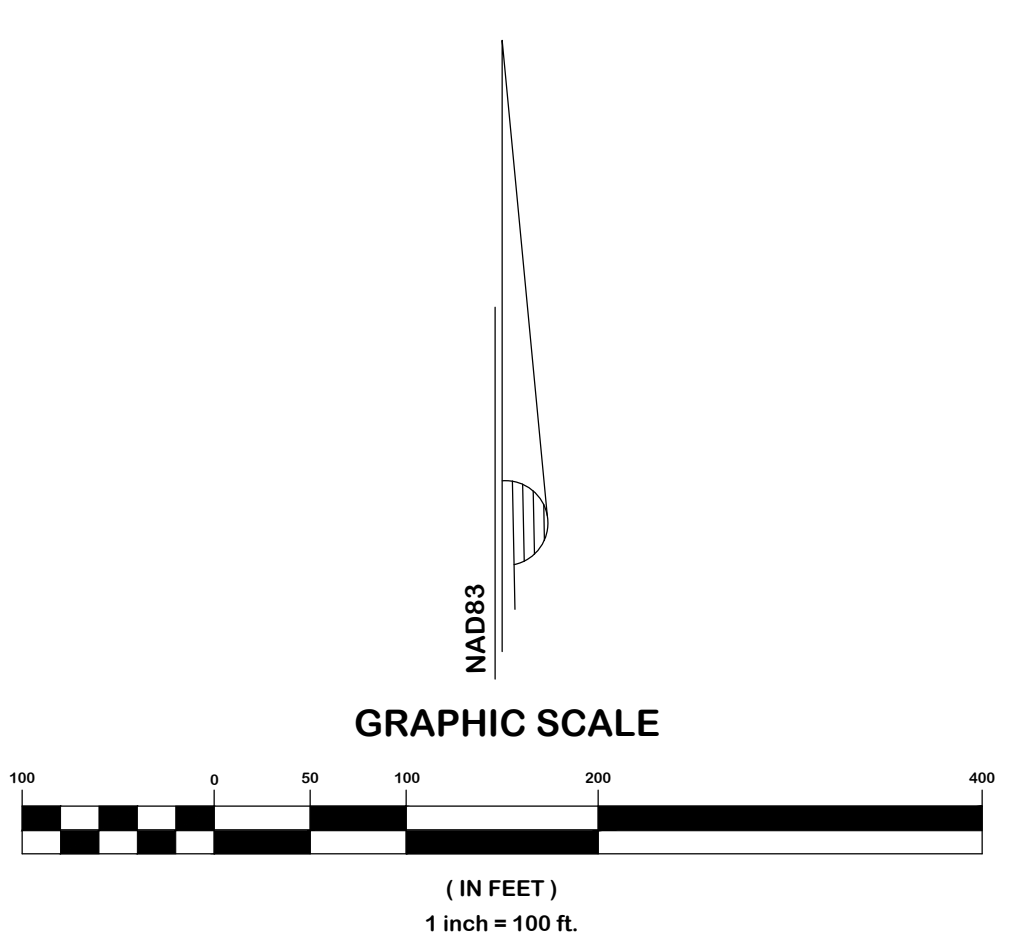
SITE DATA TABLE	
PROJECT NAME:	NEW HILL CONCRETE BATCH PLANT
CHATHAM COUNTY	7046 OLD US 1 HWY
SITE ADDRESS:	NEW HILL, NC 27562
OWNER/APPLICANT:	SANCHEZ BROTHERS CONCRETE AND MASONRY LLC 105 E HORTON ST ZEBULON, NC 27597
ENGINEER:	PABST DESIGN GROUP, PA 107 FAYETTEVILLE ST, STE 200 RALEIGH, NC 27601 919.848.4399
PIN #:	0609-30-3669
PARCEL #:	0005523
DEED/PAGE:	DB 2373 PG 0876
EXISTING PARCEL AREA:	48.667 AC (SURVEY)
PROPOSED PARCEL AREA PER SUBDIVISION:	PARCEL 1: 18.614 AC (PRIMARY - CONCRETE BATCH PLANT) PARCEL 2: 30.053 (RESIDUAL)
RIVER BASIN:	CAPE FEAR
EXISTING ZONING DISTRICT:	HEAVY INDUSTRIAL (IND-H)
REQUIRED LOT AREA:	80,000 SF (MAX)
REQUIRED LOT WIDTH:	300 FT (MIN)
EXISTING LAND USE:	SINGLE FAMILY RESIDENTIAL
PROPOSED LAND USE:	CONCRETE BATCH PLANT (HEAVY INDUSTRIAL)
IMPERVIOUS AREA:	EXISTING: 39,722 SF PARCEL 1 EXISTING TO REMAIN: 20,417 SF PARCEL 1 PROPOSED: 155,292 SF PARCEL 1 TOTAL: 175,709 SF (21.67% OF PARCEL) PARCEL 2 EXISTING TO REMAIN: 14,008 SF PARCEL 2 PROPOSED: 0 SF PARCEL 2 TOTAL: 14,008 SF (10.70% OF PARCEL)
BUILDING SETBACKS:	FRONT: 100 FT (MIN) SIDE: 100 FT (MIN) REAR: 100 FT (MIN)
PARKING SETBACKS:	FROM RIGHT-OF-WAY: 10 FT (MIN)
LANDSCAPE BUFFERS:	ADJACENT PROPERTY BUFFER: N/A ADJACENT STREET BUFFER: 20' WIDE SCREEN C
MINIMUM PARKING REQUIREMENTS:	REQUIRED: 1 SPACE/200 SF NET RENTABLE AREA (80% GFA) 1,152 GFA x 0.80 = 921.6 = 922 SF 922 SF / 200 = 4.61 = 5 SPACES PROVIDED: 5 SPACES (1 BEING ADA ACCESSIBLE)

DUKE ENERGY
PROGRESS, LLC
DB 1811, PG 572
PIN: 0609-41-7149

PIN: 0609-00-30-3669
47.00 AC.
(-2.42 R/W, 44.58 NET)
7046 OLD US 1 HWY

PIN: 0609-30-3669
2,119,939 S.F.
48.67 AC.
(TO C/L RAILROAD)
7046 OLD US HWY 1

DUKE ENERGY
PROGRESS, LLC
DB 1811, PG 572
PIN: 0609-28-4004



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PABST DESIGN GROUP, PA
 Engineering | Consulting
 107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
 Phone: 919 848 4399 | Fax: 919 948 9395 | NC LICENSE NUMBER: C-3011

PREPARED FOR:
 CAROLINA CONCRETE READY MIX, INC.
 102 SOUTH WAKEFIELD STREET
 ZEBULON, NORTH CAROLINA 27597
 DATE: 6.16.2023
 PROJECT ENGINEER:
 PJP
 PROJECT CADD DESIGNER:
 JDL
 PROJECT SURVEYOR:
 WESLAW LAND SURVEYORS, LLC

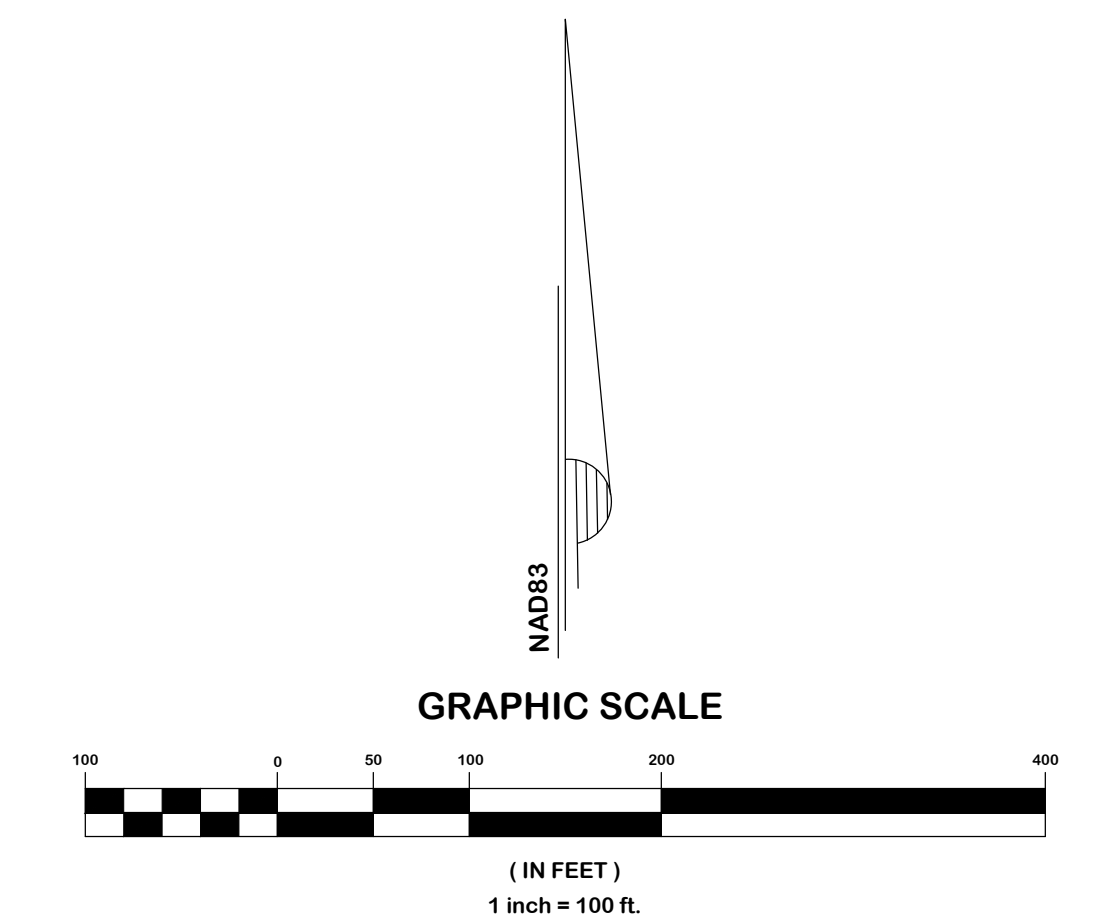
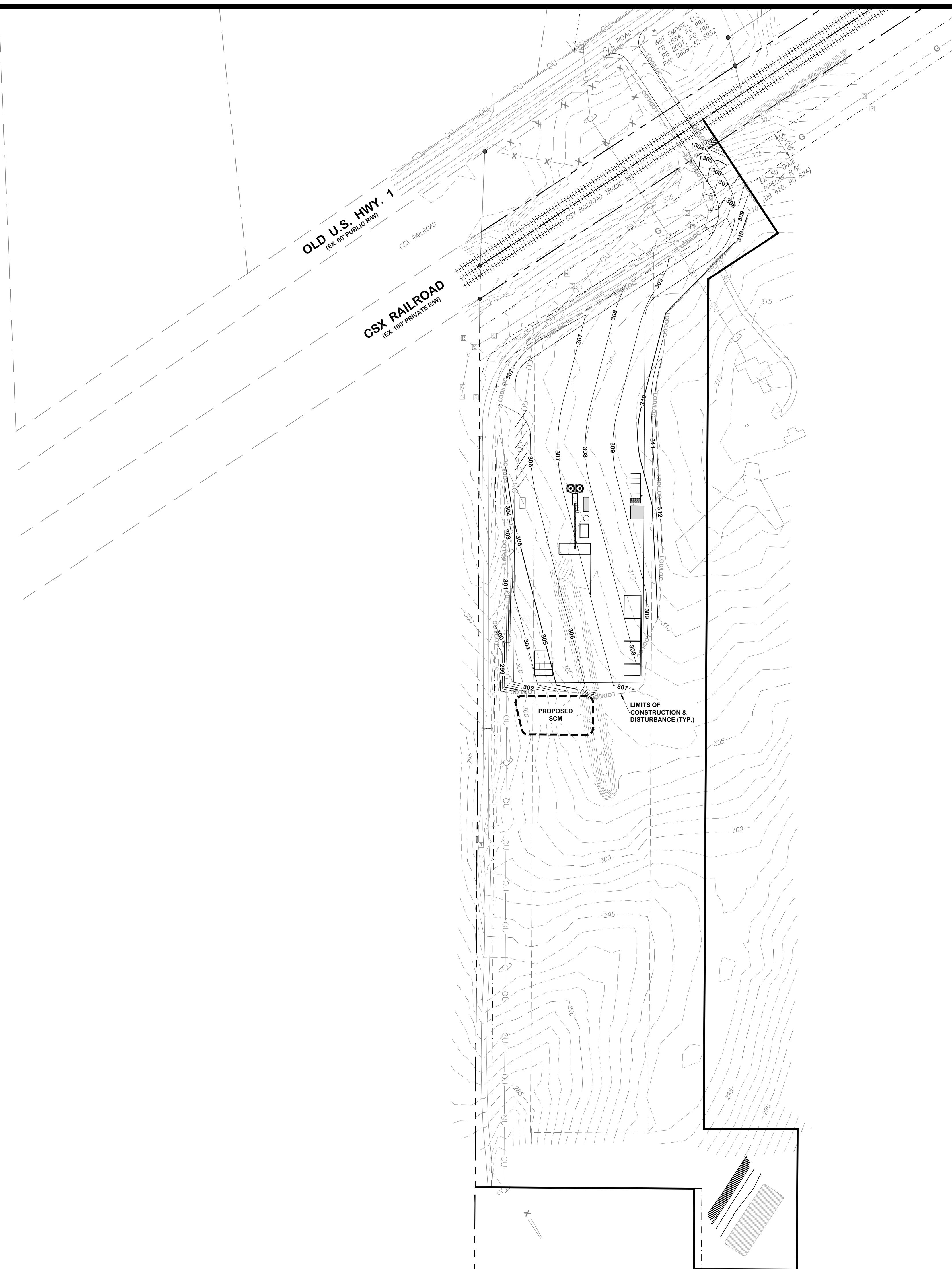
NEW HILL CONCRETE BATCH PLANT
 NEW HILL, CHATHAM COUNTY, NORTH CAROLINA
SITE PLAN
LAYOUT PLAN

NO.	REVISION	DATE

DRAWING SHEET
C-2.0

PROJECT NUMBER
637-22

F:\Public\10-Projects\600-699\637-22 New Hill Concrete Batch Plant (Carolina Concrete)\50-Drawings\54-Design\637-22 C-4.0.dwg - Apr 16, 2024 - 10:00am BY: jrcb



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PREPARED FOR:
CAROLINA CONCRETE READY MIX, INC.
102 SOUTH WAKEFIELD STREET
ZEBULON, NORTH CAROLINA 27597
DATE: 6.16.2023
PROJECT ENGINEER:
PJP
PROJECT CADD DESIGNER:
JUL
PROJECT SURVEYOR:
WESTCOMB LAND SURVEYORS, LLC

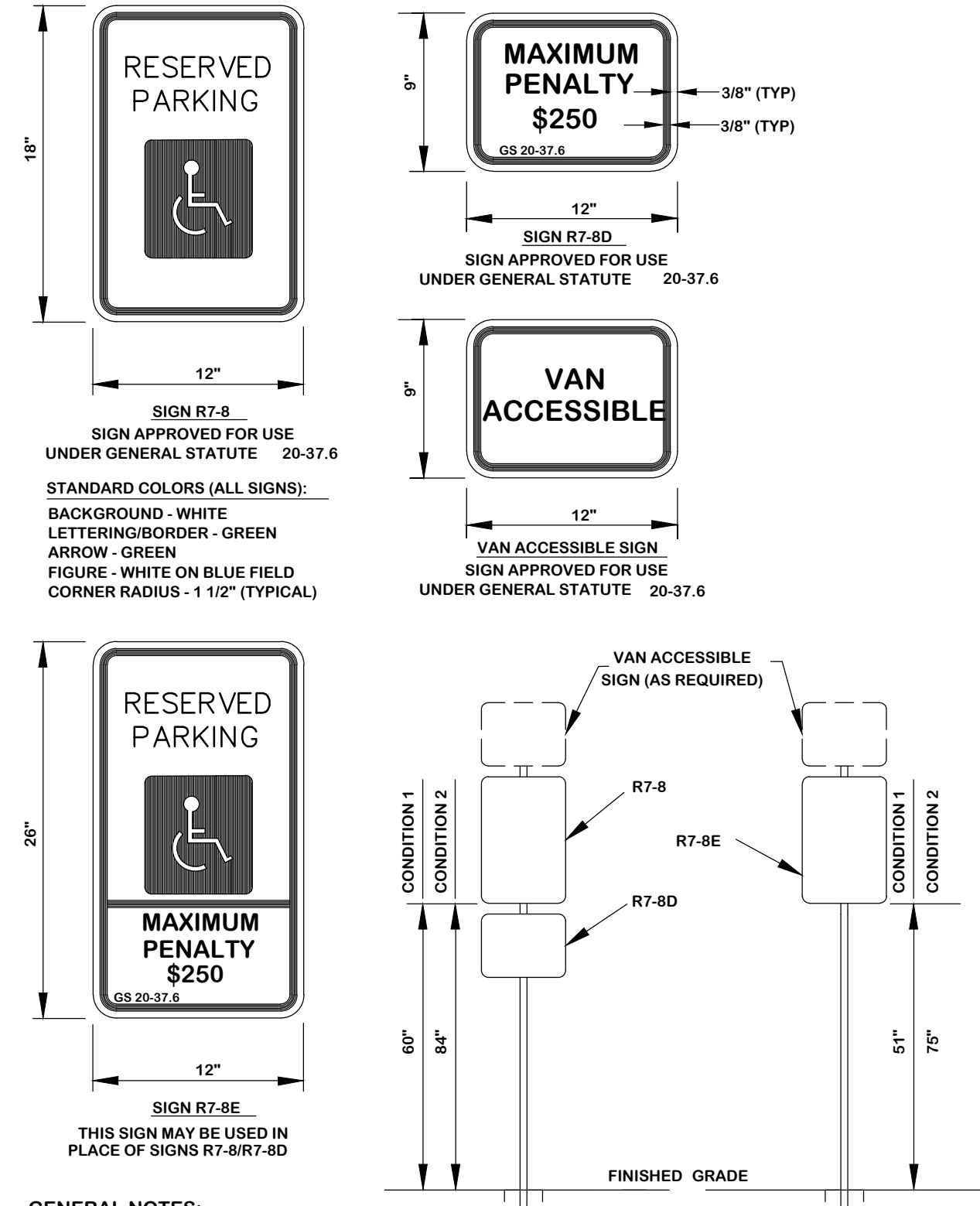
NEW HILL CONCRETE BATCH PLANT
NEW HILL, CHATHAM COUNTY, NORTH CAROLINA
SITE PLAN
STORM DRAINAGE & GRADING PLAN

NO.	REVISION	DATE

DRAWING SHEET
C-4.0

PROJECT NUMBER
637-22

PBST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 843 4399 | Fax: 919 848 8951 | NC LICENSE NUMBER: C-3311



- GENERAL NOTES:**
- REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY. (SEE N.C.G.S.)
 - NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.
 - ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOR REQUIRED.
 - STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (N.C.D.O.T.)
- CONDITION 1: PEDESTRIAN PATH DOES NOT PASS UNDER OR AROUND SIGN.
 CONDITION 2: PEDESTRIAN PATH GOES BY, UNDER, OR AROUND SIGN.

S1 ADA HANDICAP PARKING SIGN

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F:\Public\10-Projects\600-699\637-22 New Hill Concrete Batch Plant (Carolina Concrete)\50-Drawings\54-Design\637-22 D-1.0.dwg Apr 15, 2024 - 10:24am BY: jacob

PAST DESIGN GROUP, PA
 Engineering | Consulting
 107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
 Phone: 919 848 4399 | Fax: 919 848 4395 | NC LICENSE NUMBER: C-3311

PREPARED FOR:	CAROLINA CONCRETE READY MIX, INC. 102 SOUTH WAKEFIELD STREET ZEBULON, NORTH CAROLINA 27597
DATE:	6.16.2023
PROJECT ENGINEER:	PJP
PROJECT CADD DESIGNER:	JUL
PROJECT SURVEYOR:	WESTCOMB LAND SURVEYORS, LLC

NEW HILL CONCRETE BATCH PLANT
 NEW HILL, CHATHAM COUNTY, NORTH CAROLINA
SITE PLAN
SITE DETAIL SHEET

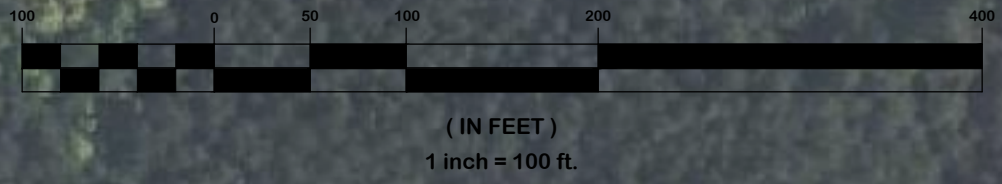
NO.	REVISION	DATE

DRAWING SHEET
D-1.0
 PROJECT NUMBER
637-22

F:\Public\10-Projects\600-699\637-22 New Hill Concrete Batch Plant (Carolina Concrete)\50-Drawings\54-Design\637-22 L-1.0.dwg Apr 16, 2024 9:56am Btk: jrb



GRAPHIC SCALE



**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

PREPARED FOR:
CAROLINA CONCRETE READY MIX, INC.
102 SOUTH WAKEFIELD STREET
ZEBULON, NORTH CAROLINA 27597
DATE: 6.16.2023
PROJECT ENGINEER:
PMP
PROJECT CADD DESIGNER:
JUL
PROJECT SURVEYOR:
NEWCOM LAND SURVEYORS, LLC

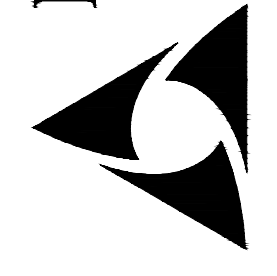
**NEW HILL CONCRETE BATCH PLANT
SITE PLAN
LANDSCAPE PLAN**
NEW HILL, CHATHAM COUNTY, NORTH CAROLINA

NO.	REVISION	DATE

DRAWING SHEET
L-1.0

PROJECT NUMBER
637-22

PAST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 846 4399 | Fax: 919 846 4395 | NC LICENSE NUMBER: C-3311



30.00'
EX. 30' ACCESS
& UTILITY EASEMENT
(DB 713, PG 434)

PIN: 0609-00-30-3669
47.00 AC.
(-2.42 R/W, 44.58 NET)
7046 OLD US 1 HWY

DUKE ENERGY
PROGRESS, LLC
DB 1811, PG 572
PIN: 0609-41-7149

PIN: 0609-30-3669
2,119,939 S.F.
48.67 AC.
(TO C/L RAILROAD)
7046 OLD US HWY 1

2-STORY BATCH
PLANT OFFICE

PROPOSED
SCM

100' SIDE SETBACK

100' SIDE SETBACK

PROPOSED NEW LOT
LINE, TO BE EXECUTED
THROUGH SUBDIVIDING

100' REAR SETBACK

OLD U.S. HWY. 1
(EX. 66 PUBLIC R/W)

CSX RAILROAD
(EX. 100 PRIVATE R/W)

EXISTING VEGETATION IN
TYPE C BUFFER (TYP.)
TO BE PRESERVED

EX. 30' ACCESS
& UTILITY EASEMENT
(DB 713, PG 434)

EX. 50' DIME
PIPELINE R/W
(DB 420, PG 824)

WBT CONCRETE, LLC
DB 1564, PG 595
DB 2041, PG 596
PIN: 0609-32-6922