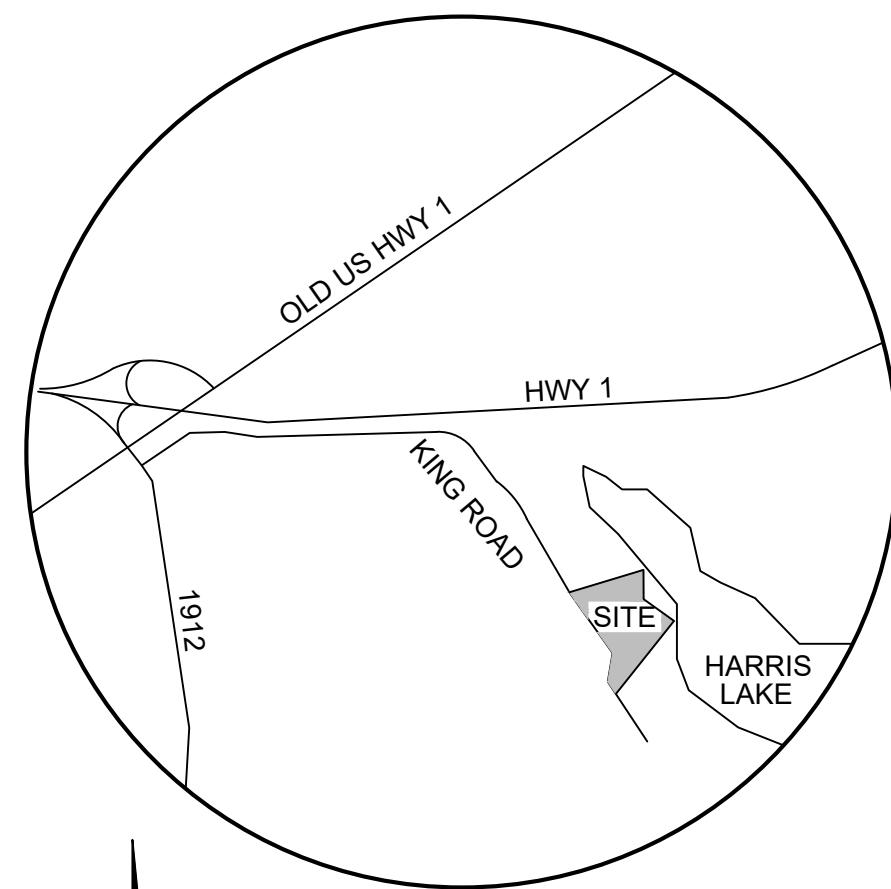


# KING ROAD ASPHALT PLANT

## MONCURE, NORTH CAROLINA APPEARANCE COMMISSION APPLICATION

CHATHAM COUNTY  
PRELIMINARY REVIEW SET: JULY 26, 2023



### VICINITY MAP

SCALE: 1" = 2000'

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### SITE INFORMATION

LOCATION:	1535 KING RD, MONCURE, NC 28334
COUNTY:	CHATHAM
ACREAGE:	18.69 AC
DB/PG:	1915 / 0431
ZONING:	IND-H (HEAVY INDUSTRIAL)
CURRENT LAND USE:	VACANT
<b>MINIMUM BUILDING SETBACKS:</b>	
FRONT:	130'
SIDE:	100'
REAR:	100'
<b>OFF-STREET PARKING:</b>	
PARKING REQUIRED:	2 (1 SPACE / 3 EMPLOYEES)
PROVIDED:	2 (FOR 6 EMPLOYEES)
TOTAL PARKING PROVIDED:	3 PARKS (1 STD W/ 1 ADA)
<b>IMPERVIOUS AREAS:</b>	
ROADWAYS / PARKING:	0.35 AC
BUILDING:	0.15 AC
GRAVEL:	3.08 AC
SIDEWALK:	4.52 AC
TOTAL:	5.03% AC

### Developer / Land Owner:

1535 KING ROAD, LLC  
421 N BLOUNT ST  
Raleigh, NC 27601  
919-291-2179 (m)

### Civil Engineering:

The Curry Engineering Group, PLLC  
NC License # P-0799  
205 S. Fuquay Ave  
Fuquay-Varina, NC 27526  
919.552.0849 (o)  
Contact: Jared Matthews, PE  
jared@curryeng.com

### Surveying:

Robinson and Plant, PC  
1240 SE Maynard Road #203  
Cary, NC 27511  
919.859.6030 (o)  
Contact: Buddy Plante

REVISIONS	PROFESSIONAL'S SEAL	CONSULTANT	CLIENT
			<b>1535 King Road, LLC</b> 421 Blount Street Raleigh, NC 27601
STATUS: FOR REVIEW ONLY NOT FOR CONSTRUCTION DATE: MARCH, 2022 FILE NO. 2021-021			
HORZ. SCALE: NTS ORIG. SHEET SIZE: 24 x 36		CHATHAM COUNTY PROJECT # XXXXXXXXX	<b>CONSTRUCTION DRAWINGS</b> SPECIAL USE PERMIT <b>KING ROAD ASPHALT PLANT</b> COVER SHEET

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<b>1535 King Road, LLC</b> 421 Blount Street Raleigh, NC 27601
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<b>CONSTRUCTION DRAWINGS</b> SPECIAL USE PERMIT <b>KING ROAD ASPHALT PLANT</b> COVER SHEET	<b>C0.0</b>
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**GENERAL CONSTRUCTION NOTES:**

- TOPOGRAPHICAL DATA PERFORMED BY ROBINSON AND PLANTE, P.C. CONTOURS SHOWN HEREON ARE FROM AN ACTUAL FIELD SURVEY. BOUNDARY INFORMATION SUPPLIED BY OWNER AND SHOWN FOR REFERENCE ONLY. CONSULT PLS FOR ACTUAL BOUNDARY DATA.
- THE CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OF FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. THE OWNER SHALL PAY ALL COSTS IN CONNECTION WITH ALTERATION OF OR RELOCATION OF ANY EXISTING FACILITIES.
- ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED.
- ALL STRUCTURAL FILL MATERIAL SHALL BE FREE OF ALL STICKS, ROCKS, AND CLUMPS OF MUD.
- UNUSABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN AN APPROVED SOLID WASTE LANDFILL.
- THE PROPOSED BUILDING WILL NOT BE SPRINKLERED.
- THERE IS EXISTING UNDERGROUND WATER, SEWER, ELECTRICAL, AND FIBER OPTIC ON-SITE OR WITHIN CLOSE PROXIMITY. CONTRACTORS SHALL DIG WITH EXTREME CAUTION.
- CONCRETE SUB SHALL BE RESPONSIBLE FOR ALL SCORE JOINTS AND EXPANSION JOINTS. SHOULD A QUESTION ARISE ABOUT THE PROPOSED PATTERN CONSULT WITH THE ENGINEER PRIOR TO POURING.
- CONTRACTOR TO FURNISH ALL PAVEMENT MARKINGS AS SHOWN.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND MUST BE FIELD VERIFIED. CONTACT THE NC ONE CALL CENTER AT LEAST 48 HOURS PRIOR TO DIGGING @ 1.800.632.4949. MAULDIN WATKINS SURVEYING HAS ONLY LOCATED THE UTILITIES THAT ARE ABOVE GROUND AT THE TIME OF FIELD SURVEY. UNDERGROUND LINES SHOWN HEREON ARE APPROXIMATE OR AS REPORTED BY VARIOUS RESPONSIBLE PARTIES. THE SURVEYOR DOES NOT GUARANTEE THAT ANY UNDERGROUND STRUCTURES SUCH AS UTILITIES, TANKS AND PIPES ARE LOCATED HEREON.
- ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS IMPOSED BY LOCAL UTILITY AND CHATHAM COUNTY.
- ALL CONSTRUCTION AND MATERIALS SHALL MEET CHATHAM COUNTY SPECIFICATIONS AND STANDARDS, LATEST EDITION. ALL WORK WITHIN NCDOT RIGHT-OF-WAY SHALL MEET THE SPECIFICATIONS AND STANDARDS OF NCDOT.
- ALL CONCRETE PIPE IS TO BE ASTM C-76, CLASS III WITH RAM-NEK.
- THIS PROPERTY IS LOCATED IN AN AREA OF MINIMAL FLOOD HAZARD - ZONE X PER FEMA MAP, FEMA COMMUNITY MAP # 3720088800J, DATED MAY 2, 2006.
- ALL LOT DIMENSIONS SHOWN ARE APPROXIMATE. CONSULT THE BOUNDARY SURVEY OF ACTUAL SITE BOUNDARY INFORMATION.
- WETLANDS ARE PRESENT ON SITE, HOWEVER THEY ARE NOT PRESENT WITHIN THIS PROJECT AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT RIGHT-OF-WAY. ALL SIGNS, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- PRIOR TO PLACING C&G STONE BASE, THE CONTRACTOR SHOULD NOTIFY THE PROJECT ENGINEER TO INSPECT AND PROOF ROLL THE SUBGRADE. ANY STONE PLACE WITHOUT PRIOR APPROVAL WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- DESIGN/FIELD CONDITIONS QUITE EASILY MAY VARY FROM THAT REPRESENTED IN THE INITIAL SOILS REPORT AND/OR TOPOGRAPHICAL REPORT. ISOLATED AREAS MAY SHOW UP WEAK AND ADVERSE SOILS OR GROUNDWATER CONDITIONS MAY BE DISCOVERED THAT WERE NOT REVEALED DURING THE INITIAL SOILS INVESTIGATION. THEREFORE, THE OWNER/CLIENT IS TO BE AWARE THAT CURRY ENGINEERING GROUP, PLLC WILL NOT AND CANNOT BE HELD RESPONSIBLE FOR ANY FAILURES TO EITHER A STREET OR PARKING LOT PAVEMENT DESIGN UNLESS WE CAN BE FULLY AND TOTALLY INVOLVED IN THE CONSTRUCTION PROCESS WHICH MAY INCLUDE, BUT MAY NOT NECESSARILY BE LIMITED TO: TESTING SUBGRADE AND BASE DENSITY, ENGAGING THE DESIGN ENGINEER FOR THE EVALUATION OF THE SUBGRADE AND FOR THE OBSERVATION OF PROOF ROLLING SUBGRADE AND BASE AT VARIOUS STEPS OF CONSTRUCTION, OPPORTUNITY FOR THE DESIGN ENGINEER TO CALL IN A SOILS ENGINEER FOR CONSULTATION AND ADVICE, ETC. - STEPS WHICH TAKEN ALTOGETHER WITH THE INITIAL DESIGN SHOWN ON THE PLANS, CONSTITUTE THE COMPLETE DESIGN OF THE ROAD, STREET OF PARKING AREA (PRIVATE OR PUBLIC). THE DESIGN ENGINEER MUST BE GIVEN THE FULL LATITUDE AND OPPORTUNITY TO COMPLETE THE DESIGN BY FULLY PARTICIPATING IN THE CONSTRUCTION PROCESS. PLAN DESIGN IS A SMALL PORTION OF THE DESIGN AND CANNOT BE SEPARATED FROM THE CONSTRUCTION PROCESS IF THE OWNER'S/CLIENT'S DESIRE IS TO HAVE THE DESIGN ENGINEER STAND BEHIND THE COMPLETED DESIGNED PROJECT.
- ALL UTILITY SERVICES, (POWER, TELEPHONE, CABLE, ETC.) ARE PROPOSED TO BE UNDERGROUND. DO NOT SEED OR MULCH DISTURBED AREAS UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN INSTALLED.
- LIGHTS ARE LEASED AND SUPPLIED BY DUKE ENERGY. SEE PHOTOMETRICS SHEET FOR DETAILS.
- WATER AND SEWER IS TO BE PROVIDED BY THE CHATHAM COUNTY.
- THE BUILDING SETBACK LINES SHOWN ON THIS PLAN ARE FOR THE ENGINEER'S USE IN ESTABLISHING MINIMUM LOT FRONTAGES AT THE SETBACK LINE AND FOR RESERVING SUFFICIENT BUILDING AREA. BUILDING CONTRACTORS ARE TO VERIFY LOT LINE SETBACKS BEFORE SETTING FORMS OR DIGGING FOOTINGS.
- REGULATORY SIGNS, STOPS SIGNS AND STREET NAME SIGNS SHALL BE MANUFACTURED FROM HIGH INTENSITY REFLECTIVE MATERIALS.
- ALL EXCESS TOPSOIL AND UNCLASSIFIED EXCAVATION IS TO BE HAULED OFF-SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- ALL SITE CONSTRUCTION MUST BE INSPECTED BY THE PROJECT ENGINEER AT THE FOLLOWING STAGES:  
A. COMPLETION OF GRADING SUBGRADE PRIOR TO PLACING STONE BASE.  
B. COMPLETION OF STONE PLACEMENT PRIOR TO PAVING.  
C. FINAL INSPECTION WHEN ALL WORK IS COMPLETE.
- THE SURVEYOR DID NOT VISIBLY SEE ANY CEMETERIES IN ANY OPEN AREAS UNLESS OTHERWISE NOTED.
- THIS PROPERTY DOES NOT DEPICT ENCUMBRANCES THAT ARE FOUND DURING A THOROUGH TITLE SEARCH.
- ALL HVAC UNITS FOR THE PROPOSED BUILDING WILL BE SCREENED FROM PUBLIC RIGHT OF WAY.
- ALL CURB AND GUTTER TO BE 24" STANDARD CURB AND GUTTER. ALL CURB AND GUTTER WITHIN NCDOT R/W SHALL BE 30" STANDARD.
- ALL CURB AND GUTTER AND SIDEWALK CONCRETE IS TO BE MINIMUM 3,000 PSI AT 28 DAYS, AIR ENTRAINED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE.
- PROVIDE HANDICAP SIGNS, MARKING AND RAMPS AS SHOWN.
- HANDICAP RAMPS ARE TO MEET "ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES" AS DETAILED IN THE FEDERAL REGISTER, VOLUME 36, NUMBER 144 DATED JULY 26, 1991, RULES AND REGULATIONS ACTIVATED JANUARY 26, 1992. FOR ADDITIONAL INFORMATION, REFER TO THE 2012 NC STATE BUILDING CODE CHAPTER 11, "ACCESSIBILITY." ALL STREET RETURNS TO HAVE H.C. RAMPS.
- CONTRACTOR SHALL NOT POUR ANY CONCRETE BEFORE FORMS ARE INSPECTED BY THE PROJECT ENGINEER AND/OR OWNER. ANY CONCRETE THAT HAS NOT BEEN APPROVED BY THE ENGINEER AND/OR OWNER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL AREAS NOT COVERED BY BUILDING OR PARKING SHALL BE COVERED WITH 4" MINIMUM OF TOPSOIL, FREE OF ROOT MATTER AND ROCKS AND GRASSED.

- CONTRACTOR SHALL SAW-CUT TO PROVIDE SMOOTH TRANSITIONS WHERE EXISTING ASPHALT AND/OR CURB AND GUTTER IS TO BE REMOVED.
- THE CONTRACTOR SHALL PROVIDE ALL THE MATERIAL AND APPURTENANCES NECESSARY FOR THE COMPLETE INSTALLATION OF THE UTILITIES. ALL PIPE AND FITTINGS SHALL BE INSPECTED PRIOR TO BEING COVERED.
- ALL HANDICAP SPACES ARE TO RECEIVE A HANDICAP SIGN AND HANDICAP SYMBOL PAINTED ON THE ASPHALT. NOTE STALLS TO RECEIVE 'VAN ACCESSIBLE' SIGNAGE.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE POINTS.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12 INCHES, WHICH EVER IS LESS, CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. CHATHAM COUNTY & CURRY ENGINEERING ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKEOUT ASSOCIATED WITH THE PROJECT.
- ALL WATER LINE AND SEWER LINE INSTALLATION SHALL CONFORM TO THE STANDARDS AND DETAILS OF THE STATE OF NORTH CAROLINA DEPARTMENT OF HEALTH CONSTRUCTION PERMIT AND CHATHAM COUNTY.
- THE LAND DISTURBANCE PERMIT MUST BE KEPT ON THE WORK SITE AND SHOWN UPON REQUEST.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY THE STATE OF NORTH CAROLINA DEPARTMENT OF HEALTH & CHATHAM COUNTY.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DE-WATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
- NATURAL GAS IS NOT AVAILABLE.
- TESTING BY CONTRACTOR: CONTRACTOR SHALL EMPLOY AT HIS EXPENSE AN OUTSIDE INDEPENDENT SOIL TESTING SERVICE (APPROVED BY THE ARCHITECT) TO PERFORM SOIL TESTING AND INSPECTION SERVICE FOR QUALITY CONTROL TESTING DURING EARTHWORK OPERATIONS. COPIES OF RESULTS OF TESTS SHALL BE SUBMITTED BY THE TESTING SERVICE DIRECTLY TO THE CONTRACTOR, THE ARCHITECT, AND THE STRUCTURAL ENGINEER. THE TESTING SERVICE WILL CLASSIFY PROPOSED ON-SITE AND BORROW SOILS TO VERIFY THAT SOILS COMPLY WITH SPECIFIED REQUIREMENTS AND TO PERFORM REQUIRED FIELD AND LABORATORY TESTING. MINIMUM REQUIRED SOIL BEARING CAPACITY IS NOTED ON THE STRUCTURAL DRAWINGS. -IN PAVED AND BUILDING SLAB AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 2000 SQUARE FEET OF FILL IN EACH COMPACTED FILL LAYER. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION. -IN FOUNDATION WALL AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 100 FEET OR LESS OF WALL LENGTH OF FILL IN EACH COMPACTED FILL LAYER. WITH NO LESS THAN TWO TESTS ALONG A WALL FACE. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION.
- COMPACTION: COMPACT EACH LAYER OF BACKFILL AND FILL SOIL MATERIALS AND THE TOP 12" OF SUBGRADE IN CUT AREAS TO 98% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D698 FOR STRUCTURES, SLABS, AND PAVEMENTS AND 95% OF MAXIMUM DENSITY FOR LAWNS OR UNPAVED AREAS.
- THE BUILDING CONTRACTOR AND THE SITE WORK CONTRACTOR ARE TO COORDINATE THE INSTALLATION OF DRAINAGE PIPES AROUND THE BUILDING STRUCTURE.
- ANY RELOCATION OF EXISTING UTILITIES WILL BE AT THE COST OF THE DEVELOPER/OWNER. THE COUNTY WILL NOT ACCEPT RESPONSIBILITY FOR DAMAGES TO CURB AND GUTTER OR STREET IMPROVEMENTS INSTALLED PRIOR TO UNDERGROUND SERVICES, NOR WILL THE COUNTY ABSORB THE COST FOR BORINGS TO INSTALL UNDERGROUND SERVICE, PAVEMENT PATCHING OR DAMAGE TO LANDSCAPING. THESE WILL BE THE RESPONSIBILITY OF THE DEVELOPER/OWNER.
- FIRE DEPARTMENT VEHICULAR ACCESS TO ALL STRUCTURES UNDER CONSTRUCTION SHALL BE PROVIDED AT ALL TIMES. IN AREAS WHERE GROUND SURFACES ARE SOFT OR LIKELY TO BECOME SOFT, HARD ALL WEATHER SURFACE ROADS SHALL BE PROVIDED AND MAINTAINED.
- ADDRESS NUMBERS, BOTH COMMERCIAL AND RESIDENTIAL, MUST BE POSTED ON THE FRONT OF THE STRUCTURE. NEAREST TO THE MAIN ENTRANCE IN A POSITION TO BE PLAINLY LEGIBLE, VISIBLE, AND UNOBSTRUCTED FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- DISTURBED AREA IS IN EXCESS OF 1 ACRE AND FORMAL SEDIMENTATION & EROSION CONTROL PLAN APPROVAL WAS REQUIRED AS A CONDITION OF CONSTRUCTION PLAN APPROVAL. A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE KEPT ON SITE AT ALL TIMES. THE APPROVED SEDIMENTATION & EROSION CONTROL PLAN SHOULD BE REGARDED AS MINIMUM REQUIREMENTS; ADDITIONAL MEASURES SHALL BE PUT IN PLACE AS NEEDED TO ENSURE THAT NO SEDIMENT IS RELEASED FROM THE SITE. (CONSTRUCTION/SITE PLANS) WATER AND SEWER PERMIT APPLICATIONS HAVE BEEN APPROVED BY THE DENR. PERMIT NUMBERS ARE AS FOLLOWS:  
A. WATER PERMIT NUMBER: N/A  
B. SEWER PERMIT NUMBER: N/A
- COPIES OF ALL PERMITS AND APPROVED PLANS MUST BE KEPT ON SITE IN A PERMIT BOX THAT IS CONSPICUOUSLY LOCATED AND EASILY ACCESSIBLE DURING CONSTRUCTION. THIS INCLUDES APPROVED CONSTRUCTION PLANS, APPROVED EROSION CONTROL PLANS, ENCROACHMENT AGREEMENTS, DRIVEWAY PERMITS, WATER/SEWER PERMITS, ETC.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CHATHAM COUNTY AND NCDENR STANDARDS AND SPECIFICATIONS.
- MAINTAIN MINIMUM 3' COVER FOR ALL WATER PIPE.
- WHERE WATERLINE CROSSES:  
A. SANITARY SEWER: WATERLINE SHALL CROSS ABOVE AND MAINTAIN 2' VERTICAL SEPARATION OR 10' OF HORIZONTAL SEPARATION. IF THIS SEPARATION CANNOT MAINTAIN OR IF WATERLINE PASSES BELOW SEWER LINE THEN BOTH WATERLINE AND SEWER LINE SHALL BE CLASS 50 DUCTILE IRON PIPE FOR A MINIMUM OF 10' EACH SIDE OF CROSSING.  
B. STORM SEWER: WHERE WATERLINE CROSSES ABOVE MAINTAIN 1' VERTICAL SEPARATION, WHERE WATERLINE CROSSES BELOW MAINTAIN 2' VERTICAL SEPARATION. IF THIS SEPARATION CANNOT BE MAINTAINED WATERLINE SHALL BE CLASS 50 DUCTILE IRON PIPE FOR MINIMUM OF 10' EACH SIDE OF CROSSING.
- WHERE SANITARY SEWER CROSSES STORM MAINTAIN 2' SEPARATION. IF THIS SEPARATION CANNOT BE MAINTAINED SANITARY SEWER SHALL BE CLASS 50 DUCTILE IRON PIPE FOR MINIMUM OF 10' EACH SIDE OF CROSSING.
- REFERENCE NC 15A, 18C, 0906 FOR ADDITIONAL CROSSING INFORMATION. THIS CRITERIA SHALL BE MET AT ALL CROSSINGS.
- ALL WORK SHALL COMPLY WITH THE COUNTY FLOOD STUDY POLICY.

**GENERAL ABBREVIATIONS:**

IDENTIFIER	DESCRIPTION	IDENTIFIER	DESCRIPTION
&	CENTERLINE	- M -	MAXIMUM MANHOLE MINIMUM
Ø	DIAMETER OR ROUND PROPERTY LINE	- N -	NORTH, NORTHING
ABC	AGGREGATE BASE ASPH	NCDENR	NORTH CAROLINA DEPARTMENT OF ENVIRONMENT & NATURAL RESOURCES
AVE	ASPHALT AVENUE	NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
BLVD	BOULEVARD	NCS	NOT TO SCALE
BLDG	BUILDING	- O -	OVERHEAD
BOC	BACK OF CURB	OH	OFF-SET CATCH BASIN
BW	BOTTOM OF WALL	OCB	CATCH BASIN
CB	CATCH BASIN	PIP	CAST IRON PIPE
CI	CURB INLET	PCC	PORTLAND CEMENT CONCRETE
CIP	CAST IRON PIPE	PE	POLYETHYLENE
CJS	CLASS	PKWY	PARKWAY
CL	CONTROL JOINT	POC	POINT OF CONNECTION
CO	CLEANOUT	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	- R -	RADIUS
- D -		R	REINFORCED CONCRETE PIPE
DI	DROP INLET	RCP	R.O.W. RIGHT OF WAY
DIA	DIAMETER	RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
DIP	DUCTILE IRON PIPE	RPZ	REDUCED PRESSURE ZONE
DOM	DOMESTIC	- S -	SOUTH
DR	DRIVE	SD	STORM DRAIN
- E -		SDMH	STORM DRAIN MANHOLE
(XX)	EXISTING ELEVATION	SDE	SIGHT DISTANCE EASEMENT
E	EAST, EASTING	SSMH	SANITARY SEWER MANHOLE
EL	ELEVATION	SS	SANITARY SEWER
EJ	EXPANSION JOINT	STA	STATION
EOP	EDGE OF PAVEMENT	STD	STANDARD
EX	EXISTING	ST STL	STAINLESS STEEL
EVAP	EVAPORATIVE	SWPPP	STORMWATER POLLUTION PREVENTION PLAN
- F -		- T -	
FDC	FIRE DEPARTMENT CONNECTION	TB	TOP OF BARRIER
FES	FLARED END SECTION	TC/TOC	TOP OF CURB
FFE	FINISHED FLOOR ELEVATION	TD	TEMPORARY DIVERSION
FG	FINISHED GRADE	TH	TEST HEADER
FHA	FIRE HYDRANT ASSEMBLY	TP	TOP OF PIPE
FL	FLOW LINE	TP	TOP OF PAD
FT	FOOT OR FEET	TYP	TYPICAL
- G -		TW	TOP OF WALL
G	GAS	- U -	UNDERGROUND
GALV	GALVANIZED	UG	UNDERGROUND
GB	GRADE BREAK	- V -	
GE	GENERAL ELECTRIC	VEG	VEGETATED
GR	GRADE	VERT	VERTICAL
- H -		- W -	
HDP	HIGH DENSITY POLYETHYLENE	W	WEST
HORIZ	HORIZONTAL	WI	WITH
HOV	HIGH OCCUPANCY VEHICLE	W/O	WITHOUT
HP	HIGH POINT	- Y -	
- I -		YI	YARD INLET
IAW	IN ACCORDANCE WITH		
I.H.	INTERSTATE HIGHWAY		
INV	INVERT	**	ALL SYMBOLS & ABBREVIATIONS SHOWN ON THIS SHEET MAY OR MAY NOT BE USED IN THIS DRAWING PACKAGE **
LEN	LENGTH		
LEV	LOW EMISSION VEHICLE		
LF	LINEAR FEET		
LP	LOW POINT		

REVISIONS	

STATUS <b>FOR REVIEW ONLY</b> NOT FOR CONSTRUCTION	
DATE: MARCH, 2022	HORZ. SCALE: 1" = 60'
FILE NO. 2021-021	ORIG. SHEET SIZE: 24 x 36



CONSULTANT

**Curry**  
ENGINEERING

EST. 1979

T (919) 552-0840      205 S. Fugate Avenue  
F (919) 552-2043      Fugate/Vanline, NC 27526

NC LIC. NO. P-0799

CLIENT

**1535 King Road, LLC**  
421 Blount Street  
Raleigh, NC 27601

CHATHAM COUNTY PROJECT # XXXXXXXXX

**CONSTRUCTION DRAWINGS**  
SPECIAL USE PERMIT  
**KING ROAD ASPHALT PLANT**  
CIVIL NOTES

**C0.1**

DUKE ENERGY  
PROGRESS LLC  
PIN 0609-00-41-7149  
D.B. 1811 PG. 572  
ZONING: IND-H

DUKE ENERGY  
PROGRESS INC.  
PIN 0608-03-42-0089  
D.B. 16104 PG. 107  
ZONING: R-80  
(WAKE COUNTY)

DUKE ENERGY  
PROGRESS INC.  
PIN 0617.03-34-7352  
D.B. 15289 PG. 2437  
ZONING: R-80  
(WAKE COUNTY)

1535 KING ROAD LLC  
PIN 0608-00-35-0179  
DB: 1915, PG. 0431  
DEEDED ACREAGE: 71.79 AC  
PROJECT ACREAGE: 18.69 AC  
ZONING: IND-H (HEAVY  
INDUSTRIAL)

ELKINS SAWMILL, INC  
PIN 0608-00-35-0179  
DB: 1915, PG. 0431  
DEEDED ACREAGE:  
71.79 AC  
ZONING: IND-H  
(HEAVY INDUSTRIAL)

HAROLD E. DAY  
PIN 0608-00-38-4143  
D.B. 04E-311  
ZONING: IND-H

DUKE ENERGY  
PROGRESS LLC  
PIN 0608-00-28-4004  
D.B. 1811 PG. 572  
ZONING: IND-H

SOIL TYPE: CrC

SOIL TYPE: CrC

SOIL TYPE: CrB

SOIL TYPE: CrC

SOIL TYPE: CrC

SOIL TYPE: CrB

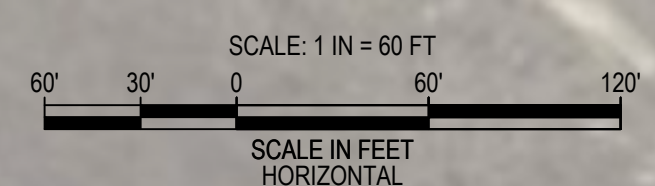
DUKE ENERGY  
PROGRESS LLC  
PIN 0608-00-36-0457  
D.B. 1811 PG. 572 PB  
2002-346  
ZONING: IND-H



PROPERTY BOUNDARY

STREAM BUFFER

LIMITS OF SOIL TYPE

LIMITS OF SOIL TYPE



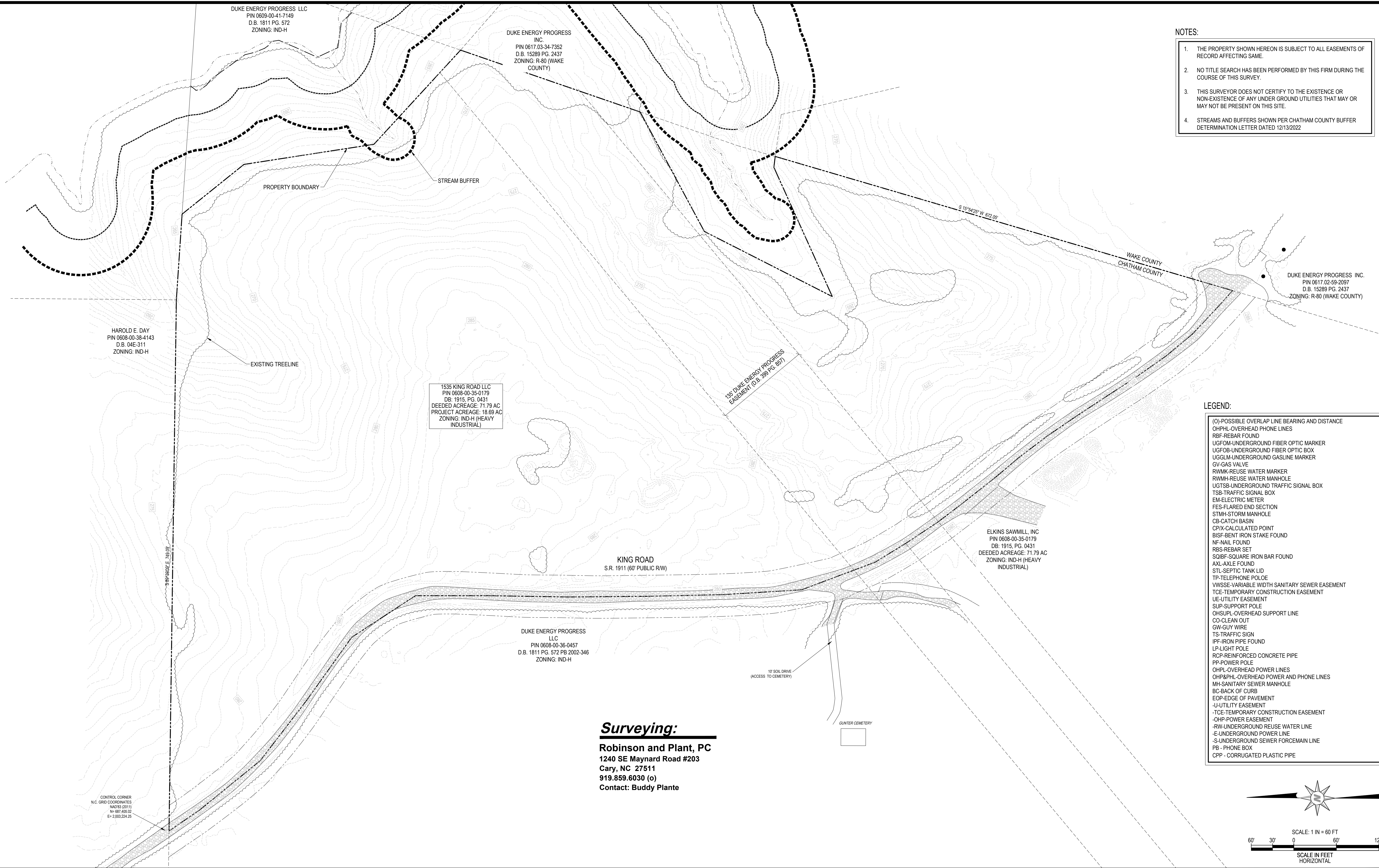
REVISIONS	PROFESSIONAL'S SEAL	CONSULTANT	CLIENT
	<b>PRELIMINARY FOR REVIEW ONLY</b>	 EST. 1910 NC LIC. NO. P-0799	<b>1535 King Road, LLC</b> 421 Blount Street Raleigh, NC 27601
STATUS: FOR REVIEW ONLY NOT FOR CONSTRUCTION			
DATE: MARCH, 2022 FILE NO. 2021-021	HORZ. SCALE: AS SHOWN ORIG. SHEET SIZE: 24 x 36		<b>CONSTRUCTION DRAWINGS</b> SPECIAL USE PERMIT <b>KING ROAD ASPHALT PLANT</b> PROPERTY DATA PLAN

CHATHAM COUNTY PROJECT # XXXXXXXXX

**C0.2**

**NOTES:**

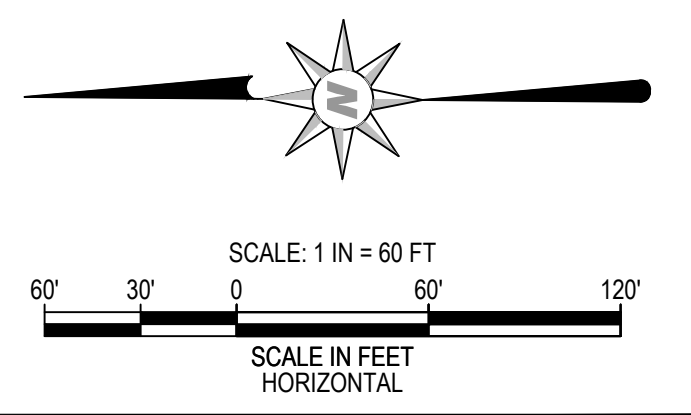
1. THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL EASEMENTS OF RECORD AFFECTING SAME.
2. NO TITLE SEARCH HAS BEEN PERFORMED BY THIS FIRM DURING THE COURSE OF THIS SURVEY.
3. THIS SURVEYOR DOES NOT CERTIFY TO THE EXISTENCE OR NON-EXISTENCE OF ANY UNDER GROUND UTILITIES THAT MAY OR MAY NOT BE PRESENT ON THIS SITE.
4. STREAMS AND BUFFERS SHOWN PER CHATHAM COUNTY BUFFER DETERMINATION LETTER DATED 12/13/2022



**LEGEND:**

- (O)-POSSIBLE OVERLAP LINE BEARING AND DISTANCE
- OHPL-OVERHEAD PHONE LINES
- RBF-REBAR FOUND
- UGFOB-UNDERGROUND FIBER OPTIC MARKER
- UGFOB-UNDERGROUND FIBER OPTIC BOX
- UGGLM-UNDERGROUND GASLINE MARKER
- GV-GAS VALVE
- RWMK-REUSE WATER MARKER
- RWMH-REUSE WATER MANHOLE
- UGTSS-UNDERGROUND TRAFFIC SIGNAL BOX
- TSB-TRAFFIC SIGNAL BOX
- EM-ELECTRIC METER
- FES-FLARED END SECTION
- STMH-STORM MANHOLE
- CB-CATCH BASIN
- CPIX-CALCULATED POINT
- BISF-BENT IRON STAKE FOUND
- NF-NAIL FOUND
- RBS-REBAR SET
- SOIBF-SQUARE IRON BAR FOUND
- AXL-AXLE FOUND
- STL-SEPTIC TANK LID
- TP-TELEPHONE POLE
- VWSSSE-VARIABLE WIDTH SANITARY SEWER EASEMENT
- TCE-TEMPORARY CONSTRUCTION EASEMENT
- UE-UTILITY EASEMENT
- SUP-SUPPORT POLE
- ONSUPL-OVERHEAD SUPPORT LINE
- CO-CLEAN OUT
- GW-GUY WIRE
- TS-TRAFFIC SIGN
- IPF-IRON PIPE FOUND
- LP-LIGHT POLE
- RCP-REINFORCED CONCRETE PIPE
- PP-POWER POLE
- OHPL-OVERHEAD POWER LINES
- OHFPHL-OVERHEAD POWER AND PHONE LINES
- MH-SANITARY SEWER MANHOLE
- BC-BACK OF CURB
- EOP-EDGE OF PAVEMENT
- U-UTILITY EASEMENT
- TCE-TEMPORARY CONSTRUCTION EASEMENT
- OHP-POWER EASEMENT
- RW-UNDERGROUND REUSE WATER LINE
- E-UNDERGROUND POWER LINE
- S-UNDERGROUND SEWER FORCEMAIN LINE
- PB - PHONE BOX
- CPP - CORRUGATED PLASTIC PIPE

**Surveying:**  
**Robinson and Plant, PC**  
 1240 SE Maynard Road #203  
 Cary, NC 27511  
 919.859.6030 (o)  
 Contact: Buddy Plante



REVISIONS	PROFESSIONAL'S SEAL	CONSULTANT	CLIENT

PRELIMINARY  
 FOR REVIEW ONLY

**Curry**  
 ENGINEERING

EST. 1910  
 NORTH CAROLINA

T (919) 552-0840  
 F (919) 552-2043

205 S. Fugate Avenue  
 Fuquay-Varina, NC 27526

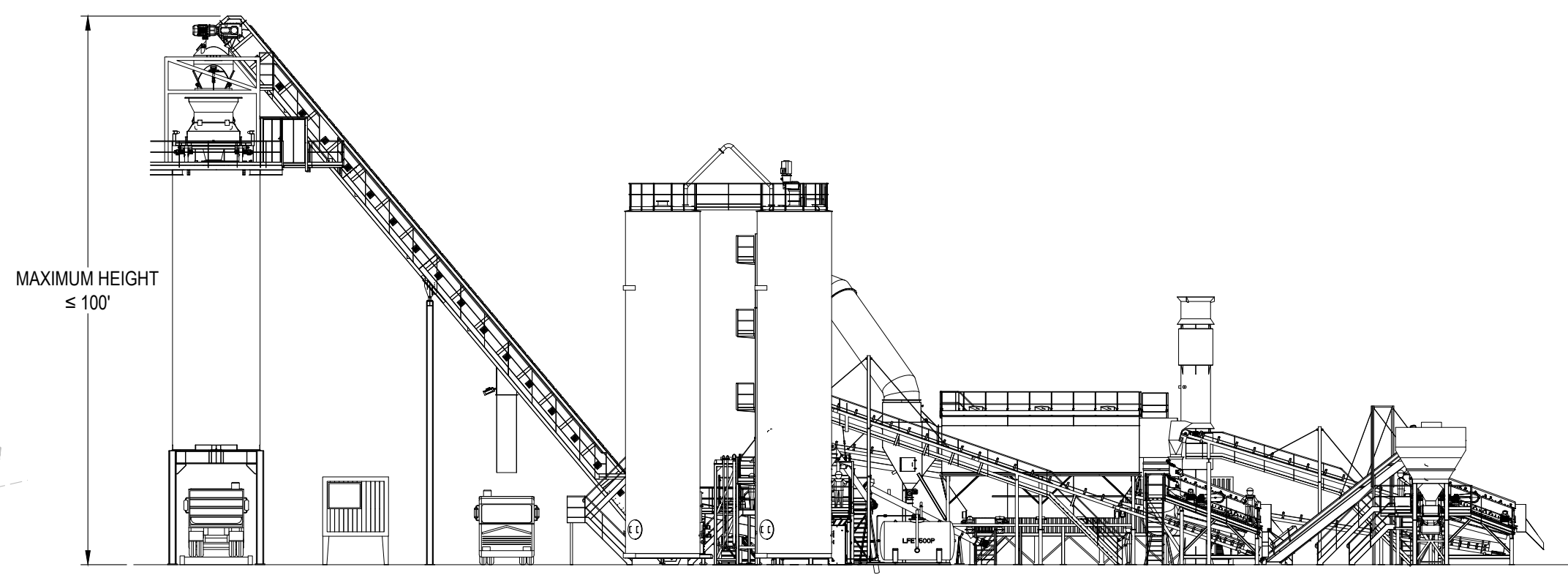
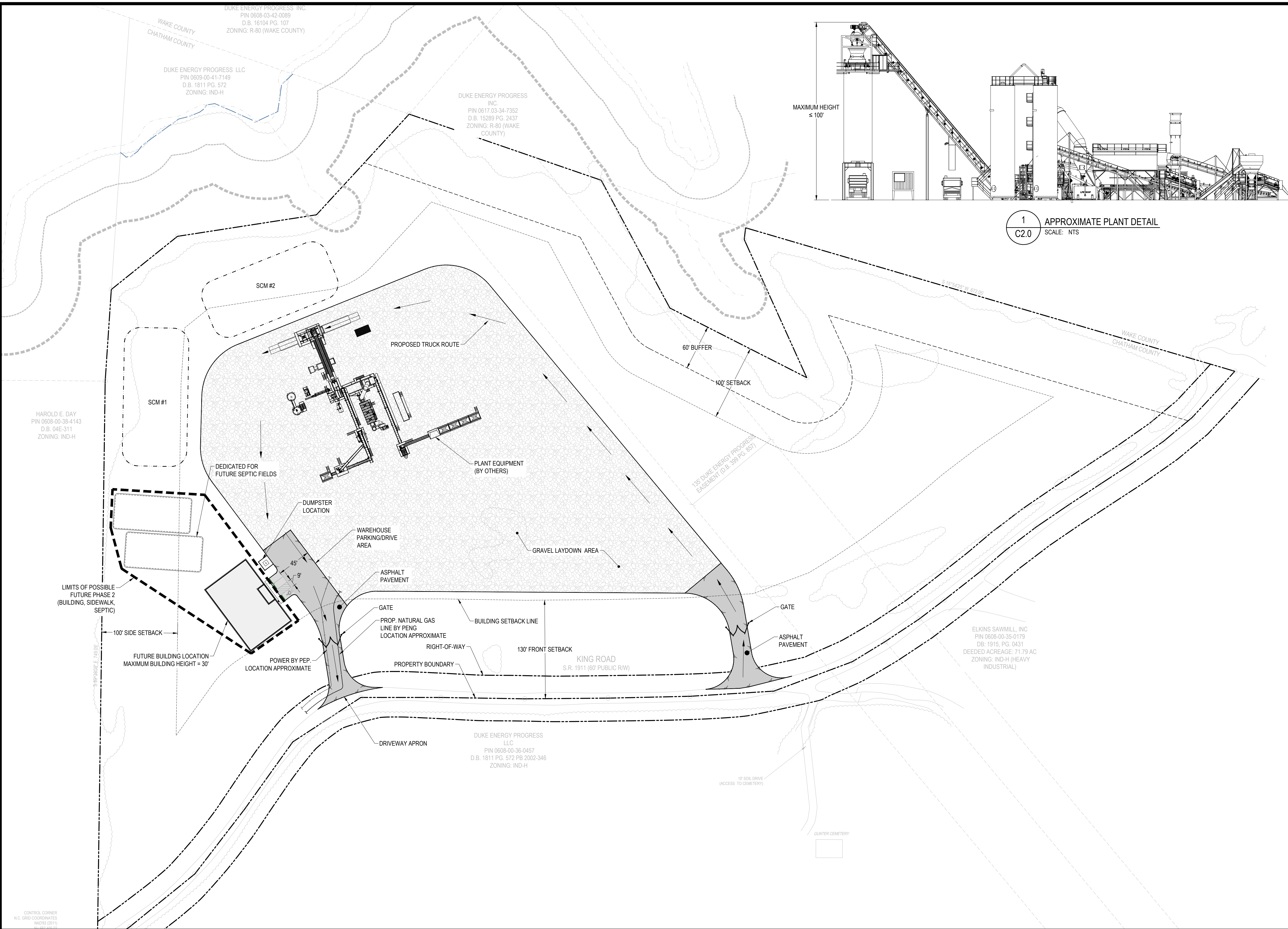
NC LIC. NO. P-0799

1535 King Road, LLC  
 421 Blount Street  
 Raleigh, NC 27601

CONSTRUCTION DRAWINGS  
 SPECIAL USE PERMIT  
**KING ROAD ASPHALT PLANT**  
 EXISTING CONDITIONS PLAN

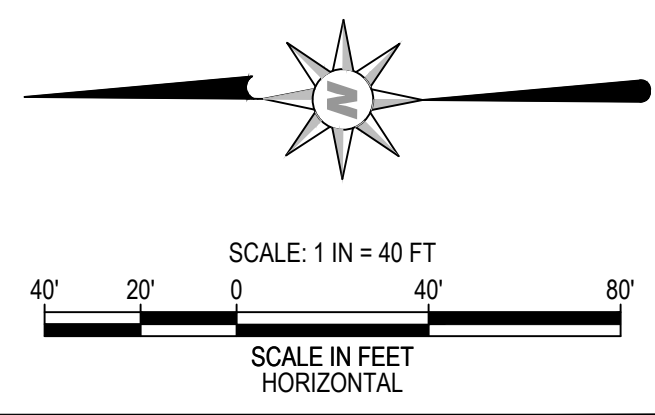
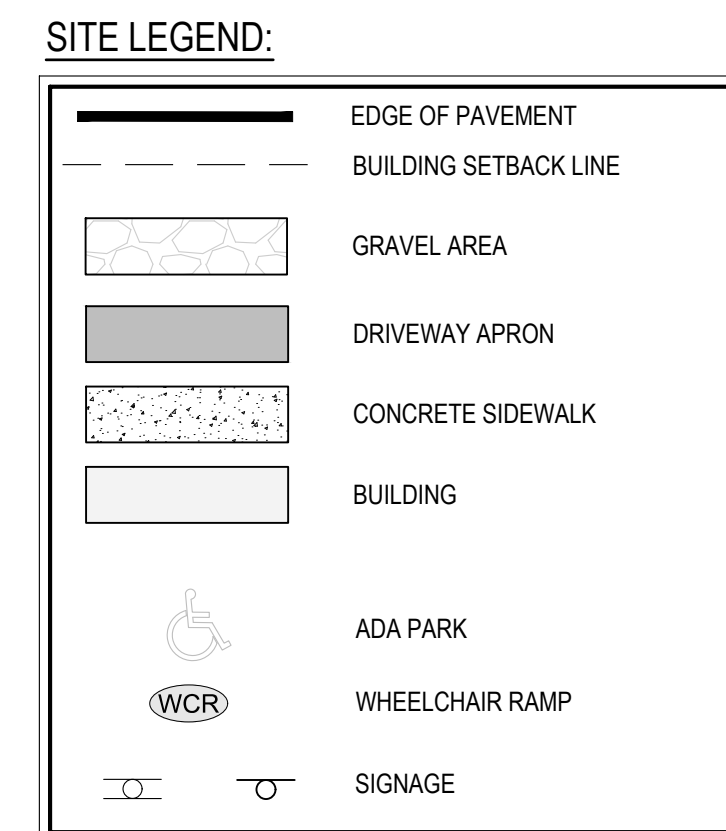
CHATHAM COUNTY PROJECT # XXXXXXXXX

**C1.0**



1 APPROXIMATE PLANT DETAIL  
SCALE: NTS

- SITE NOTES:**
1. ALL SIGNS SHOULD USE PRISMATIC SHEETING THAT MEETS MINIMUM RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.
  2. ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH TOWN OF CHATHAM COUNTY, NCDOT, AND NCDEQ STANDARD SPECIFICATIONS AND DETAILS.
  3. ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET AT 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOINT FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED/RESURFACED.
  4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK.
  5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL GRADES PRIOR TO THE START OF CONSTRUCTION.
  6. EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.
  7. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF CURB, FACE OF BUILDING, OR PROPERTY LINE UNLESS SHOWN OTHERWISE.
  8. TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
  9. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
  10. MAX. SIDEWALK CROSS-SLOPE IS 2%.



NO.	DATE	DESCRIPTION

STATUS  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

DATE: MARCH, 2022      HORZ. SCALE: AS SHOWN  
FILE NO. 2021-021      ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL

**PRELIMINARY FOR REVIEW ONLY**

STATE OF NORTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER  
HAROLD B. MATTHEWS

CONSULTANT

**Curry**  
ENGINEERING

EST. 1910  
10 NORTH CAROLINA  
ENGINEERS  
HAROLD B. MATTHEWS

NC LIC. NO. P-0799

T: (919) 552-0849      205 S. Fidelity Avenue  
F: (919) 552-2043      Fidelity Village, NC 27526

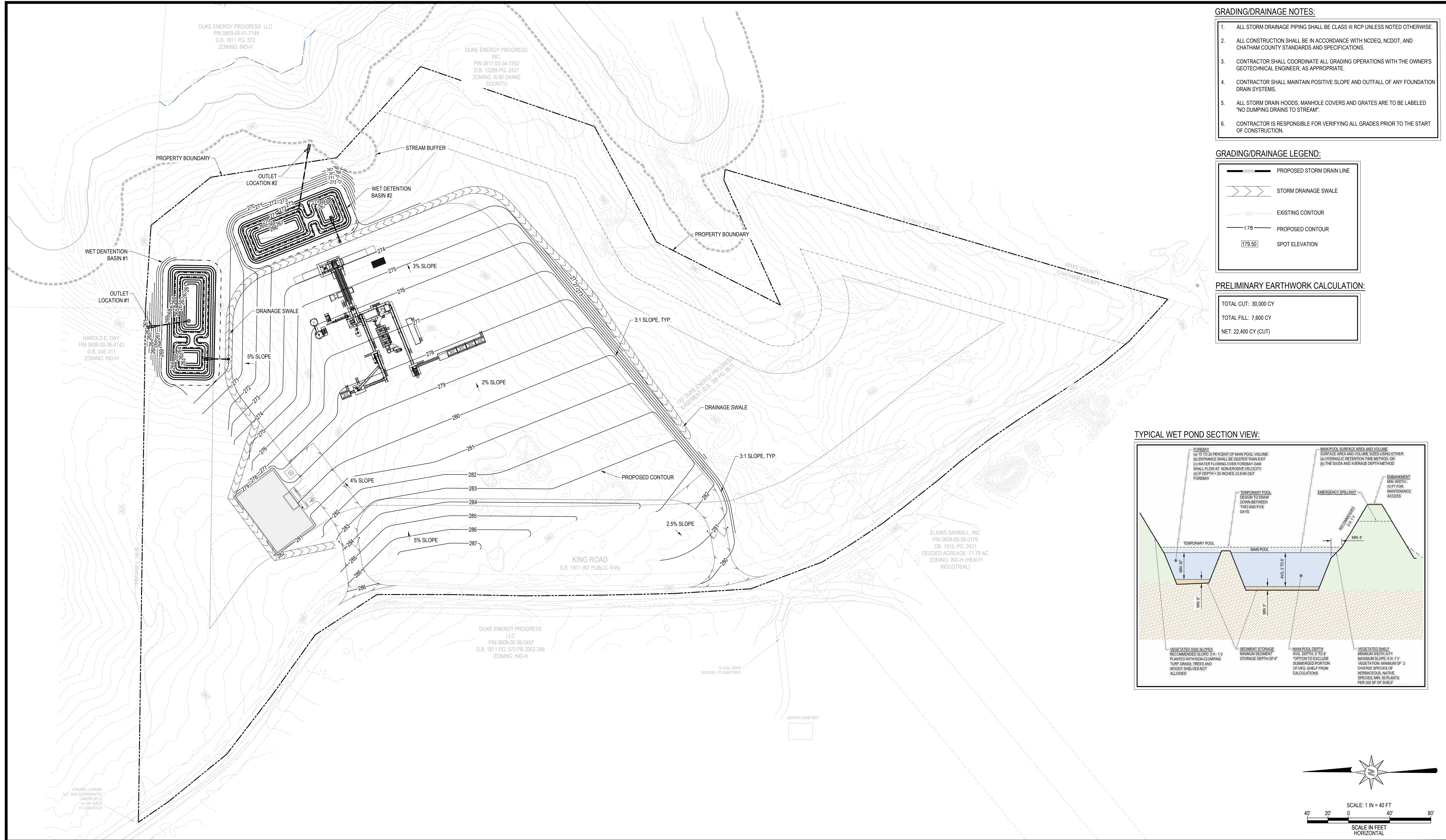
CLIENT

**1535 King Road, LLC**  
421 Blount Street  
Raleigh, NC 27601

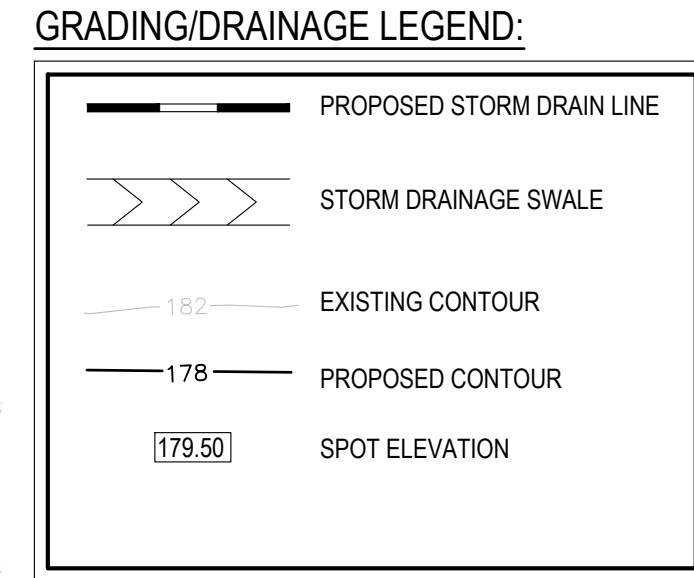
**CONSTRUCTION DRAWINGS**  
SPECIAL USE PERMIT  
**KING ROAD ASPHALT PLANT**  
PRELIMINARY SITE PLAN

CHATHAM COUNTY PROJECT # XXXXXXXXX

**C2.0**

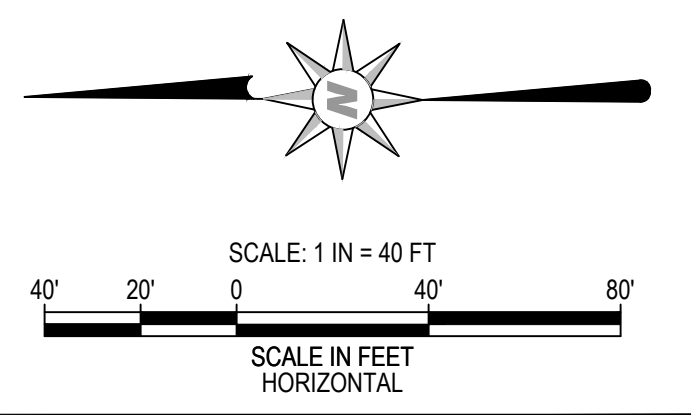
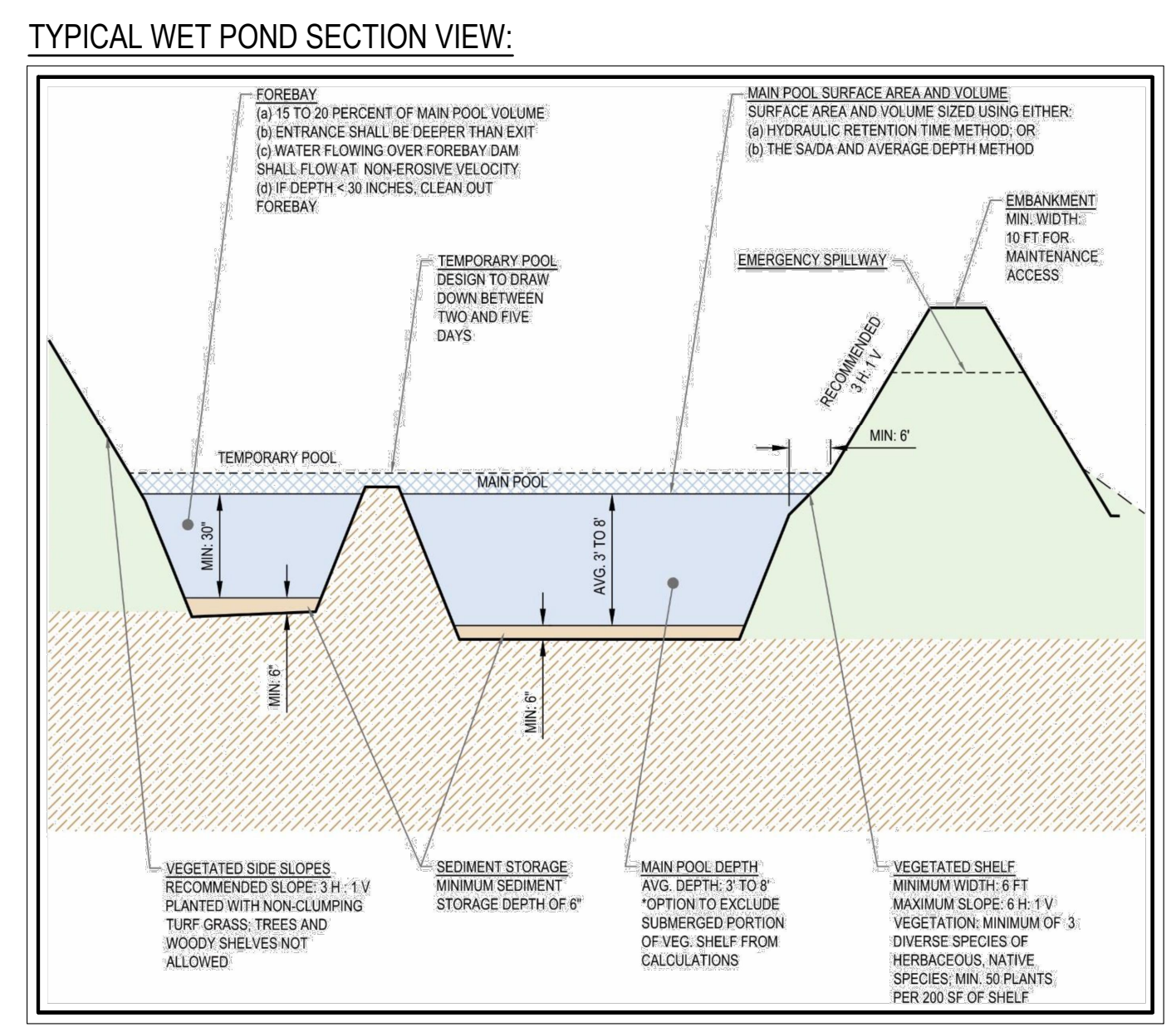


- GRADING/DRAINAGE NOTES:**
1. ALL STORM DRAINAGE PIPING SHALL BE CLASS III RCP UNLESS NOTED OTHERWISE.
  2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCDEQ, NCDOT, AND CHATHAM COUNTY STANDARDS AND SPECIFICATIONS.
  3. CONTRACTOR SHALL COORDINATE ALL GRADING OPERATIONS WITH THE OWNER'S GEOTECHNICAL ENGINEER, AS APPROPRIATE.
  4. CONTRACTOR SHALL MAINTAIN POSITIVE SLOPE AND OUTFALL OF ANY FOUNDATION DRAIN SYSTEMS.
  5. ALL STORM DRAIN HOODS, MANHOLE COVERS AND GRATES ARE TO BE LABELED "NO DUMPING DRAINS TO STREAM".
  6. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL GRADES PRIOR TO THE START OF CONSTRUCTION.



**PRELIMINARY EARTHWORK CALCULATION:**

TOTAL CUT:	30,000 CY
TOTAL FILL:	7,600 CY
NET:	22,400 CY (CUT)



**REVISIONS**

NO.	DATE	DESCRIPTION

STATUS: FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

DATE: MARCH, 2022    FILE NO. 2021-021  
 HORZ. SCALE: AS SHOWN    ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL

**PRELIMINARY FOR REVIEW ONLY**

ENGINEER  
 HAROLD B. MATTHEWS

CONSULTANT

**Curry**  
ENGINEERING

EST. 1910  
 10 YEARS

NC LIC. NO. P-0799

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 215 S. Fugate Avenue  
 Fuquay-Varina, NC 27326

CLIENT

**1535 King Road, LLC**  
 421 Blount Street  
 Raleigh, NC 27601

**CONSTRUCTION DRAWINGS**  
 SPECIAL USE PERMIT  
**KING ROAD ASPHALT PLANT**  
 PRELIMINARY GRADING AND DRAINAGE PLAN

CHATHAM COUNTY PROJECT # XXXXXXXXX

**C3.0**

PIN 0617.03-34-7352  
 D.B. 15289 PG. 2437  
 ZONING: R-80 (WAKE COUNTY)

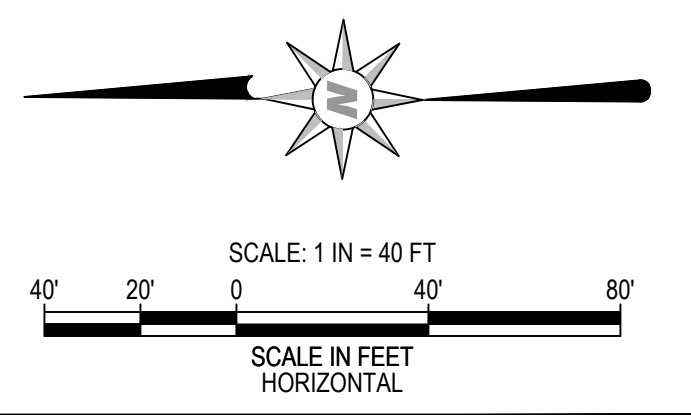
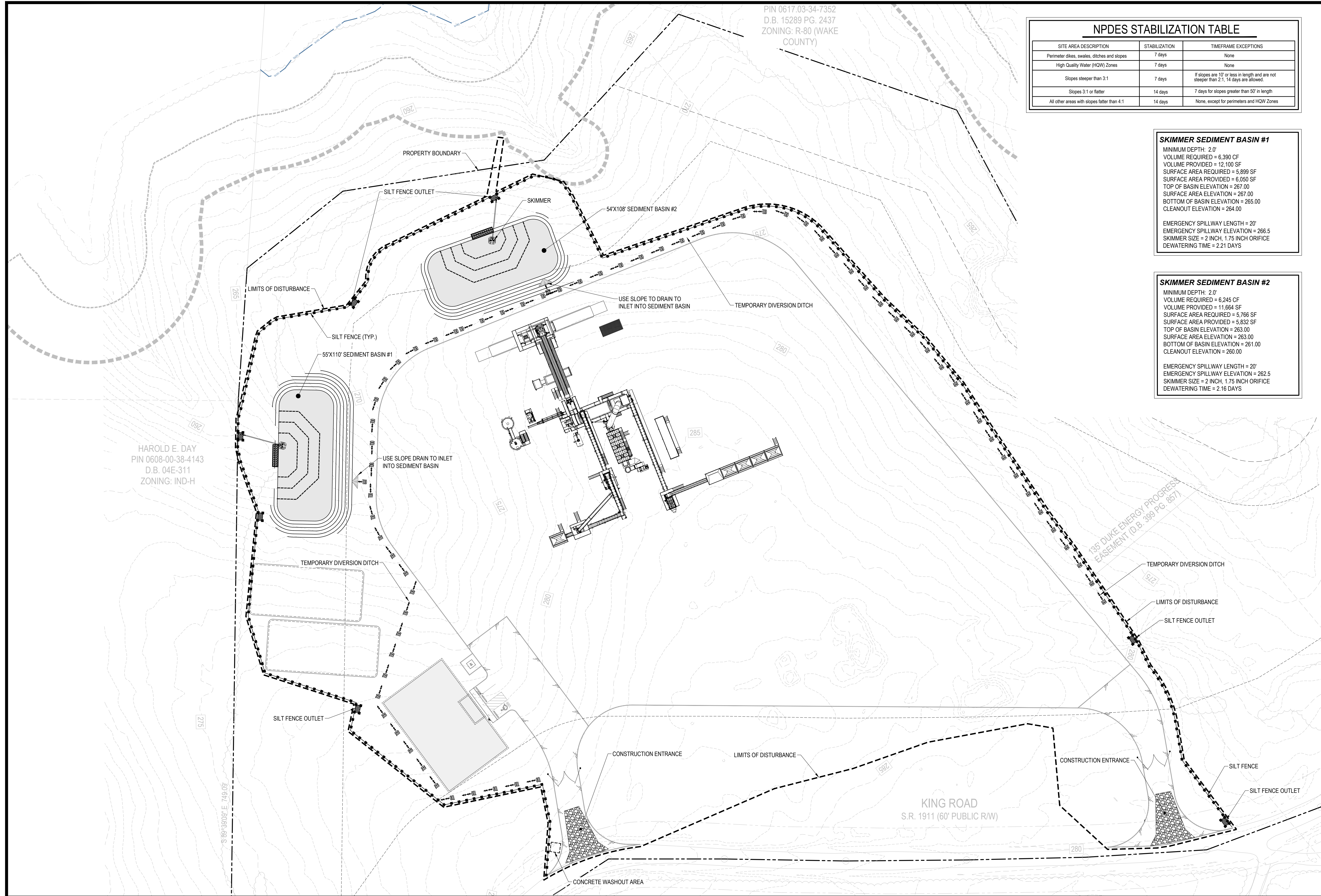
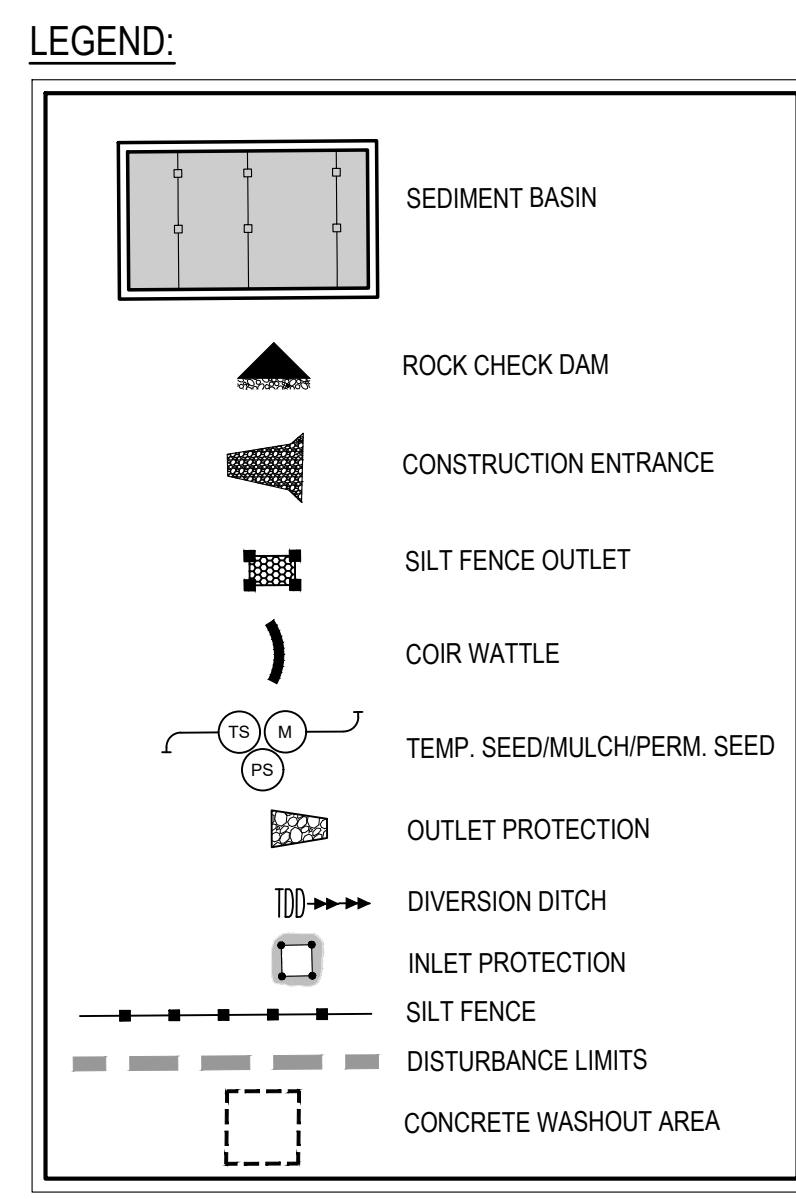
NPDES STABILIZATION TABLE		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones

**EROSION CONTROL NOTES:**

- THE TEMPORARY DIVERSION DITCHES, SILT FENCE, AND LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATION OF THE ACTUAL EROSION CONTROL MEASURES THAT SHALL BE INSTALLED UNDER THIS PROJECT. DUE TO SCALE OF THIS DRAWING, THESE MEASURES ARE GRAPHICALLY DEPICTED AND MAY BE BEYOND WHERE THEY ACTUALLY WILL BE INSTALLED IN THE FIELD.
- TOTAL DISTURBED AREA = 8.31 AC.
- REFER TO DETAIL SHEETS FOR CONSTRUCTION SEQUENCE, EROSION CONTROL NARRATIVE, MAINTENANCE NOTES, STABILIZATION INSTRUCTIONS & EROSION CONTROL DETAILS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHATHAM COUNTY STANDARDS AND REGULATIONS.
- THERE SHALL BE NO DISTURBANCE OUTSIDE THE LIMITS SHOWN ON THIS PLAN WITHOUT AN APPROVED PLAN AMENDMENT BY CHATHAM COUNTY.
- ALL DISTURBED AREAS SHALL BE SEEDED PER STABILIZATION TABLE.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SELF-INSPECTION LOG.

**SKIMMER SEDIMENT BASIN #1**  
 MINIMUM DEPTH: 2'0"  
 VOLUME REQUIRED = 6,390 CF  
 VOLUME PROVIDED = 12,100 SF  
 SURFACE AREA REQUIRED = 5,899 SF  
 SURFACE AREA PROVIDED = 6,050 SF  
 TOP OF BASIN ELEVATION = 267.00  
 SURFACE AREA ELEVATION = 267.00  
 BOTTOM OF BASIN ELEVATION = 265.00  
 CLEANOUT ELEVATION = 264.00  
 EMERGENCY SPILLWAY LENGTH = 20'  
 EMERGENCY SPILLWAY ELEVATION = 266.5  
 SKIMMER SIZE = 2 INCH, 1.75 INCH ORIFICE  
 DEWATERING TIME = 2.21 DAYS

**SKIMMER SEDIMENT BASIN #2**  
 MINIMUM DEPTH: 2'0"  
 VOLUME REQUIRED = 6,245 CF  
 VOLUME PROVIDED = 11,664 SF  
 SURFACE AREA REQUIRED = 5,766 SF  
 SURFACE AREA PROVIDED = 5,832 SF  
 TOP OF BASIN ELEVATION = 263.00  
 SURFACE AREA ELEVATION = 263.00  
 BOTTOM OF BASIN ELEVATION = 261.00  
 CLEANOUT ELEVATION = 260.00  
 EMERGENCY SPILLWAY LENGTH = 20'  
 EMERGENCY SPILLWAY ELEVATION = 262.5  
 SKIMMER SIZE = 2 INCH, 1.75 INCH ORIFICE  
 DEWATERING TIME = 2.16 DAYS



REVISIONS

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 FILE NO. 2021-021

HORZ. SCALE: AS SHOWN  
 ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL  
**PRELIMINARY**  
**FOR REVIEW ONLY**

CONSULTANT

**Curry**  
 ENGINEERING

EST. 1912  
 205 S. Fugate Avenue  
 Fuquay-Varina, NC 27356

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 F (919) 552-2043

NC LIC. NO. P-0799

CLIENT

**1535 King Road, LLC**  
 421 Blount Street  
 Raleigh, NC 27601

CONSTRUCTION DRAWINGS  
 SPECIAL USE PERMIT  
**KING ROAD ASPHALT PLANT**  
 PRELIMINARY EROSION CONTROL PLAN

CHATHAM COUNTY PROJECT # XXXXXXXXX

**C4.0**

PIN 0617.03-34-7352  
D.B. 15289 PG. 2437  
ZONING: R-80 (WAKE COUNTY)

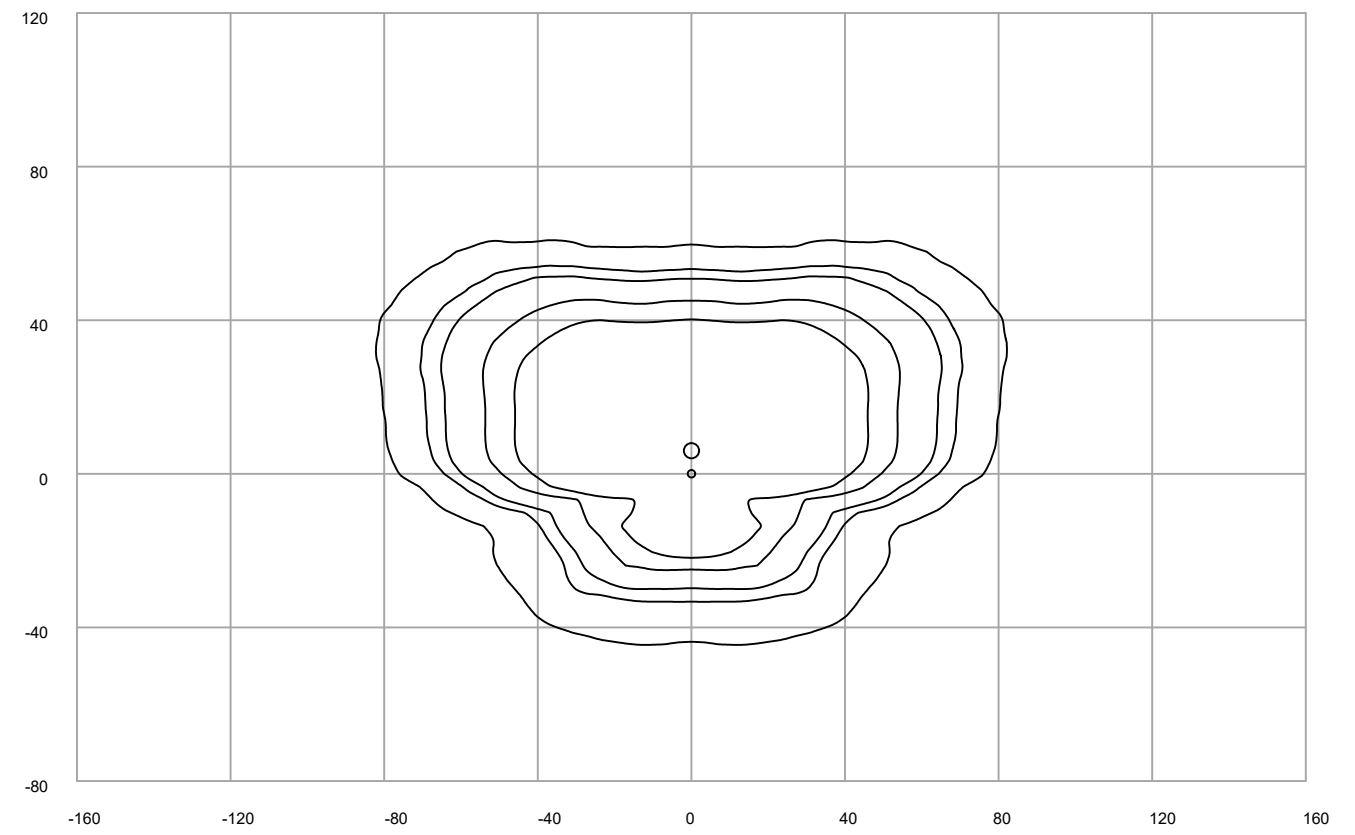
CHATHAM COUNTY ASPHALT PLANT - LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF QTY
150A	☐	American Electr LED150_1/POLE (1) "L150" LED150_1-4/POLE	LED 4000K	12920	20' MT HT Autobahn	0.85 6

### ISOFOOTCANDLE CURVES

FIXTURE: LED 150 - AEL  
MOUNTING HEIGHT: 20 FT  
LIGHT SOURCE: 40 LED'S, 4000K, 70 CRI  
PATTERN: TYPE III, B3-U0-G3(zero light at or above 90 degrees)

ASSY# LFK-RW-LED-150-BLK-III-MULTV-\_\_\_P  
POLE ASSY# LPOLE-DB-FG-25FT-BLK-\_\_\_P (BLACK)  
BK# LKBT-TOP-14IN-BLK-2T-SGL-\_\_\_P

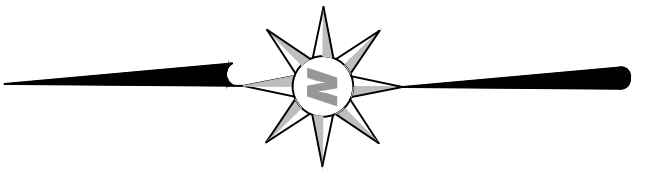
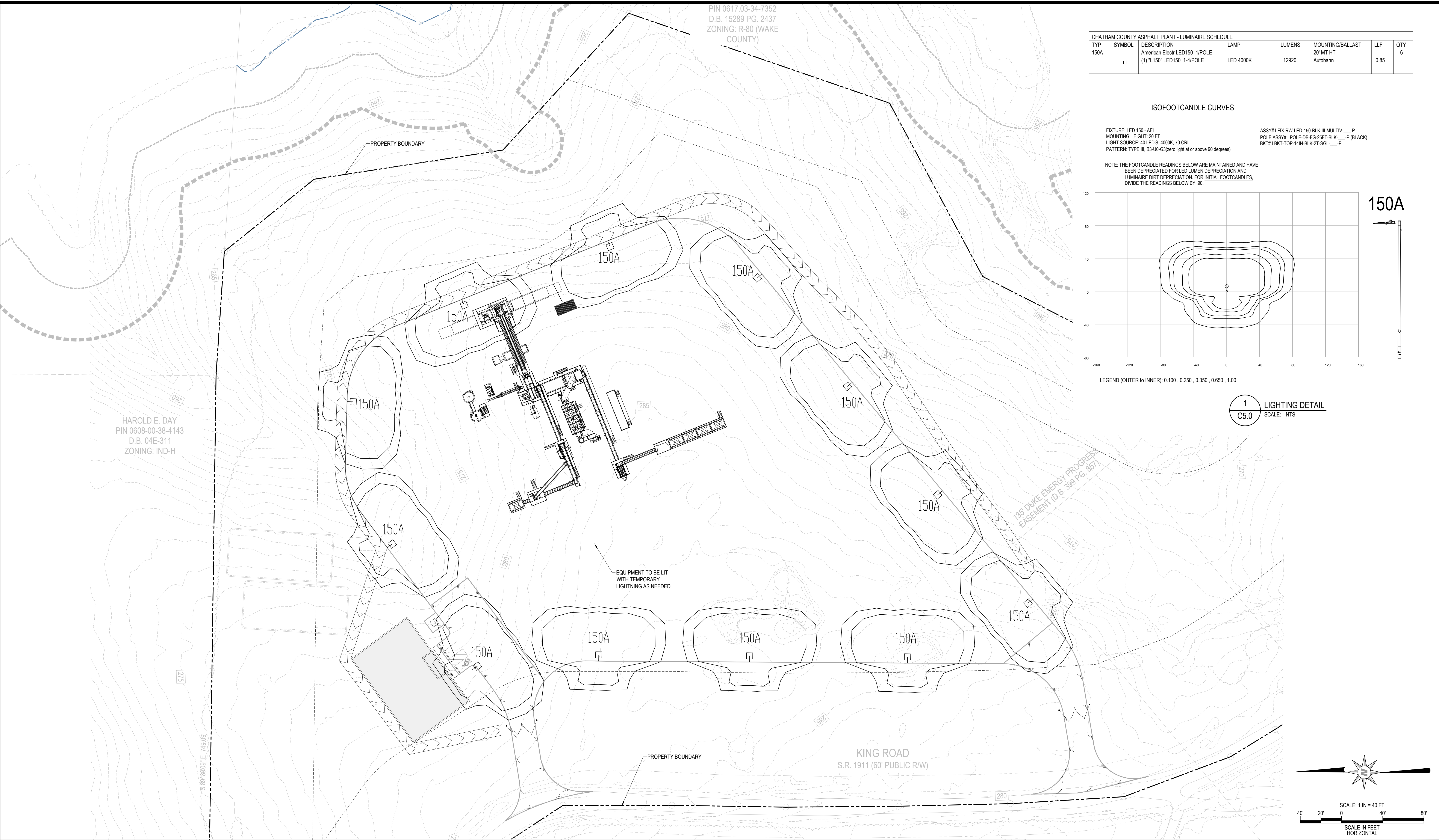
NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LED LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .90.



LEGEND (OUTER TO INNER): 0.100, 0.250, 0.350, 0.650, 1.00

**1** LIGHTING DETAIL  
C5.0 SCALE: NTS

HAROLD E. DAY  
PIN 0608-00-38-4143  
D.B. 04E-311  
ZONING: IND-H



SCALE: 1 IN = 40 FT  
SCALE IN FEET  
HORIZONTAL

REVISIONS	DATE	DESCRIPTION

PROFESSIONAL'S SEAL

**PRELIMINARY FOR REVIEW ONLY**

CAROLINA PROFESSIONAL ENGINEERS AND SURVEYORS  
THOMAS B. MATTHEWS  
ENGINEER

CONSULTANT

**Curry**  
ENGINEERING

EST. 1910  
10 MONTHS  
CAROLINA  
ENGINEERS

NC LIC. NO. P-0799

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205 S. Fugate Avenue  
Fayetteville, NC 27526

CLIENT

**1535 King Road, LLC**  
421 Blount Street  
Raleigh, NC 27601

CONSTRUCTION DRAWINGS  
SPECIAL USE PERMIT  
**KING ROAD ASPHALT PLANT**  
PRELIMINARY LIGHTING PLAN

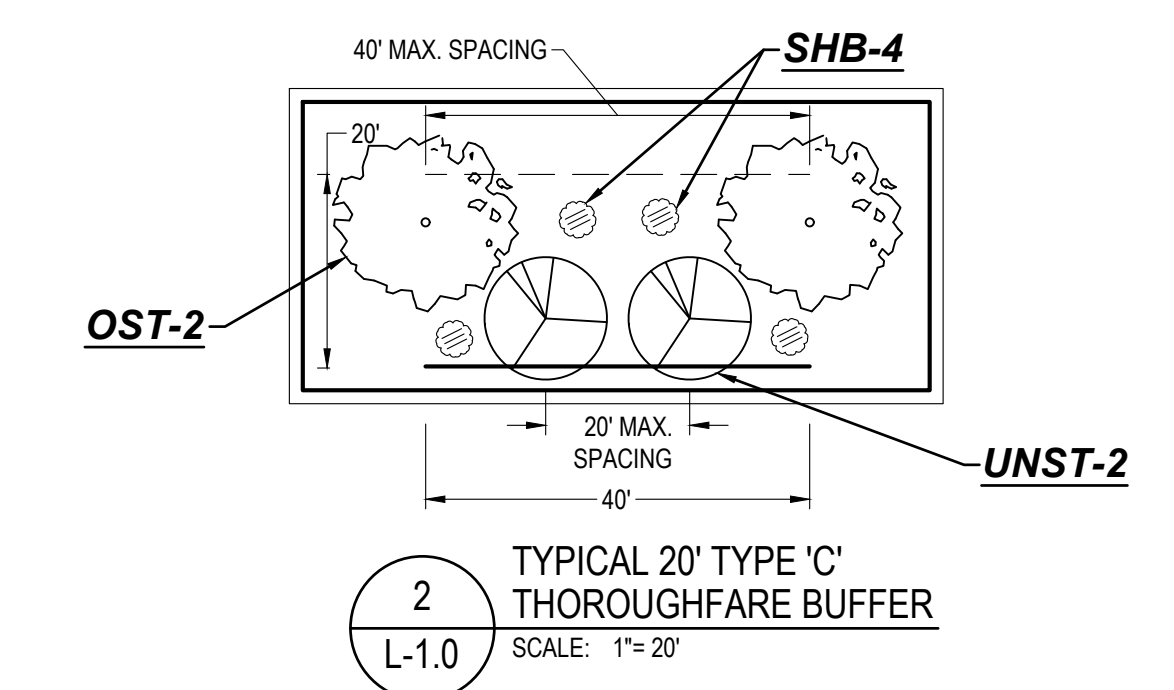
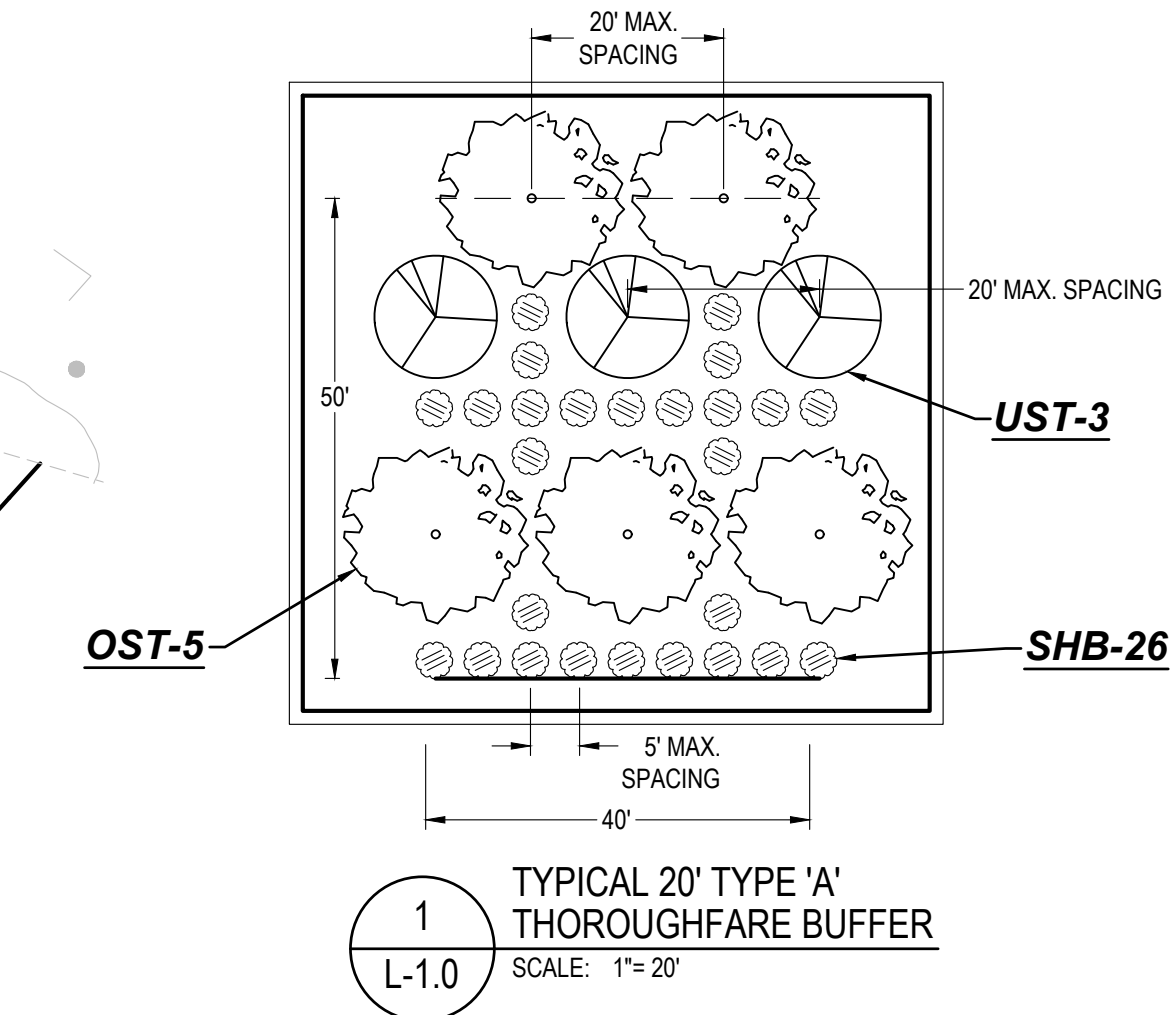
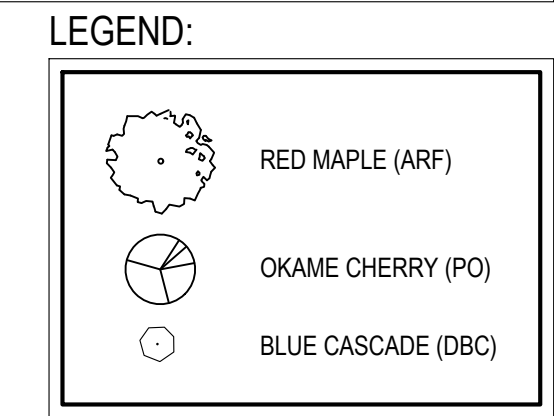
CHATHAM COUNTY PROJECT # XXXXXXXXX

**C5.0**

Z:\PROJECTS\FOLDER-ZEBULON\2021\2021-021 CHATHAM COUNTY ASPHALT PLANT - CHATHAM COUNTY\PLANS\SITE PLANS\SHEET FILES\C5.0 PRELIMINARY LIGHTING PLAN.DWG  
PLOTTED: 11/10/2023 11:46 AM

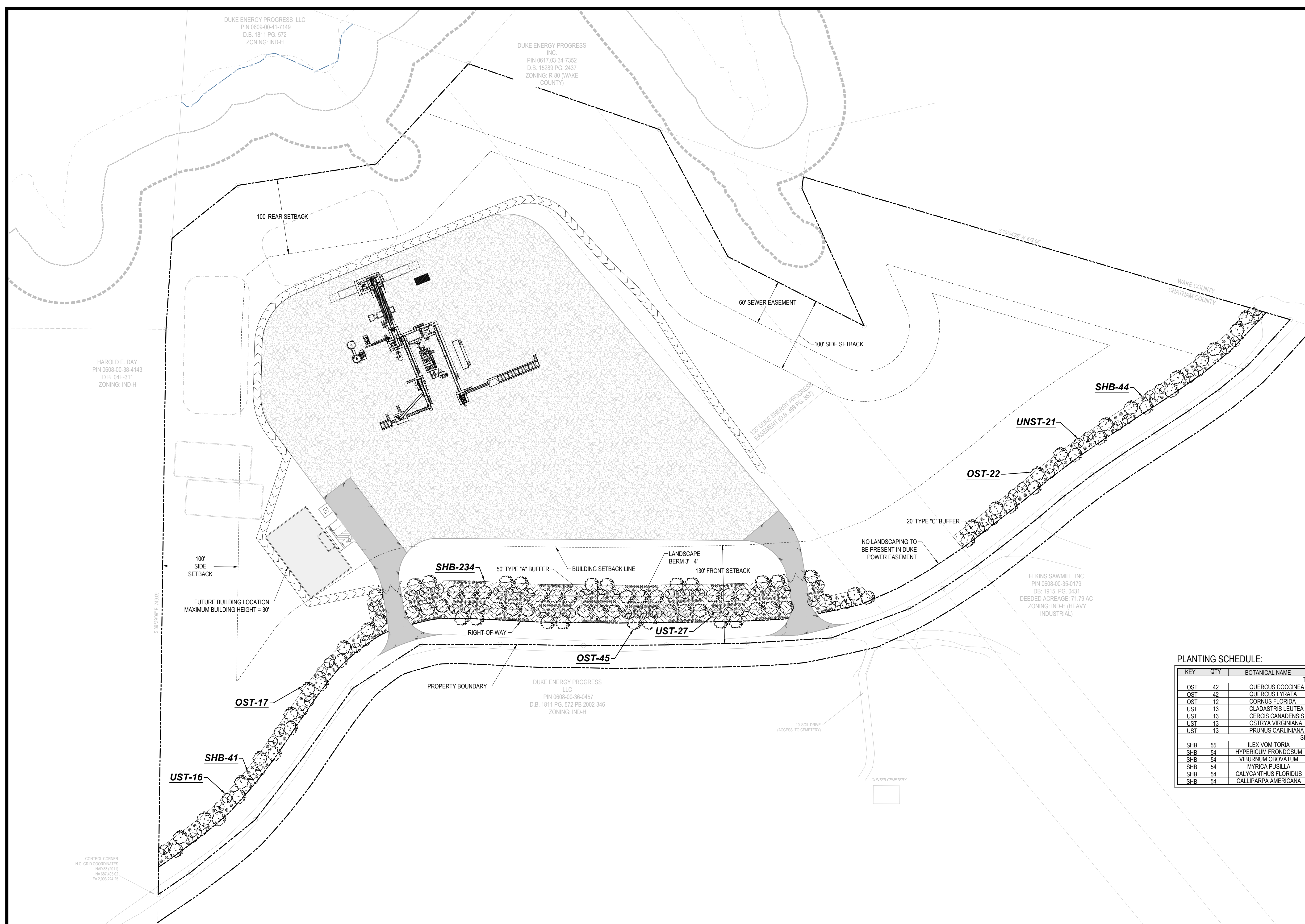
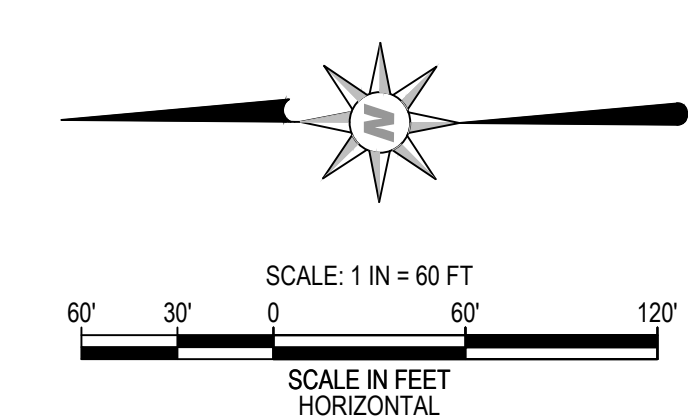


- SITE LANDSCAPE NOTES:**
- STREET TREES SHALL BE INSTALLED SUCH THAT ONE TREE IS REQUIRED PER 40' ALONG ROAD FRONTAGE.
  - DO NOT PLACE STREET TREES WITHIN A PUBLIC STORM OR UTILITY EASEMENT.
  - ALL TREES SHALL BE MIN. 6' TALL AND 2" CALIPER AT TIME OF PLANTING.
  - LANDSCAPE BUFFER SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE PRELIMINARY SUBDIVISION APPROVAL. SEE DETAIL THIS SHEET FOR REQUIREMENTS.
  - ADDITIONAL LANDSCAPING ON SITE MAY BE PROVIDED BY DEVELOPER.



**PLANTING SCHEDULE:**

KEY	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	HEIGHT
TREES						
OST	42	QUERCUS COCCINEA	SCARLET OAK	B&B	2.5" CAL	10'
OST	42	QUERCUS LYRATA	OVERCUP OAK	B&B	2.5" CAL	10'
OST	12	CORNUS FLORIDA	FLOWERING DOGWOOD	B&B	2.5" CAL	10'
UST	13	CLADASTRIS LEUTEA	YELLOWWOOD	B&B	2.5" CAL	10'
UST	13	CERCIS CANADENSIS	REDBUD	B&B	2.5" CAL	10'
UST	13	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	B&B	2.5" CAL	10'
UST	13	PRUNUS CARLINIANA	CAROLINA CHERRY LAUREL	B&B	2.5" CAL	10'
SHRUBS						
SHB	55	ILEX VOMITORIA	YAUPOIN HOLLY	GAL	3 GAL	3'
SHB	54	HYPERICUM FRONDOSUM	SUNBURST	GAL	3 GAL	3'
SHB	54	VIBURNUM OBOVATUM	MISS SCHILLERS DELIGHT	GAL	3 GAL	3'
SHB	54	MYRICA PUSILLA	DWARF WAX MYRTLE	GAL	3 GAL	3'
SHB	54	CALYCANTHUS FLORIDUS	SWEETSHRUB	GAL	3 GAL	3'
SHB	54	CALLIPARPA AMERICANA	BEAUTYBERRY	GAL	3 GAL	3'



**REVISIONS**

NO.	DATE	DESCRIPTION

STATUS:  
**FOR REVIEW ONLY**  
NOT FOR CONSTRUCTION

DATE: MARCH, 2022    HORZ. SCALE: AS SHOWN  
FILE NO. 2021-021    ORIG. SHEET SIZE: 24 x 36



**Curry ENGINEERING**

EST. 1910  
10 YEARS OF SERVICE

NC LIC. NO. P-0799

T (919) 552-0840    205 S. Fugate Avenue  
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**CLIENT**

**1535 King Road, LLC**  
421 Blount Street  
Raleigh, NC 27601

**CONSTRUCTION DRAWINGS**  
SPECIAL USE PERMIT  
**KING ROAD ASPHALT PLANT**  
LANDSCAPE PLAN

CHATHAM COUNTY PROJECT # XXXXXXXXX

**L-1.0**