

JORDAN RETREAT FIRST PLAT

UNDERFOOT PROJECT - C20050.00

CHATHAM COUNTY CASE

LOCATION:
1092 JORDAN DAM ROAD

CONTACT INFORMATION

DEVELOPER / OWNER
OAK CREST COMMERCIAL, LLC.
1135 KILDAIRE FARM ROAD
CARY, NC 27511
NATE BYLICK
NATEBKOSCARY.COM

REFERENCES

SURVEY

MAERSTAN, PLLC
2411 US 64 BUSINESS W
PITTSBORO, NC 27312
CONTACT: RICHARD BULLOCK
PHONE: 919.444.3003

ENVIRONMENTAL CONSULTANT

SAGE ECOLOGICAL SERVICES
3707 SWIFT DRIVE
RALEIGH, NC 27606
CONTACT: DAVID GAINEY
PHONE: 919.335.6757

REVIEW AGENCIES / UTILITY CONTACTS

PLANNING APPROVAL
CHATHAM COUNTY PLANNING DEPARTMENT
12 EAST STREET
PITTSBORO, NC 27312
CONTACT: KIMBERLY TYSON
PHONE: 919.542.8204

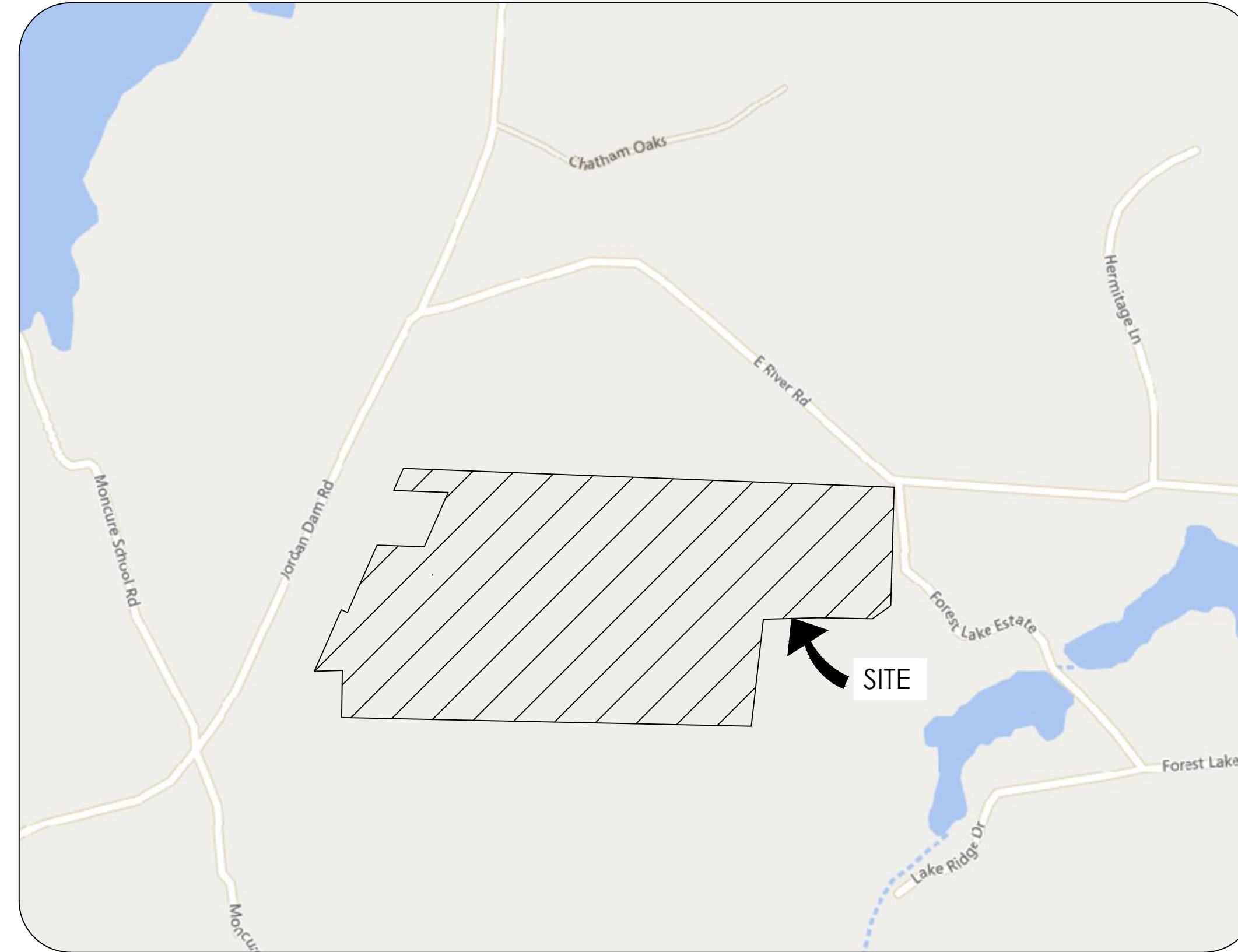
ROADS
NCDOT - DIVISION 8 DISTRICT 1
300 DODD DRIVE
ASHEBORO, NC 27204
CONTACT: JENNIFER BRITT
PHONE: 336.318.4004

LANDSCAPE ARCHITECT

UNDERFOOT ENGINEERING, INC.
1149 EXECUTIVE CIRCLE, SUITE C, CARY, NC 27511
CONTACT: MIKE ROSELLI, PE, P.L.A.
PHONE: 919.576.9733

SEWER & WATER
CHATHAM COUNTY PUBLIC UTILITIES DEPARTMENT
192 WEST STREET
PITTSBORO, NC 27312
CONTACT: BLAKE MILLS
PHONE: 919.542.8238

EROSION CONTROL/STORMWATER
CHATHAM COUNTY WATERSHED PROTECTION DEPARTMENT
12 EAST STREET
PITTSBORO, NC 27312
CONTACT: JUSTIN HASENFUS
PHONE: 919.545.8344

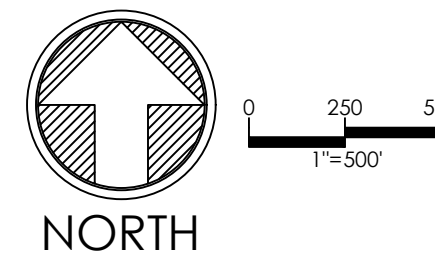


SITE DATA

ADDRESS: 1092 JORDAN DAM ROAD
PIN: 9678-00-68-0000
PID: 0011433
EXISTING ZONING: R-1
PROPOSED ZONING: R-1 CONSERVATION SUBDIVISION
AREA: 2,272,590 SF 52.17 AC
WATERSHED: WS-IV-PA
ALLOWABLE NUMBER OF UNITS: 56 DU (52.17 AC /40,000 SF)
PROPOSED NUMBER OF LOTS: 33 (32 PROPOSED UNITS, 1 LOT FOR EXISTING CABIN)
PROPOSED UNIT DENSITY: 0.63 DU/AC
MINIMUM LOT SIZE SHOWN: 7,010 SF
AVG LOT SIZE: 67' X 120' (TYP.)
FRONT SETBACK: 20 FT
REAR SETBACK: 20 FT
SIDE SETBACKS: 7.5 FT
UTILITIES: WATER AND SEPTIC
SEPTIC SYSTEM: 32 - 48R DU = 480 GPD OF WASTE WATER
MAX. AVERAGE DAILY FLOW: TOTAL ANTICIPATED = 15,360 GPD OF WASTE WATER
MAX. ALLOWABLE IMPERVIOUS: 818,132 SF (18.78 AC) -> (36% OF SITE AREA)
PROPOSED IMPERVIOUS AREA
ROADWAYS: +/- 54,310 SF (1.25 AC) [20' WIDE PAVT.]
WASTEWATER TREATMENT PLANT: +/- 7,022 SF (0.16 AC)
LOTS: +/- 132,000 SF (3.03 AC) [BASED ON 4,000 SF/LOT MAX]
TOTAL IMPERVIOUS AREA: +/- 208,090 SF [4.44 AC] -> (9.2%)

SHEET INDEX

#	SHEET NAME
C-000	COVER SHEET
C-100	EXISTING CONDITIONS
C-200	FIRST PLAT
C-300	GRADING AND DRAINAGE PLAN
C-400	UTILITY PLAN



PREPARED BY:



underfoot
ENGINEERING

1149 EXECUTIVE CIRCLE
CARY, NC 27511
919.576.9733
NCBELS C3847 | NCBOLA C683

CONTACT: LANDON M. LOVELACE, PE
LLOVELACE@UNDERFOOTENGINEERING.COM

PLAN REVISIONS

#	DATE	REVISION	BY



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It's fast. It's free. It's the law.

PROJECT:

JORDAN
RETREAT
FIRST PLAT

1092 JORDAN DAM ROAD
MONCURE, NC 27559

PROJECT #: C20050
DRAWN BY: RW/JA
REVIEWED BY: LL
1ST SUBMITTAL: 2023.08.18
SCALE: AS NOTED

PRELIMINARY
NOT FOR CONSTRUCTION

PREPARED FOR:

OAK CREST
COMMERCIAL, LLC

PREPARED BY:



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SEALED:



SHEET:

COVER SHEET

C-000

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AREA CALCULATIONS

RIPARIAN BUFFERS & WETLANDS	13.02 AC	24.96%
PROPOSED LOTS + CABIN	7.35 AC	14.10%
PROPOSED RIGHT OF WAY	2.97 AC	5.70%
SEPTIC AREAS	6.50 AC	12.45%
PERIMETER BUFFER	6.96 AC	13.34%
SCM & PUMP STATION	0.39 AC	0.76%
DEDICATED OPEN SPACE	3.99 AC	7.64%
DEDICATED NATURAL SPACE	10.98 AC	21.05%

CONSERVATION SPACE CALCULATIONS

	REQUIRED	PROVIDED
CONSERVATION SPACE	20.87 AC MIN. (52.17% 40%)	22.32 AC (42.79%)
OPEN SPACE (ACTIVE / PASSIVE REC)	4.46 AC MAX. (22.32% 20%)	4.38 AC (19.63%)
NATURAL SPACE	17.86 AC MIN. (22.32% 80%)	17.94 AC (80.37%)

NATURAL AREAS

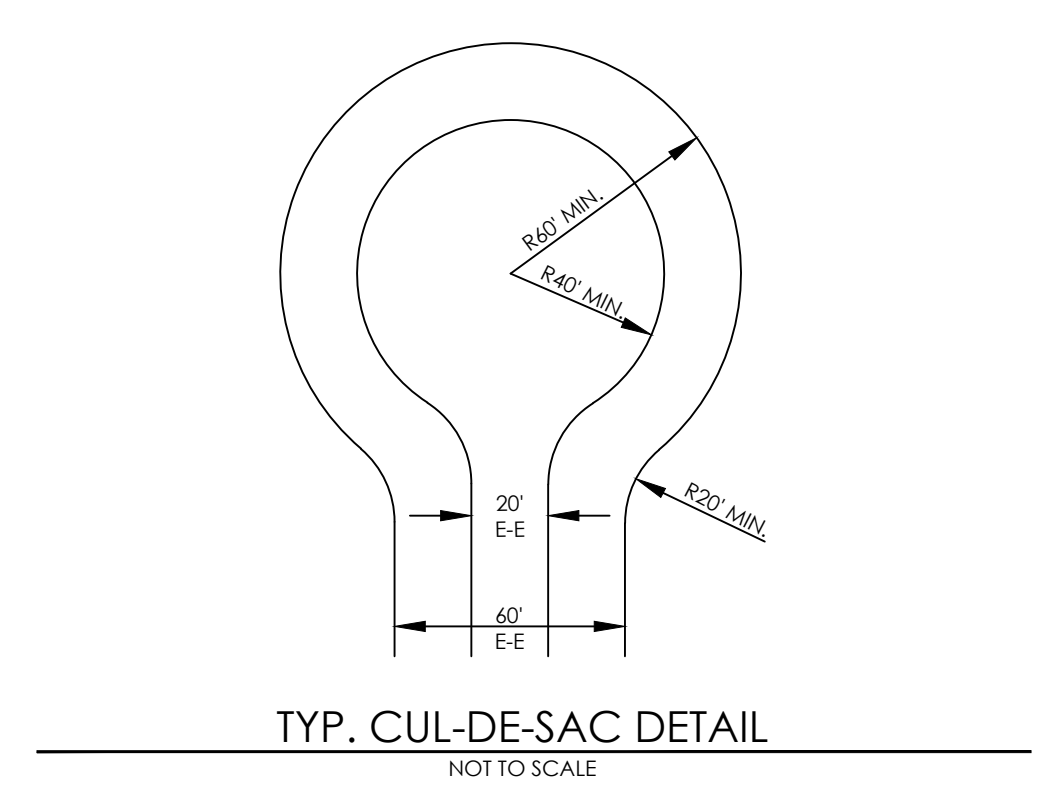
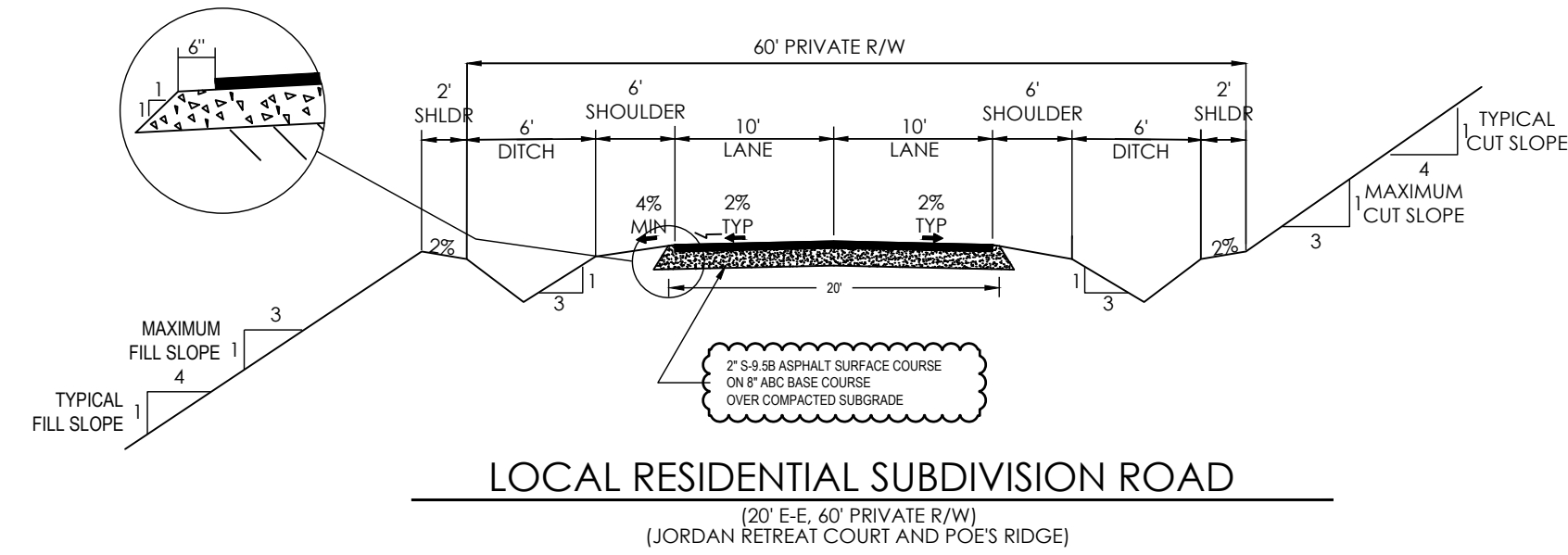
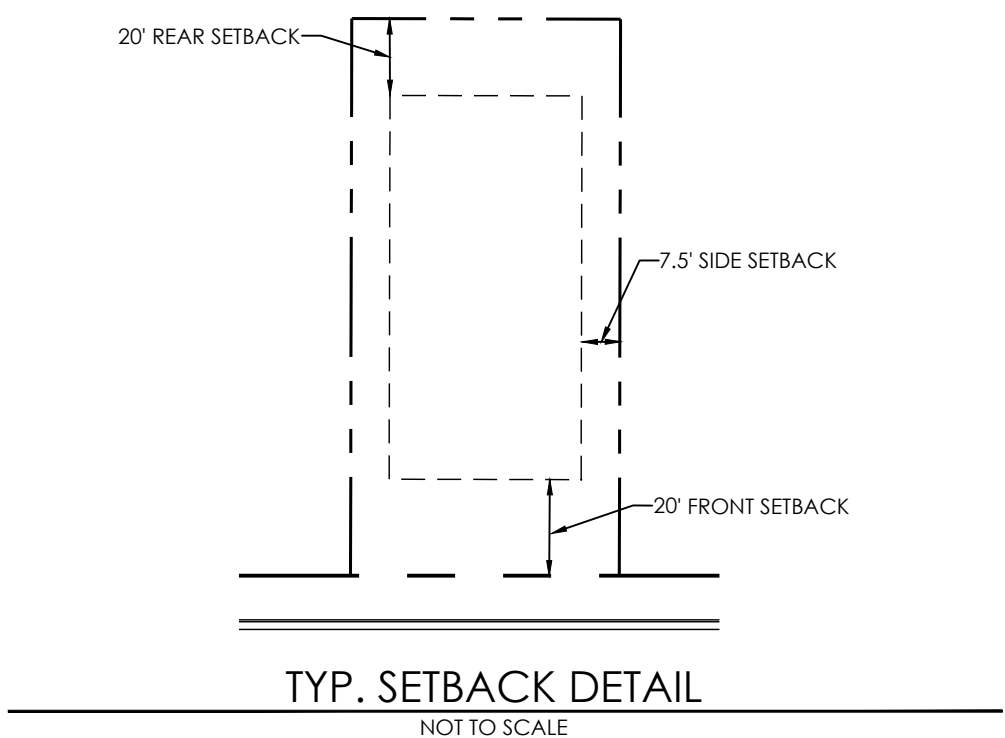
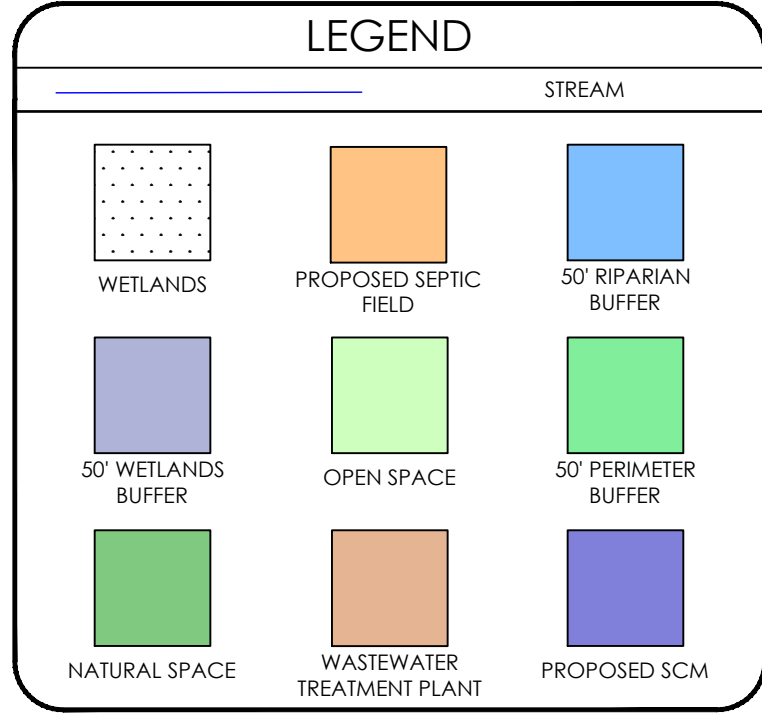
PRIMARY NATURAL AREAS (PRESERVE THESE FIRST - LIST IN ORDER OF VALUE)

STATE NATURAL HERITAGE AREAS AND NATURAL HERITAGE ELEMENTS OCCURRENCES	N/A
NC WILDLIFE ACTION PLAN (WAP) UPLAND SYSTEMS* (≥5,000 FT² MUST EXIST)	N/A
HISTORICAL AND CULTURAL RESOURCES (AS DEFINED BY SHPO AND CHATHAM HISTORICAL ASSOCIATION)	N/A

SECONDARY NATURAL AREAS (IF THE ABOVE HAVE BEEN PRESERVED AND THERE IS STILL CONSERVATION AREA LEFT, OR IF NEEDED TO CONNECT SEVERAL AREAS)

NC WILDLIFE ACTION PLAN LOWLAND SYSTEMS** (≥5,000 FT² MUST EXIST)	N/A
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* UPLAND POOL: UPLAND DEPRESSION SWAMP FOREST; ROCK OUTCROPS; PIEDMONT MONADNOCK FOREST; DRY-MESIC OAK-HICKORY FOREST; DRY OAK-HICKORY FOREST; XERIC HARDPAN FOREST; BASIC OAK HICKORY FOREST; MESIC MIXED HARDWOOD FOREST; BASIC MESIC FOREST; AND, PIEDMONT LONGLEAF PINE FOREST.
 ** PIEDMONT LEVEE FOREST; PIEDMONT SWAMP FOREST; PIEDMONT BOTTOMLAND FOREST; FLOODPLAIN POOL; SEMI-PERMANENT IMPOUNDMENT; ROCKY BAR AND SHORE; AND, LOW ELEVATION SEEP
 N/A: DENOTES NO INSTANCES OF PRIMARY OR SECONDARY NATURAL AREAS WERE FOUND BASED ON ANALYSIS BY NC NATURAL HERITAGE PROGRAM.
 BETWEEN RIPARIAN BUFFER, WETLANDS AND NATURAL SPACE 69% OF THE SITE IS CONSERVED SPACE.



- ### SUBDIVISION NOTES
- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED BY MAERSTAN. DELINEATION OF ENVIRONMENTAL FEATURES (STREAMS W/ BUFFERS, WETLANDS, PONDS, ETC...) HAVE BEEN PROVIDED BY SAGE ECOLOGICAL SERVICES, INC.
 - STORMWATER SCMS SHOWN AS APPROXIMATE AND ARE SUBJECT TO FINAL DESIGN TO MEET ALL APPLICABLE STORMWATER ORDINANCES.
 - SEPTIC AREAS SHOWN AS APPROXIMATE AND ARE SUBJECT TO FINAL DESIGN TO MEET ALL APPLICABLE SANITARY SEWER ORDINANCES. A SUBSURFACE DRIP SYSTEM WITH PRE-TREATMENT IS ANTICIPATED.
 - WATERLINE IS FOR POTABLE/DOMESTIC USE ONLY. WATERLINE IS APPROXIMATE AND SUBJECT TO FINAL DESIGN TO MEET ALL APPLICABLE CHATHAM COUNTY WATER ORDINANCES. THE WATERLINE WILL TIE INTO A 16" WATER MAIN THAT RUNS UNDER JORDAN DAM ROAD.
 - SUBDIVISION ROADS WILL BE PRIVATE AND BUILT TO NCDOT STANDARDS.

LINE TABLE

LINE	DISTANCE	BEARING
L1	170.41'	S88° 56' 36.39"E
L2	25.64'	S66° 17' 34.18"E
L3	198.31'	N84° 33' 12.50"E
L4	136.46'	S63° 29' 13.13"E
L5	174.41'	N47° 02' 56.80"W
L6	36.35'	N05° 26' 47.50"W
L7	148.21'	N80° 37' 16.29"E

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	90.93'	230.00'	022° 39' 02"	S77° 37' 05.28"E	90.33'
C2	117.03'	230.00'	022° 09' 13"	S80° 52' 10.84"E	115.77'
C3	278.90'	500.00'	031° 57' 34"	S79° 28' 00.32"E	275.30'
C4	656.58'	230.00'	163° 33' 44"	N34° 43' 55.03"E	455.28'
C5	225.32'	150.00'	086° 04' 04"	N37° 55' 14.39"E	204.73'

PLAN REVISIONS

#	DATE	REVISION	BY



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1092 JORDAN DAM ROAD
MONCURE, NC 27559

PROJECT #: C20050
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REVIEWED BY: LL
1ST SUBMITTAL: 2023.08.18
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PREPARED FOR:

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COMMERCIAL, LLC

PREPARED BY:

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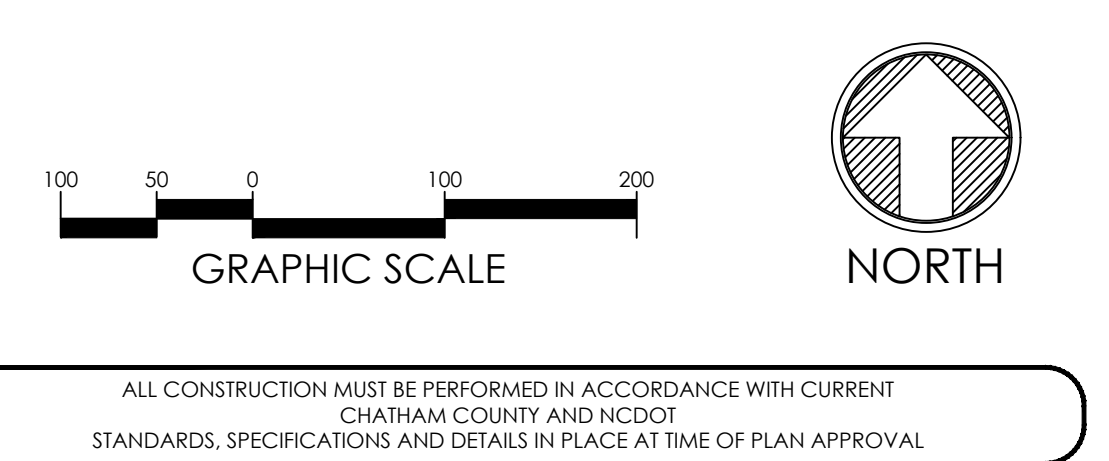
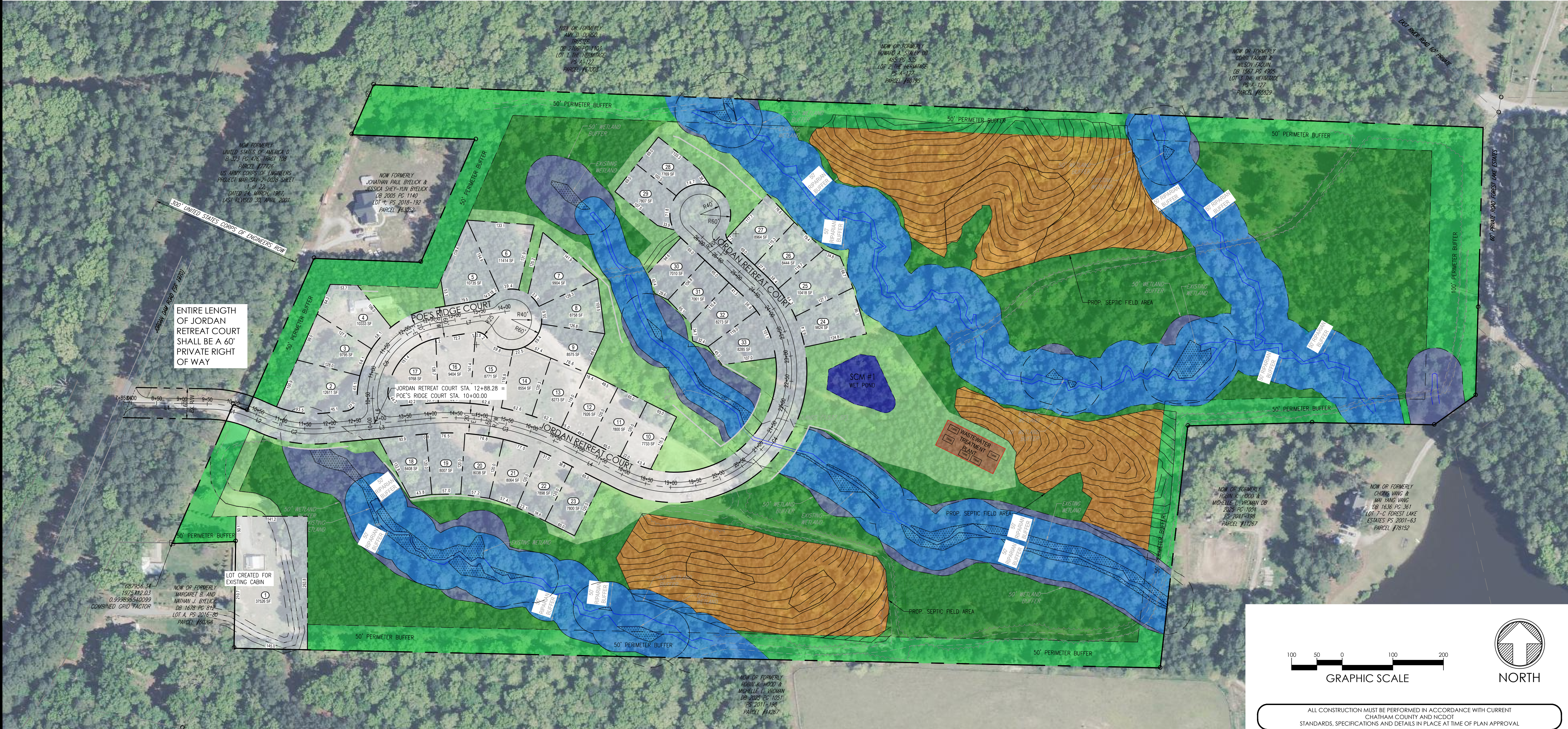
SEALED:

2023.08.18

SHEET:

FIRST PLAT

C-200



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GRADING AND DRAINAGE NOTES

- REFER TO GENERAL NOTES ON SHEET C-100.
- ALL SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR IS RESPONSIBLE FOR MOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED SHALL BE PER THE RECOMMENDATIONS PROVIDED IN A GEOTECHNICAL REPORT. WHEN THE PROJECT DOES NOT HAVE A GEOTECHNICAL REPORT, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH STATE DOT REQUIREMENTS AND SPECIFICATIONS. THE ENGINEER SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION, AND BACKFILL.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLAND, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS LIMIT GRADES), TO PREVENT PONDING.
- GRADE ELEVATIONS
 - ALL PROPOSED CONTOURS IN ROADWAYS, DRIVES, AND SIDEWALKS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. THE TOPS OF EXISTING AND PROPOSED MANHOLES, INLET STRUCTURES, AND CLEANOUTS MUST BE ADJUSTED AS NECESSARY TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES, AND CODES.
 - FOR RESIDENTIAL PROJECTS: DWELLING AND ADJACENT SPOT ELEVATIONS ARE SCHEMATIC FOR THE GENERAL BUILDING FOOTPRINTS AND REPRESENT PAD GRADES ACCOUNTING FOR A SLAB FOUNDATION OF 8". GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS IN ACCORDANCE WITH THE LATEST LOCAL AND STATE BUILDING CODE.
 - REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE CONSTRUCTED UNDER THIS CONTRACT.
 - WHERE RETAINING WALLS ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED REPRESENT THE FINISHED GRADES OF THE EXPOSED PORTION OF THE WALL FOOTING/FOUNDATION. ELEVATIONS ARE NOT IDENTIFIED AND ARE TO BE DETERMINED BY THE WALL DESIGNER AND/OR THE CONTRACTOR BASED ON FINAL DESIGN DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
- UNLESS OTHERWISE NOTED, ALL STORM DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILENT JOINTS. WATERTIGHT RCP SHALL MEET ASTM C443 WITH JOINTS DOUBLE WRAPPED IN NON-WOVEN FILTER FABRIC AND UPSTREAM STRUCTURES CONSTRUCTED WATERTIGHT. WHEN HIGH DENSITY POLYETHYLENE (HDPE) IS NOTED, IT MUST CONFORM TO ASTM D2631, D3212, AND F477 SPECIFICATIONS. PVC PIPE, WHEN USED FOR ROOF DRAIN CONNECTIONS, MUST BE SDR 26 OR SCHEDULE 40, CONFORM TO ASTM F499/504, INSTALLED WITH WATERTIGHT, WELDED JOINTS, AND TIED TO THE STORMWATER SYSTEM WITH WATERTIGHT JOINTS UNLESS OTHERWISE NOTED. PIPE LENGTHS ARE NOMINAL AND MEASURED CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- STORMWATER DISCHARGES INTO THE SHADDOX CREEK - HAW RIVER WATERSHED, CAPE FEAR BASIN. THIS PROJECT IS FALLS UNDER THE STORMWATER REQUIREMENTS OF CHATHAM COUNTY AND MEETS THESE AS THEY ARE OUTLINED WITHIN THE CHATHAM COUNTY SUBDIVISION GUIDELINES AND WATERSHED ORDINANCE.
- A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED FOR THIS PROJECT.
- THIS PROJECT INCLUDES CLEARING AND GRADING AS NECESSARY TO CONSTRUCT ROADWAYS, LOTS, UTILITIES, AND OTHER RELATED INFRASTRUCTURE AS SHOWN IN THESE PLANS.
- THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE SITE.
- PROPOSED GRADING SHOWN FOR SITE AND LOTS. FINISHED PAD ELEVATIONS TO BE DECIDED AT THE TIME OF CONSTRUCTION DRAWINGS.

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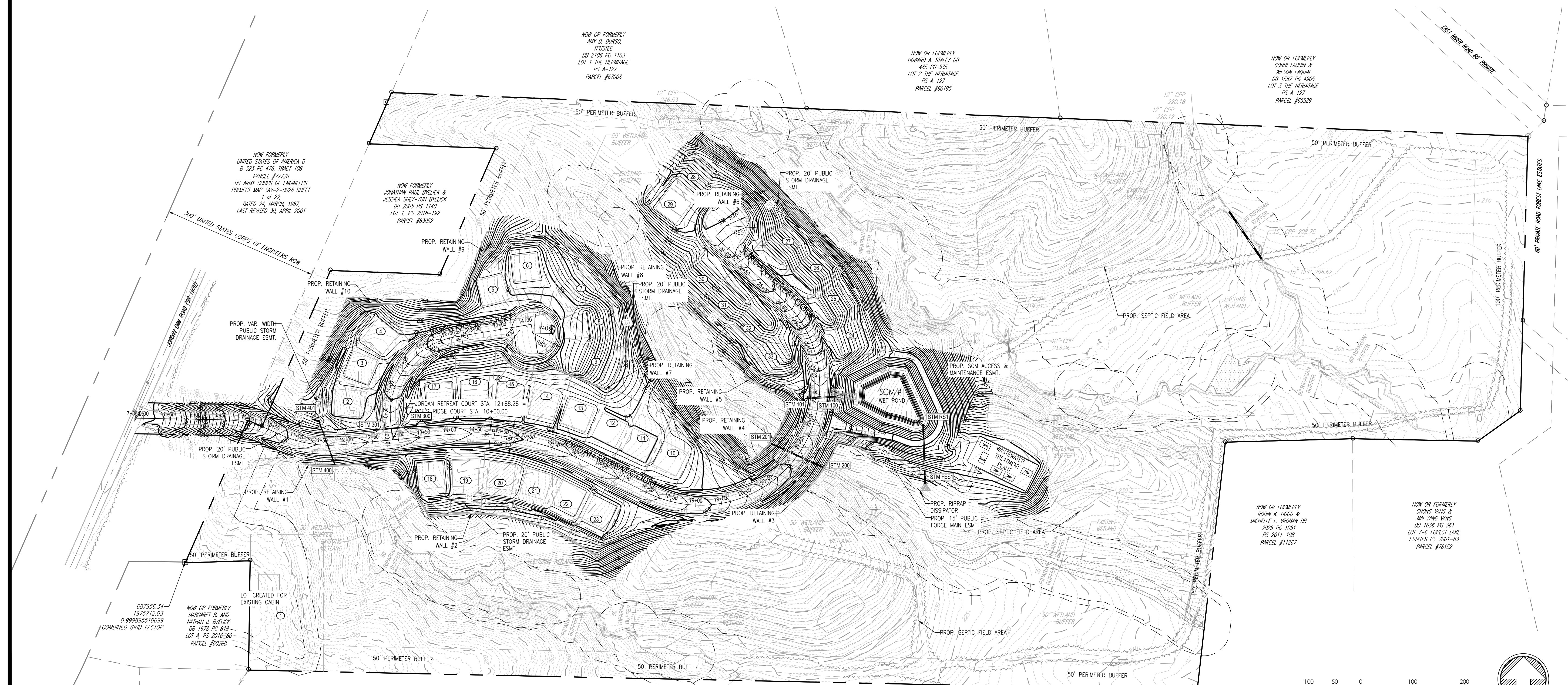
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SEALED:
Abdoun M. Chahin
NORTH CAROLINA PROFESSIONAL ENGINEER
032617
2023.08.18

SHEET:
GRADING AND DRAINAGE PLAN

C-300



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