

# PYEWACKET SUBDIVISION PHASE 1

## BALDWIN TOWNSHIP CHATHAM & ORANGE COUNTIES, NORTH CAROLINA SITE CONSTRUCTION DRAWINGS

REGULATORY REVIEW SET ISSUED AUGUST 19, 2022  
 REVISED: NOVEMBER 11, 2022  
 REVISED: JANUARY 9, 2023  
 REVISED: MARCH 16, 2023  
 REVISED: APRIL 24, 2023

**IMPORTANT NOTE:**  
 ALL BLOW-OFF VALVES, VAULTS, MANHOLES, AND OTHER APPURTENANCES WITHIN THE NCDOT RIGHT-OF-WAY SHALL BE LOCATED BEHIND THE DITCH AND AT THE RIGHT-OF-WAY LINE. MANHOLES AND/OR VAULTS SHALL NOT BE PLACED IN THE DITCH LINE, SIDE SLOPES OF DITCHES, OR IN THE PAVEMENT.



**VICINITY MAP**  
 SCALE: 1"=2000'

NOTE: A VICINITY MAP AT A SCALE LESS THAN 1"=200' IS NOT POSSIBLE FOR THIS PARCEL. REFER TO SHEET C-02 FOR LOCATION OF NEAREST STREET INTERSECTIONS AT A SCALE OF 1"=200'

**CIVIL SERIES DRAWING ABBREVIATIONS:**

@/-AT	DS-DOWNSPOUT	MECH-MECHANICAL	R/W-RIGHT OF WAY
AC-ACRE	EA-EACH	MH-MANHOLE	REQD-REQUIRED
AFG-ABOVE FINISHED GRADE	EIP-EXISTING IRON PIPE	MIN-MINIMUM	RCP-REINFORCED CONCRETE PIPE
APPR-APPROXIMATE	ELEC-ELECTRICAL	MJ-MECHANICAL JOINT	SAN-SANITARY SEWER
ASSY-ASSEMBLY	EX-EXISTING	NIC-NOT IN CONTRACT	SDWK-SIDEWALK
B/C-BOTTOM OF CURB	FC-FACE OF CURB	OHE-OVERHEAD ELECTRIC	SF-SQUARE FOOT
BOC-BACK OF CURB	FDC-FIRE DEPARTMENT CONNECTION	OHP-OVERHEAD POWER	SPT-SPOT GRADE
B/L-BASE LINE	FDPS-FULL DEPTH PAVED SHOULDER	OHT-OVERHEAD TELEPHONE	SS-SANITARY SEWER
BM-BOOK OF MAPS	FFE-FINISHED FLOOR ELEVATION	PB-PLAT BOOK	STA-STATION
BMP-BEST MANAGEMENT PRACTICE	FG-FINISHED GRADE	PC-POINT OF CURVATURE	STD-STANDARD
BW-BOTTOM OF WALL	FH-FIRE HYDRANT	PEG-PEDESTRIAN	STM-STORM
CB-CATCH BASIN	F/L-FLOW LINE	PG-PAGE	STMH-STORM SEWER MANHOLE
C&G-CURB AND GUTTER	FM-FORCE MAIN	PH-PHASE	SWM-STORMWATER MANAGEMENT
CL-CENTERLINE	FT-FOOT	PI-POINT OF INTERSECTION	T-TELEPHONE
CL-CLASS	G-GAS	PIV-POST INDICATOR VALVE	TB-THRUST BLOCKING
CMP-CORRUGATED METAL PIPE	GND-GROUND	PKG-PARKING	TIC-TOP OF CURB
CO-CLEANOUT	GV-GATE VALVE	P/L-PROPERTY LINE	TCM-TELEPHONE MANHOLE
COMM-COMMUNICATIONS	HP-PIPE VALVE	PS-PUMP STATION	TS&V-TAPPING SLEEVE AND VALVE
CONC-CONCRETE	HDPE-HIGH DENSITY POLYETHYLENE	PT-POINT OF TANGENCY	UGE-UNDERGROUND ELECTRIC
CONN-CONNECTION	HORIZ-HORIZONTAL	PP-POWER POLE	UNK-UNKNOWN
CY-CUBIC YARD	IN-INCHES	PVC-POLYVINYL CHLORIDE	UP-UTILITY POLE
DB-DEED BOOK	INV-INVERT	PPM-PAVEMENT	VAR-VARIABLE
DCV-DOUBLE CHECK VALVE	IP-IRON PIPE	PWR-POWER	VERT-VERTICAL
DDCV-DOUBLE DETECTOR CHECK VALVE	IPS-IRON PIPE SET	R-RADIUS	W-WITH
DI-DROP INLET	L-LENGTH	R-D-ROOF DRAIN	WM-WATER METER
DIP-DUCTILE IRON PIPE	LF-LINEAR FOOT	RJ-RESTRAINED JOINT	W/O-WITHOUT
DR-DRIVEWAY	LP-LIGHT POLE	RPZ-REDUCED PRESSION ZONE	W/L-WATERLINE
	LS-LIFT STATION		WSEL-WATER SERVICE ELEVATION
			WV-WATER VALVE

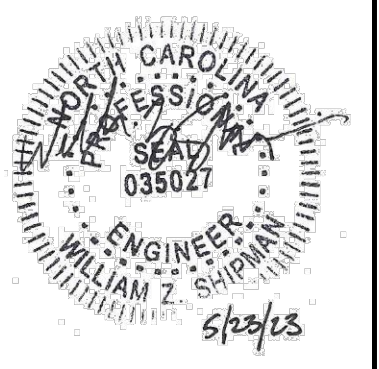
<p><b>Civil Engineer</b></p> <p><b>Shipman Engineering, PLLC</b>                  NC License # P-1963                  137 Middlegreen Place                  Holly Springs, NC 27540                  919.900.0006                  Contact: Zak Shipman, PE                  zak@shipmanengineering.com</p>	<p><b>Developer</b></p> <p><b>Griffith Capital, LLC</b>                  104 Amber Wood Run                  Chapel Hill, NC 27713                  Contact: Mr. Warren Mitchell, PE                  warrendmitchellpe@gmail.com                  919.593.1916</p>	<p><b>Surveyor</b></p> <p><b>SD Puckett and Associates, Inc.</b>                  5314 NC 55/104                  Durham, NC 27713                  Contact: Mr. Steve Puckett, PLS                  smpuckett@puckettsurveys.com                  919.544.7717</p>
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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHATHAM COUNTY AND NCDOT STANDARDS AND SPECIFICATIONS.

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THESE PLANS AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF SHIPMAN ENGINEERING, PLLC AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART. THESE DOCUMENTS SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY INTENDED BY SHIPMAN ENGINEERING, PLLC. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THESE DOCUMENTS.



SYMBOL	DATE	REVISIONS
1	11/11/22	PER CHATHAM COUNTY COMMENT
2	12/16/22	PER NCDOT COMMENT
3	01/09/23	PER PWSS COMMENT
4	03/16/23	PER CHATHAM COUNTY/CARDINAL COMMENT
5	04/24/23	PER NCDOT COMMENT
6	05/02/23	PER NCDOT COMMENT

**SHIPMAN ENGINEERING**  
 SHIPMAN ENGINEERING, PLLC  
 NCBELS LICENSE P-1963  
 137 MIDDLEGREEN PLACE  
 HOLLY SPRINGS, NC 27540  
 919.900.0006

DESIGNED BY: WZS  
 DRAWN BY: WZS  
 CHECKED BY: WZS  
 DRAWING DATE: 06/13/22  
 SE PROJECT #: 2022-014

**PYEWACKET SUBDIVISION-PHASE 1**  
 BALDWIN TOWNSHIP CHATHAM COUNTY, NORTH CAROLINA  
**COVER SHEET**

**DEED REFERENCE:**  
 DB 2256 PG 0509 (CHATHAM)  
 DB 06751 PG 1033 (ORANGE)

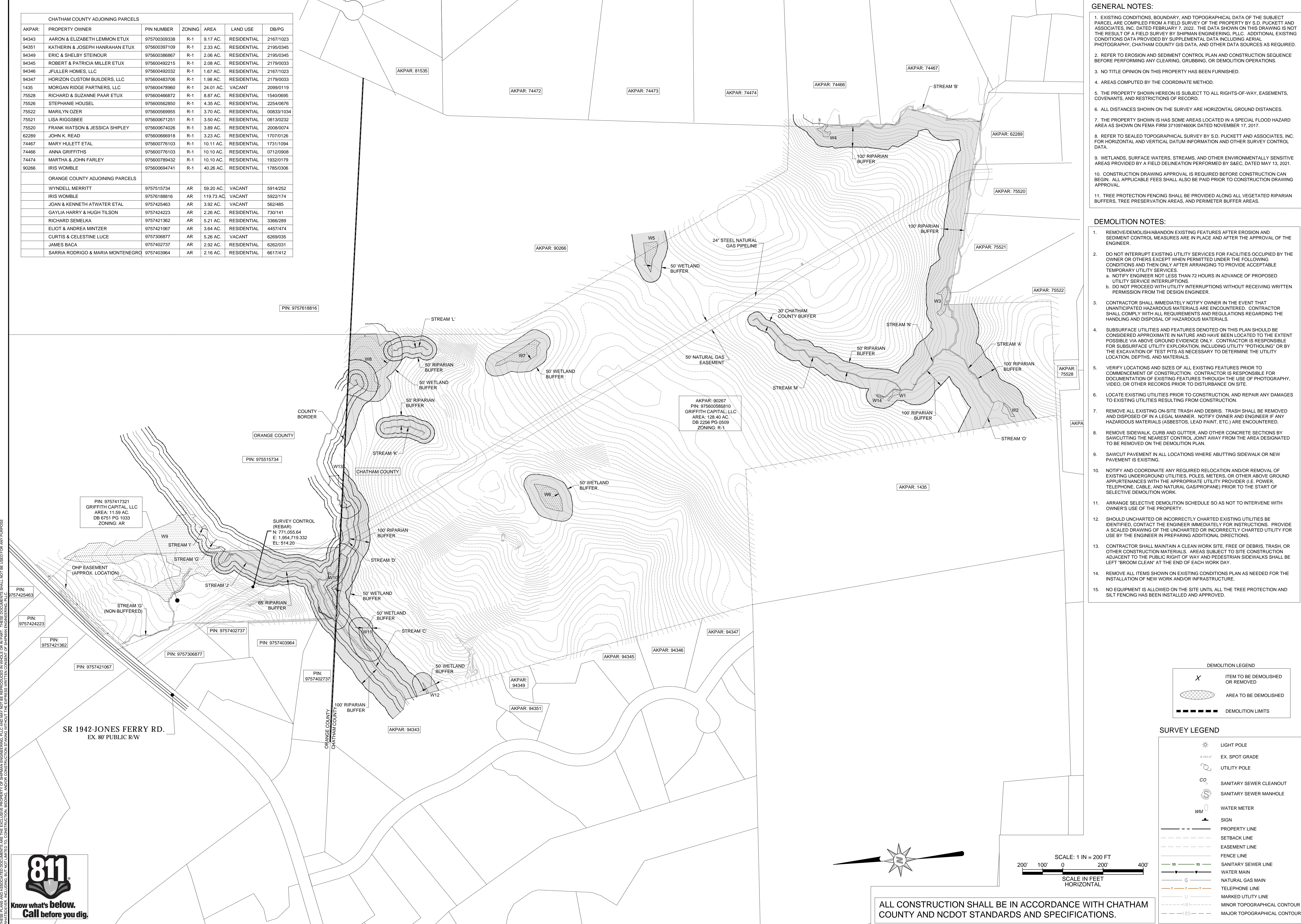
**SURVEY DATUM INFORMATION**  
 HORIZONTAL DATUM: NAD83 (NC STATE PLANE)  
 VERTICAL DATUM: NAVD88

SHEET NUMBER:  
**C-00**



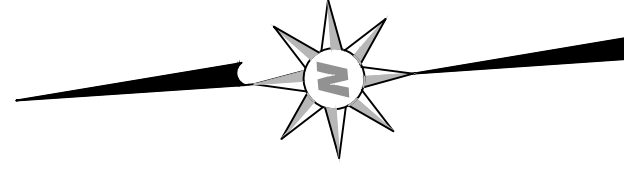
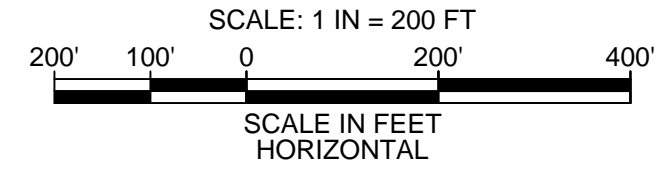
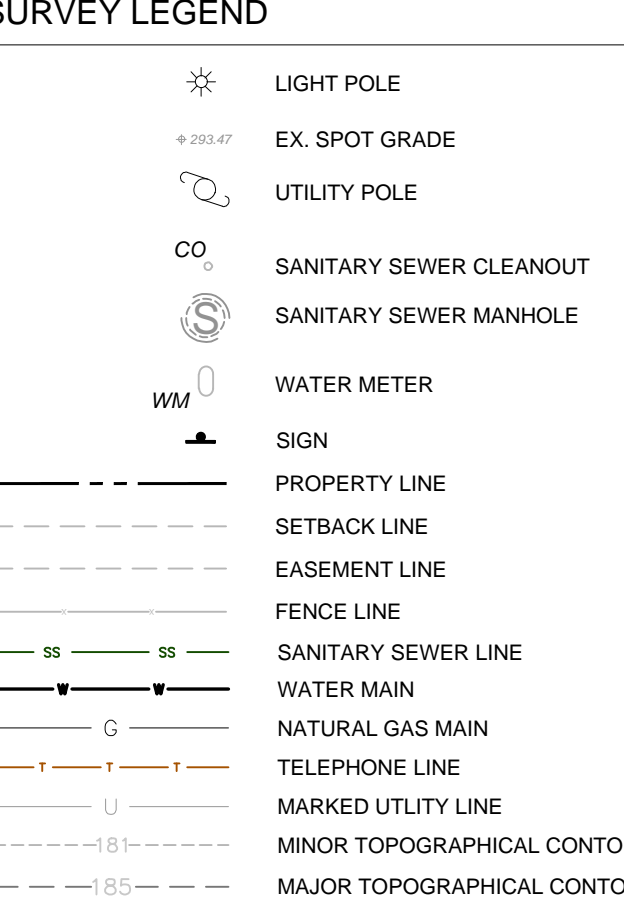
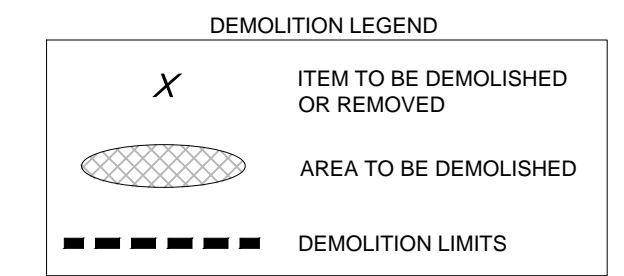
CHATHAM COUNTY ADJOINING PARCELS						
AKPAR:	PROPERTY OWNER	PIN NUMBER	ZONING	AREA	LAND USE	DB/PG
94343	AARON & ELIZABETH LEMMON ETUX	975700309338	R-1	9.17 AC.	RESIDENTIAL	2167/1023
94351	KATHERIN & JOSEPH HANRAHAN ETUX	975600397109	R-1	2.33 AC.	RESIDENTIAL	2195/0345
94349	ERIC & SHELBY STEINOUR	975600386867	R-1	2.06 AC.	RESIDENTIAL	2195/0345
94345	ROBERT & PATRICIA MILLER ETUX	975600492215	R-1	2.08 AC.	RESIDENTIAL	2179/0033
94346	JFULLER HOMES, LLC	975600492032	R-1	1.67 AC.	RESIDENTIAL	2167/1023
94347	HORIZON CUSTOM BUILDERS, LLC	975600483706	R-1	1.98 AC.	RESIDENTIAL	2179/0033
1435	MORGAN RIDGE PARTNERS, LLC	975600478960	R-1	24.01 AC.	VACANT	2099/0119
75528	RICHARD & SUZANNE PAAR ETUX	975600466872	R-1	8.87 AC.	RESIDENTIAL	1540/0695
75526	STEPHANIE HOUSEL	975600562850	R-1	4.35 AC.	RESIDENTIAL	2254/0676
75522	MARILYN OZER	975600569955	R-1	3.70 AC.	RESIDENTIAL	00833/1034
75521	LISA RIGGSBEE	975600671251	R-1	3.50 AC.	RESIDENTIAL	0813/0232
75520	FRANK WATSON & JESSICA SHIPLEY	975600674026	R-1	3.89 AC.	RESIDENTIAL	2008/0074
62289	JOHN K. READ	975600666918	R-1	3.23 AC.	RESIDENTIAL	1707/0126
74467	MARY HULETT ETAL	975600778103	R-1	10.11 AC.	RESIDENTIAL	1731/1094
74466	ANNA GRIFFITHS	975600778103	R-1	10.10 AC.	RESIDENTIAL	0712/0908
74474	MARTHA & JOHN FARLEY	975600789432	R-1	10.10 AC.	RESIDENTIAL	1932/0179
90266	IRIS WOMBLE	975600694741	R-1	40.26 AC.	RESIDENTIAL	1785/0306
ORANGE COUNTY ADJOINING PARCELS						
AKPAR:	PROPERTY OWNER	PIN NUMBER	ZONING	AREA	LAND USE	DB/PG
	WYNDELL MERRITT	9757515734	AR	59.20 AC.	VACANT	5914/252
	IRIS WOMBLE	97576188816	AR	119.73 AC.	VACANT	5922/174
	JOAN & KENNETH ATWATER ETAL	9757425463	AR	3.92 AC.	VACANT	562/485
	GAYLIA HARRY & HUGH TILSON	9757424223	AR	2.26 AC.	RESIDENTIAL	730/141
	RICHARD SEMELKA	9757421382	AR	5.21 AC.	RESIDENTIAL	3366/289
	ELIOT & ANDREA MINTZER	9757421067	AR	3.64 AC.	RESIDENTIAL	4457/474
	CURTIS & CELESTINE LUCE	9757306877	AR	5.26 AC.	VACANT	6269/035
	JAMES BACA	9757402737	AR	2.92 AC.	RESIDENTIAL	6262/031
	SARRIA RODRIGO & MARIA MONTENEGRO	9757403964	AR	2.16 AC.	RESIDENTIAL	6617/412

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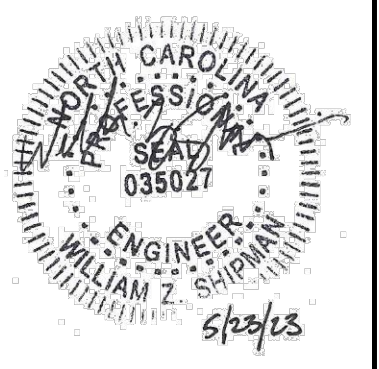


- GENERAL NOTES:**
- EXISTING CONDITIONS, BOUNDARY, AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY S.D. PUCKETT AND ASSOCIATES, INC. DATED FEBRUARY 7, 2022. THE DATA SHOWN ON THIS DRAWING IS NOT THE RESULT OF A FIELD SURVEY BY SHIPMAN ENGINEERING, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, CHATHAM COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
  - REFER TO EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE BEFORE PERFORMING ANY CLEARING, GRUBBING, OR DEMOLITION OPERATIONS.
  - NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
  - AREAS COMPUTED BY THE COORDINATE METHOD.
  - THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
  - ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
  - THE PROPERTY SHOWN IS HAS SOME AREAS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FEMA FIRM 3710974600K DATED NOVEMBER 17, 2017.
  - REFER TO SEALED TOPOGRAPHICAL SURVEY BY S.D. PUCKETT AND ASSOCIATES, INC. FOR HORIZONTAL AND VERTICAL DATUM INFORMATION AND OTHER SURVEY CONTROL DATA.
  - WETLANDS, SURFACE WATERS, STREAMS, AND OTHER ENVIRONMENTALLY SENSITIVE AREAS PROVIDED BY A FIELD DELINEATION PERFORMED BY S&EC, DATED MAY 13, 2021.
  - CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION CAN BEGIN. ALL APPLICABLE FEES SHALL ALSO BE PAID PRIOR TO CONSTRUCTION DRAWING APPROVAL.
  - TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED RIPARIAN BUFFERS, TREE PRESERVATION AREAS, AND PERIMETER BUFFER AREAS.

- DEMOLITION NOTES:**
- REMOVE/DEMOLISH/ABANDON EXISTING FEATURES AFTER EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND AFTER THE APPROVAL OF THE ENGINEER.
  - DO NOT INTERRUPT EXISTING UTILITY SERVICES FOR FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES.
    - NOTIFY ENGINEER NOT LESS THAN 72 HOURS IN ADVANCE OF PROPOSED UTILITY SERVICE INTERRUPTIONS.
    - DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING WRITTEN PERMISSION FROM THE DESIGN ENGINEER.
  - CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER IN THE EVENT THAT UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS AND REGULATIONS REGARDING THE HANDLING AND DISPOSAL OF HAZARDOUS MATERIALS.
  - SUBSURFACE UTILITIES AND FEATURES DENOTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND HAVE BEEN LOCATED TO THE EXTENT POSSIBLE VIA ABOVE GROUND EVIDENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION, INCLUDING UTILITY "POTHOLING" OR BY THE EXCAVATION OF TEST PITS AS NECESSARY TO DETERMINE THE UTILITY LOCATION, DEPTHS, AND MATERIALS.
  - VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTATION OF EXISTING FEATURES THROUGH THE USE OF PHOTOGRAPHY, VIDEO, OR OTHER RECORDS PRIOR TO DISTURBANCE ON SITE.
  - LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.
  - REMOVE ALL EXISTING ON-SITE TRASH AND DEBRIS. TRASH SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER. NOTIFY OWNER AND ENGINEER IF ANY HAZARDOUS MATERIALS (ASBESTOS, LEAD PAINT, ETC.) ARE ENCOUNTERED.
  - REMOVE SIDEWALK, CURB AND GUTTER, AND OTHER CONCRETE SECTIONS BY SAWCUTTING THE NEAREST CONTROL JOINT AWAY FROM THE AREA DESIGNATED TO BE REMOVED ON THE DEMOLITION PLAN.
  - SAWCUT PAVEMENT IN ALL LOCATIONS WHERE ABUTTING SIDEWALK OR NEW PAVEMENT IS EXISTING.
  - NOTIFY AND COORDINATE ANY REQUIRED RELOCATION AND/OR REMOVAL OF EXISTING UNDERGROUND UTILITIES, POLES, METERS, OR OTHER ABOVE GROUND APPURTENANCES WITH THE APPROPRIATE UTILITY PROVIDER (I.E. POWER, TELEPHONE, CABLE, AND NATURAL GAS/PROPANE) PRIOR TO THE START OF SELECTIVE DEMOLITION WORK.
  - ARRANGE SELECTIVE DEMOLITION SCHEDULE SO AS NOT TO INTERFERE WITH OWNER'S USE OF THE PROPERTY.
  - SHOULD UNCHARTED OR INCORRECTLY CHARTED EXISTING UTILITIES BE IDENTIFIED, CONTACT THE ENGINEER IMMEDIATELY FOR INSTRUCTIONS. PROVIDE A SCALED DRAWING OF THE UNCHARTED OR INCORRECTLY CHARTED UTILITY FOR USE BY THE ENGINEER IN PREPARING ADDITIONAL DIRECTIONS.
  - CONTRACTOR SHALL MAINTAIN A CLEAN WORK SITE, FREE OF DEBRIS, TRASH, OR OTHER CONSTRUCTION MATERIALS. AREAS SUBJECT TO SITE CONSTRUCTION ADJACENT TO THE PUBLIC RIGHT OF WAY AND PEDESTRIAN SIDEWALKS SHALL BE LEFT "BROOM CLEAN" AT THE END OF EACH WORK DAY.
  - REMOVE ALL ITEMS SHOWN ON EXISTING CONDITIONS PLAN AS NEEDED FOR THE INSTALLATION OF NEW WORK AND/OR INFRASTRUCTURE.
  - NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL THE TREE PROTECTION AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHATHAM COUNTY AND NCDOT STANDARDS AND SPECIFICATIONS.



SYMBOL	DATE	REVISIONS
1	11/11/22	PER CHATHAM COUNTY COMMENT
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5	04/24/23	PER NCDOT COMMENT
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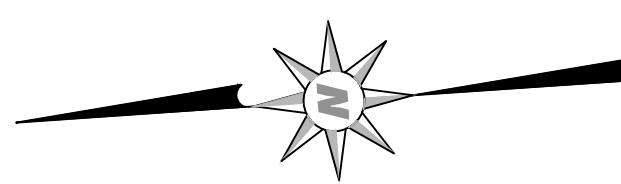
**SHIPMAN ENGINEERING, PLLC**  
 137 MIDDLEGREEN PLACE  
 HOLLY SPRINGS, NC 27540  
 919.900.0006  
 SHIPMAN ENGINEERING, PLLC  
 NCBELS LICENSE P-1963

DESIGNED BY: WZS  
 DRAWN BY: WZS  
 CHECKED BY: WZS  
 DRAWING DATE: 06/13/22  
 SE PROJECT #: 2022-014

**PYEWACKET SUBDIVISION-PHASE 1**  
 BALDWIN TOWNSHIP CHATHAM COUNTY, NORTH CAROLINA  
**EXISTING CONDITIONS & DEMOLITION PLAN**

SHEET NUMBER: **C-01**





**IMPORTANT GAS LINE NOTE:**

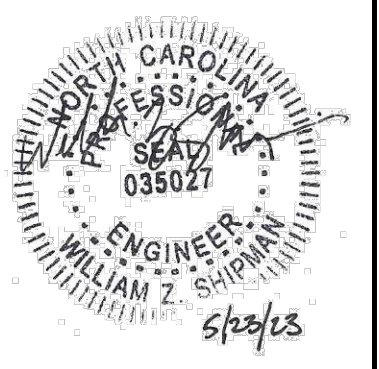
CARDINAL PIPELINE REPRESENTATIVE MUST BE ON-SITE FOR ANY CONSTRUCTION ACTIVITY LOCATED WITHIN COMPANY RIGHT-OF-WAY.

**UTILITY NOTE:**

DRY UTILITIES (POWER, FIBER, ETC.) AND PRIVATE INDIVIDUAL SEPTIC FORCE MAINS ARE DESIGNED BY OTHERS AND ARE SHOWN HERE FOR ILLUSTRATIVE PURPOSES ONLY. PIPE SIZES, MATERIALS, AND CONDUIT LOCATIONS ARE APPROXIMATE IN LOCATION AND MAY VARY FROM THOSE LOCATIONS SHOWN HERE. FORCE MAIN DESIGNER SHALL COMPLY WITH ALL NCAC 27 RULES FOR HORIZONTAL AND VERTICAL SEPARATION FROM APPLICABLE UTILITIES.

**GENERAL NOTES:**

- EXISTING CONDITIONS, BOUNDARY, AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCELS ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY S.D. PUCKETT AND ASSOCIATES, INC. DATED FEBRUARY 7, 2022. THE DATA SHOWN ON THIS DRAWING IS NOT THE RESULT OF A FIELD SURVEY BY SHIPMAN ENGINEERING, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, CHATHAM COUNTY GIS DATA, ORANGE COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
- REFER TO EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE BEFORE PERFORMING ANY CLEARING, GRUBBING, OR DEMOLITION OPERATIONS.
- NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
- AREAS COMPLETED BY THE COORDINATE METHOD.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL-GROUND DISTANCES.
- A PORTION OF THIS PROPERTY IS LOCATED IN ZONE A-SPECIAL FLOOD HAZARD AREA WITHOUT BASE FLOOD ELEVATION AS SHOWN ON FEMA FIRM PANEL 3710974600K DATED NOVEMBER 17, 2017. THE FLOOD HAZARD AREAS IS LOCATED OUTSIDE OF THE PHASE 1 PROJECT AREA.
- REFER TO SEALED TOPOGRAPHICAL SURVEY BY S.D. PUCKETT AND ASSOCIATES, INC. FOR HORIZONTAL AND VERTICAL DATUM INFORMATION AND OTHER SURVEY CONTROL DATA.
- WETLANDS, SURFACE WATERS, STREAMS, AND OTHER ENVIRONMENTALLY SENSITIVE AREAS PROVIDED BY THE OWNER.
- CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION CAN BEGIN. ALL APPLICABLE FEES SHALL ALSO BE PAID PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED RIPARIAN BUFFERS, TREE PRESERVATION AREAS, AND PERIMETER BUFFER AREAS.



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**RECEIVING STREAM:**  
 NAME: MEADOWS BRANCH  
 CLASSIFICATION: WS-IV NSW  
 STREAM INDEX: 16-32-1

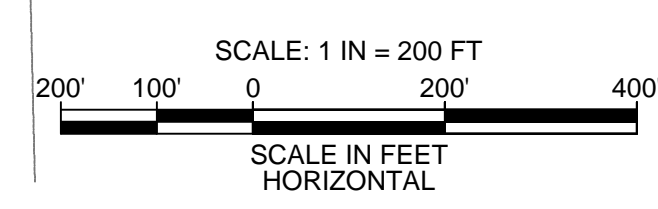
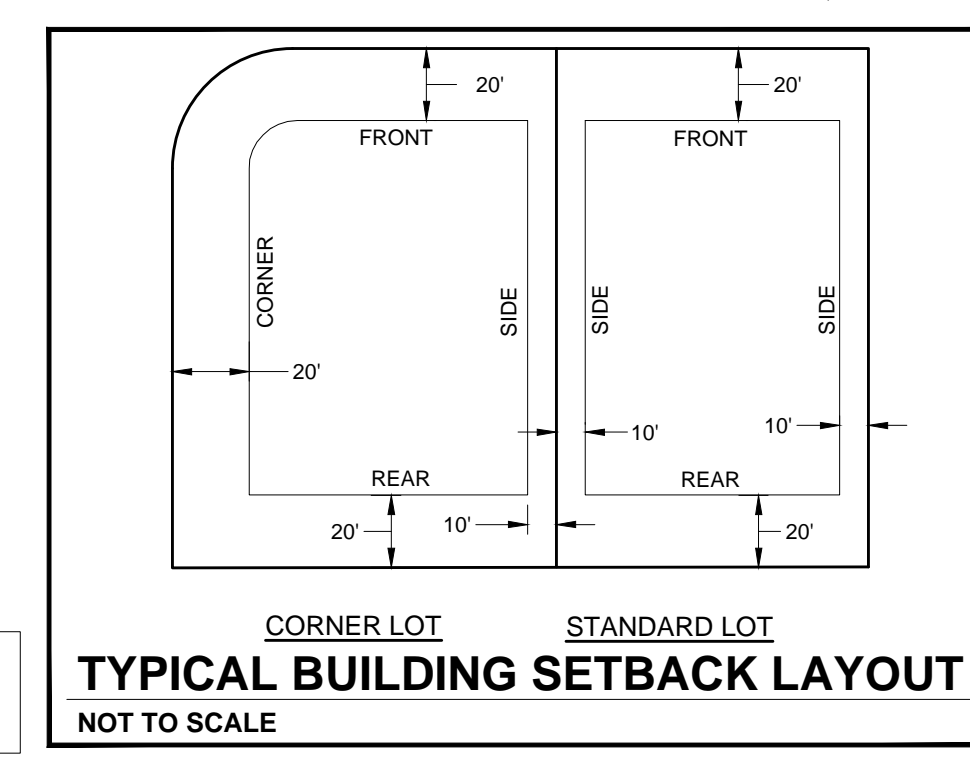
**DRIVEWAY NOTE:**  
 DRIVEWAYS FOR LOTS 84-85, 75, 88, 6, & 14 SHALL BE LOCATED OUTSIDE OF SIGHT DISTANCE TRIANGLES.

**SITE DATA TABLE**

PROJECT NAME:	PYEWACKET SUBDIVISION-PHASE 1
PHYSICAL ADDRESS:	0 JONES FERRY ROAD
JURISDICTION:	ORANGE COUNTY CHATHAM COUNTY
EXISTING ZONING DISTRICT:	AR (ORANGE) R-1 (CHATHAM)
EXISTING LAND USE:	VACANT
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL-DETACHED
PIN NUMBERS:	9757417321 (ORANGE) 97560585810 (CHATHAM)
AKPAR PID NUMBERS:	0090267
PROPOSED # OF LOTS:	32 (PHASE 1)
SMALLEST LOT:	18,258 SF (0.42 AC)-LOT 89
LARGEST LOT:	44,454 (1.02 AC)-LOT 9
TOTAL PROPERTY AREA:	PARCEL 1: 11.59 AC. (ORANGE) PARCEL 2: 128.40 AC. (CHATHAM) TOTAL: 139.99 AC.
NET (WITH R/W DEDICATION):	139.99 ACRES
RIGHT-OF-WAY DEDICATED:	0.00 ACRES
RIVER BASIN:	CAPE FEAR (JORDAN)
RECEIVING STREAM:	MEADOW BRANCH (TERRELLS CREEK)
WATERSHED DISTRICT:	WS-IV NSW (JORDAN LAKE-HAW RIVER ARM)

**SITE & UTILITY LEGEND**

	STREET LIGHT
	SIGN
	WHEELCHAIR RAMP
	CLUSTER MAILBOX UNIT
	ROADWAY CENTER LINE
	LOT LINE
	RIGHT OF WAY LINE
	RETAINING WALL
	SETBACK LINE
	BMP LIMITS
	EASEMENT
	STANDARD CURB & GUTTER
	SPILL CURB & GUTTER
	ORNAMENTAL FENCE
	FENCE
	OPEN SPACE AREA
	FIRE HYDRANT ASSEMBLY
	GATE VALVE
	TEE
	THRUST (REACTION) BLOCKING
	BLOW OFF VALVE
	WATER METER
	BACKFLOW PREVENTER
	CLEANOUT
	SANITARY MANHOLE
	FLARED END SECTION
	RISER STRUCTURE
	CATCH BASIN
	YARD INLET
	WATER LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE



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DESIGNED BY: WZS  
 DRAWN BY: WZS  
 CHECKED BY: WZS  
 DRAWING DATE: 06/13/22  
 SE PROJECT #: 2022-014

**PYEWACKET SUBDIVISION-PHASE 1**  
 BALDWIN TOWNSHIP CHATHAM COUNTY, NORTH CAROLINA  
**OVERALL SUBDIVISION LAYOUT**  
 SHEET NUMBER: **C-02**

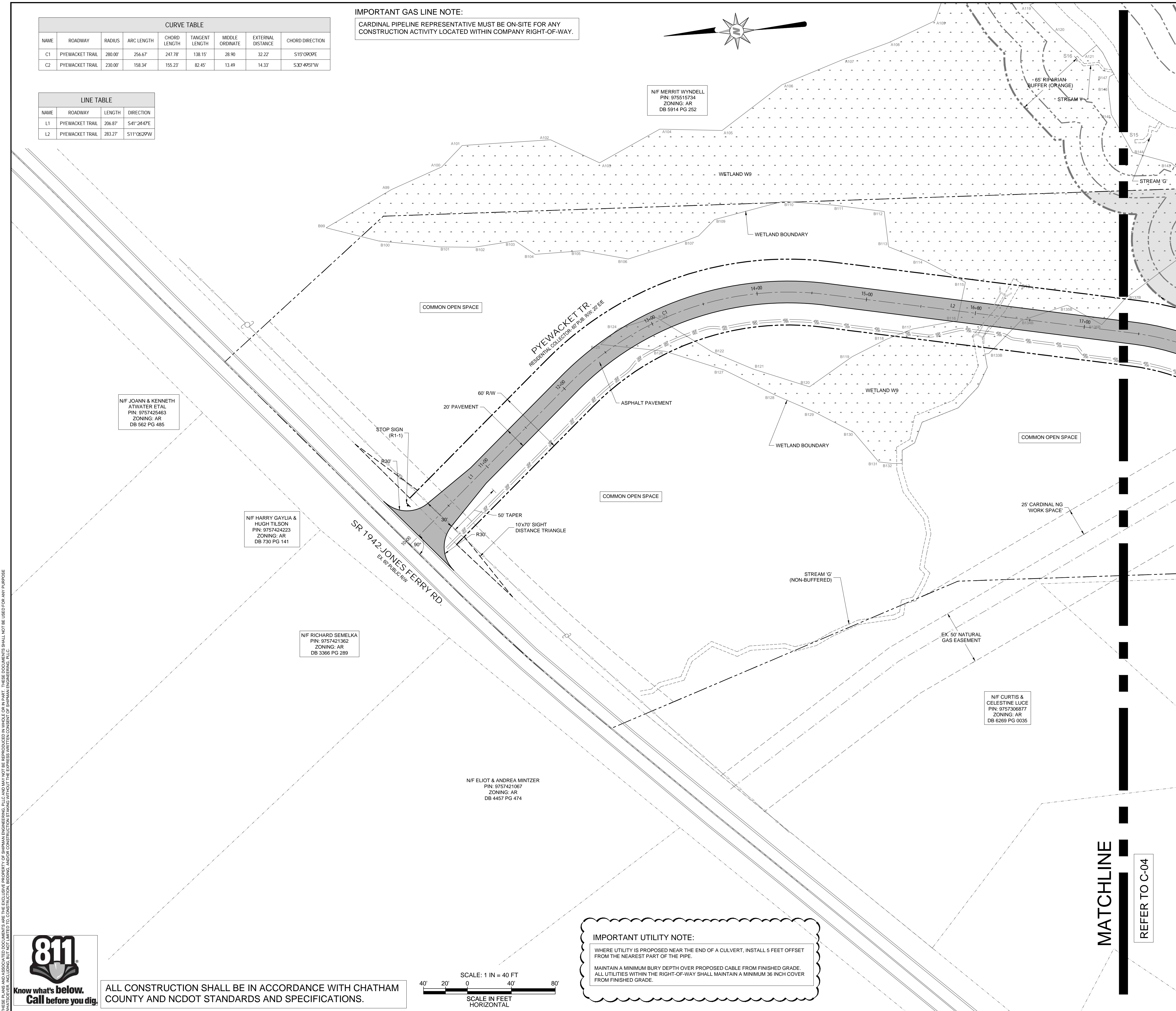
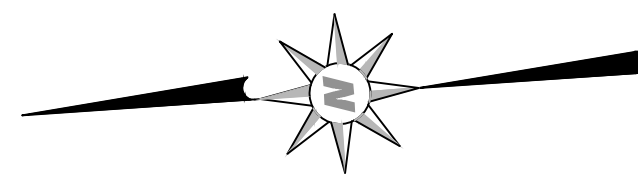


CURVE TABLE								
NAME	ROADWAY	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT LENGTH	MIDDLE ORDINATE	EXTERNAL DISTANCE	CHORD DIRECTION
C1	PYEWACKET TRAIL	280.00'	256.67'	247.78'	138.15'	28.90'	32.22'	S15°00'00"E
C2	PYEWACKET TRAIL	230.00'	158.34'	155.23'	82.45'	13.49'	14.33'	S30°47'51"W

LINE TABLE			
NAME	ROADWAY	LENGTH	DIRECTION
L1	PYEWACKET TRAIL	206.87'	S41°24'47"E
L2	PYEWACKET TRAIL	283.27'	S11°06'29"W

**IMPORTANT GAS LINE NOTE:**

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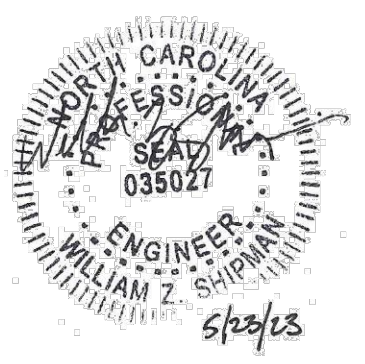


**GENERAL NOTES:**

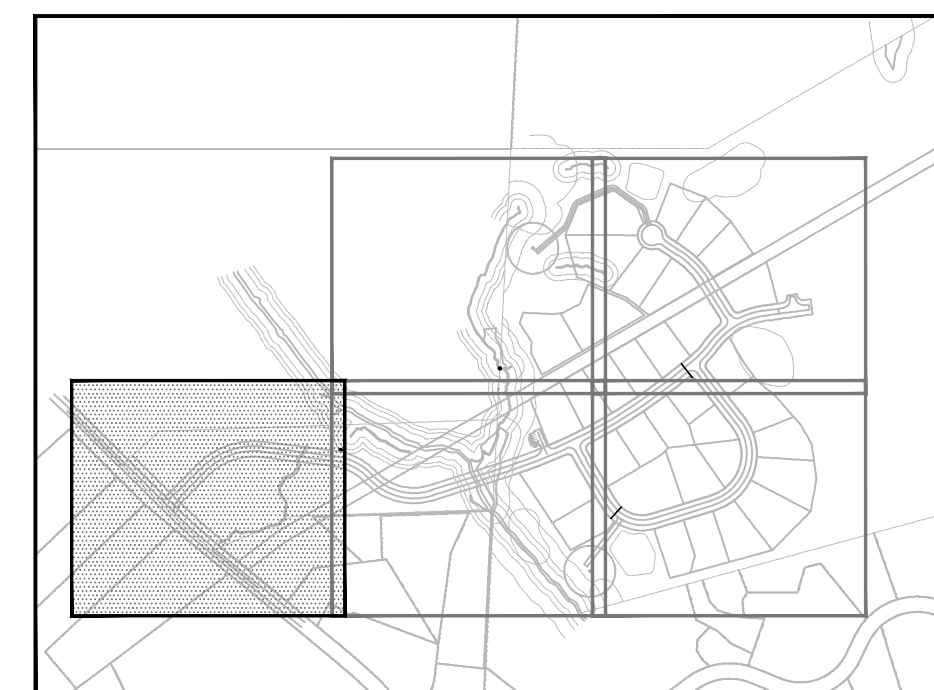
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- NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
- AREAS COMPUTED BY THE COORDINATE METHOD.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
- A PORTION OF THIS PROPERTY IS LOCATED IN ZONE A-SPECIAL FLOOD HAZARD AREA WITHOUT BASE FLOOD ELEVATION AS SHOWN ON FEMA FIRM PANEL 3710974600K DATED NOVEMBER 17, 2017. THE FLOOD HAZARD AREAS IS LOCATED OUTSIDE OF THE PHASE 1 PROJECT AREA.
- REFER TO SEALED TOPOGRAPHICAL SURVEY BY S.D. PUCKETT AND ASSOCIATES, INC. FOR HORIZONTAL AND VERTICAL DATUM INFORMATION AND OTHER SURVEY CONTROL DATA.
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**UTILITY NOTE:**

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SYMBOL	DATE	REVISIONS
1	11/11/22	PER CHATHAM COUNTY COMMENT
2	12/16/22	PER NCDOT COMMENT
3	01/09/23	PER PWIS COMMENT
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5	04/24/23	PER NCDOT COMMENT
6	05/02/23	PER NCDOT COMMENT



**SHEET INDEX**  
SCALE: 1"=750'

**SITE & UTILITY LEGEND**

- STREET LIGHT
- SIGN
- WHEELCHAIR RAMP
- CLUSTER MAILBOX UNIT
- ROADWAY CENTER LINE
- LOT LINE
- RIGHT OF WAY LINE
- RETAINING WALL
- SETBACK LINE
- BMP LIMITS
- EASEMENT
- STANDARD CURB & GUTTER
- SPILL CURB & GUTTER
- ORNAMENTAL FENCE
- FENCE
- OPEN SPACE AREA
- FIRE HYDRANT ASSEMBLY
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- SANITARY MANHOLE
- FLARED END SECTION
- RISERS STRUCTURE
- CATCH BASIN
- YARD INLET
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE

DESIGNED BY: WZS  
DRAWN BY: WZS  
CHECKED BY: WZS  
DRAWING DATE: 06/13/22  
SE PROJECT #: 2022-014

**SHIPMAN ENGINEERING**  
137 MIDDLEGREEN PLACE  
HOLLY SPRINGS, NC 27540  
919.900.0006  
SHIPMAN ENGINEERING, PLLC  
NCBELS LICENSE P-1963

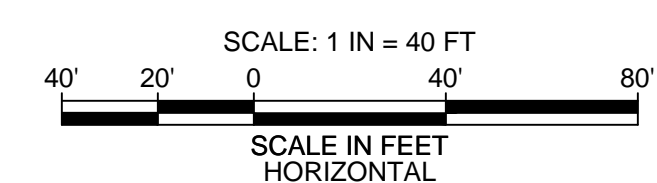
**PYEWACKET SUBDIVISION-PHASE 1**  
BALDWIN TOWNSHIP CHATHAM COUNTY, NORTH CAROLINA  
**PARTIAL SUBDIVISION LAYOUT PLAN I**

SHEET NUMBER:  
**C-03**

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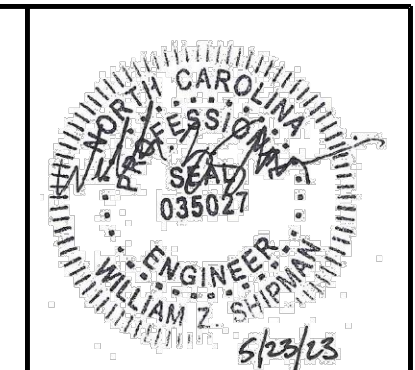
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**IMPORTANT UTILITY NOTE:**  
WHERE UTILITY IS PROPOSED NEAR THE END OF A CULVERT, INSTALL 5 FEET OFFSET FROM THE NEAREST PART OF THE PIPE.  
MAINTAIN A MINIMUM BURY DEPTH OVER PROPOSED CABLE FROM FINISHED GRADE.  
ALL UTILITIES WITHIN THE RIGHT-OF-WAY SHALL MAINTAIN A MINIMUM 36 INCH COVER FROM FINISHED GRADE.

**MATCHLINE**  
REFER TO C-04



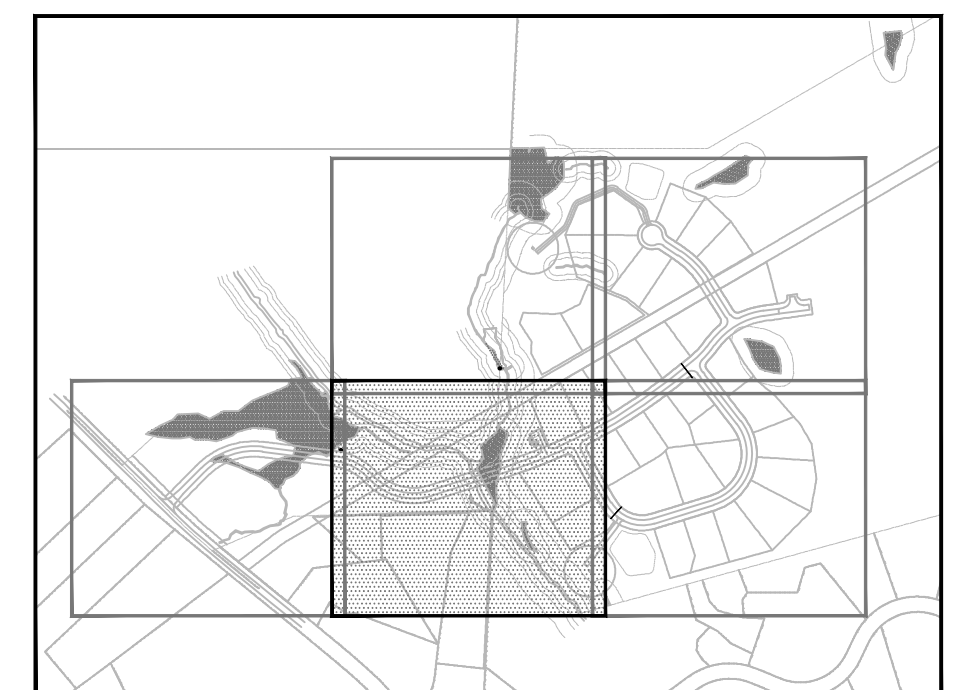


- GENERAL NOTES:**
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**DRIVEWAY NOTE:**  
DRIVEWAYS FOR LOTS 84-85, 75, 88, 6, & 14 SHALL BE LOCATED OUTSIDE OF SIGHT DISTANCE TRIANGLES.

**IMPORTANT GAS LINE NOTE:**  
CARDINAL PIPELINE REPRESENTATIVE MUST BE ON-SITE FOR ANY CONSTRUCTION ACTIVITY LOCATED WITHIN COMPANY RIGHT-OF-WAY.

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**SHEET INDEX**  
SCALE: 1"=750'

**SITE & UTILITY LEGEND**

	STREET LIGHT
	SIGN
	WHEELCHAIR RAMP
	CLUSTER MAILBOX UNIT
	ROADWAY CENTER LINE
	LOT LINE
	RIGHT OF WAY LINE
	RETAINING WALL
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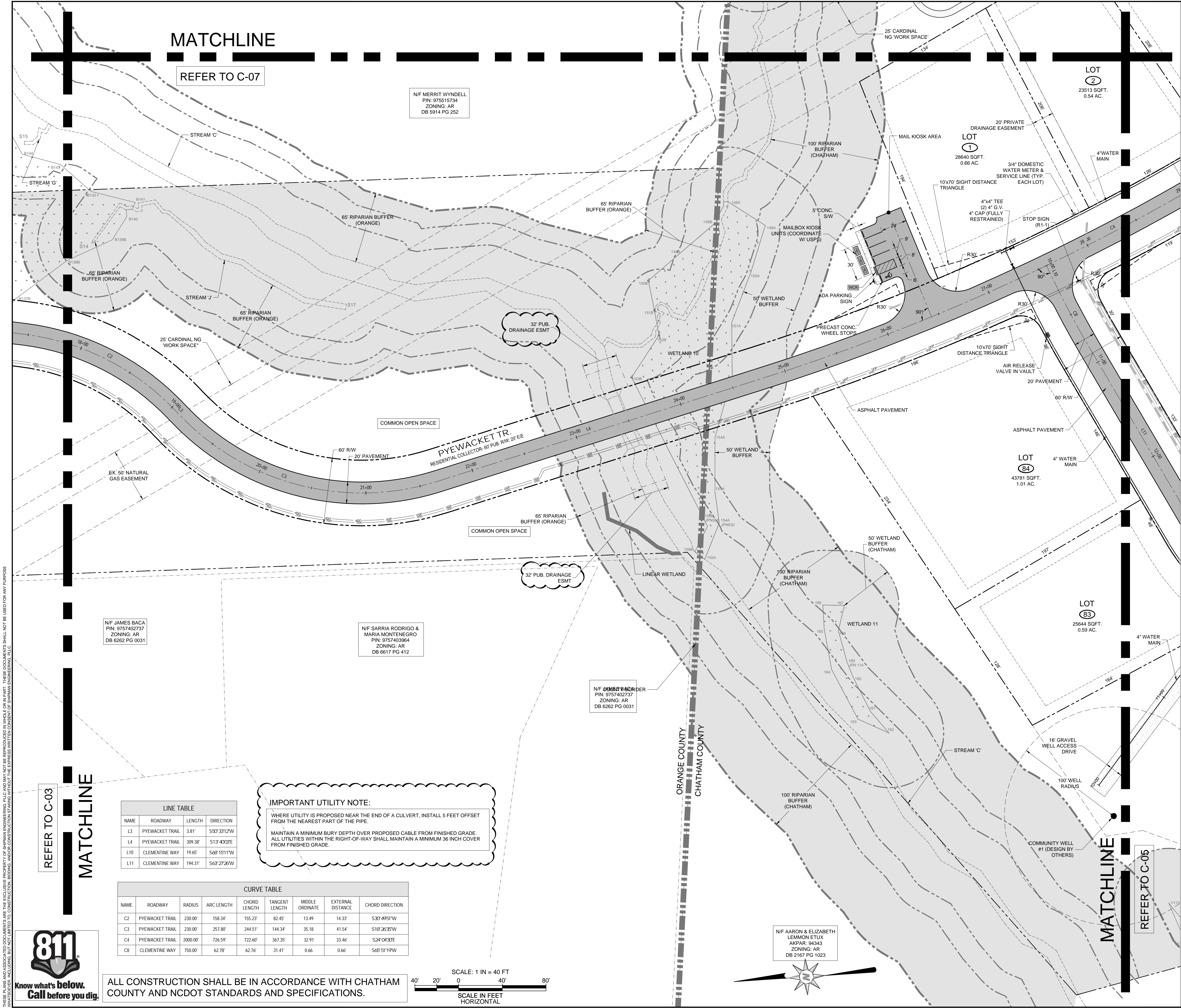
SYMBOL	DATE	REVISIONS
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2	12/16/22	PER NCDOT COMMENT
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**SHIPMAN ENGINEERING**  
SHIPMAN ENGINEERING, PLLC  
NCEBLS LICENSE P-1963  
137 MIDDLEGREEN PLACE  
HOLLY SPRINGS, NC 27540  
919.900.0006

DESIGNED BY: WZS  
DRAWN BY: WZS  
CHECKED BY: WZS  
DRAWING DATE: 06/13/22  
SE PROJECT #: 2022-014

**PYEWACKET SUBDIVISION-PHASE 1**  
BALDWIN TOWNSHIP CHATHAM COUNTY, NORTH CAROLINA  
**PARTIAL SUBDIVISION LAYOUT PLAN II**

SHEET NUMBER: **C-04**



**MATCHLINE**

REFER TO C-07

N/F MERRIT WYNDELL  
PIN: 975515734  
ZONING: AR  
DB 5914 PG 252

LOT 2  
23513 SQFT.  
0.54 AC.

LOT 1  
28640 SQFT.  
0.66 AC.

LOT 84  
43781 SQFT.  
1.01 AC.

LOT 83  
25644 SQFT.  
0.59 AC.

N/F JAMES BACA  
PIN: 9757402737  
ZONING: AR  
DB 6262 PG 0031

N/F SARRIA RODRIGO & MARIA MONTENEGRO  
PIN: 9757403964  
ZONING: AR  
DB 6617 PG 412

N/F JAMES BACA  
PIN: 9757402737  
ZONING: AR  
DB 6262 PG 0031

N/F AARON & ELIZABETH LEMMON ETUX  
AKPAR: 94343  
ZONING: AR  
DB 2167 PG 1023

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**LINE TABLE**

NAME	ROADWAY	LENGTH	DIRECTION
L3	PYEWACKET TRAIL	3.81'	S50°33'12"W
L4	PYEWACKET TRAIL	309.38'	S13°40'03"E
L10	CLEMENTINE WAY	19.65'	S48°15'11"W
L11	CLEMENTINE WAY	194.31'	S63°27'25"W

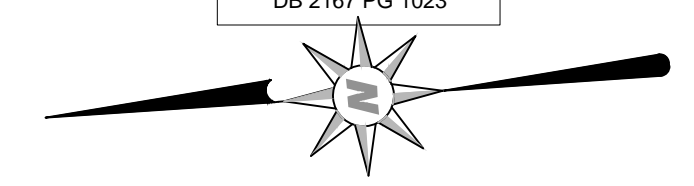
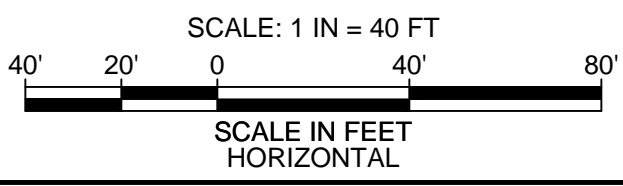
**CURVE TABLE**

NAME	ROADWAY	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT LENGTH	MIDDLE ORDINATE	EXTERNAL DISTANCE	CHORD DIRECTION
C2	PYEWACKET TRAIL	2300.00'	158.34'	155.23'	82.45'	13.49'	14.33'	S30°49'51"W
C3	PYEWACKET TRAIL	2300.00'	257.80'	244.51'	144.34'	35.18'	41.54'	S18°26'35"W
C4	PYEWACKET TRAIL	2000.00'	726.59'	722.60'	367.35'	32.91'	33.46'	S24°04'30"E
C8	CLEMENTINE WAY	750.00'	62.78'	62.76'	31.41'	0.66'	0.66'	S65°51'19"W

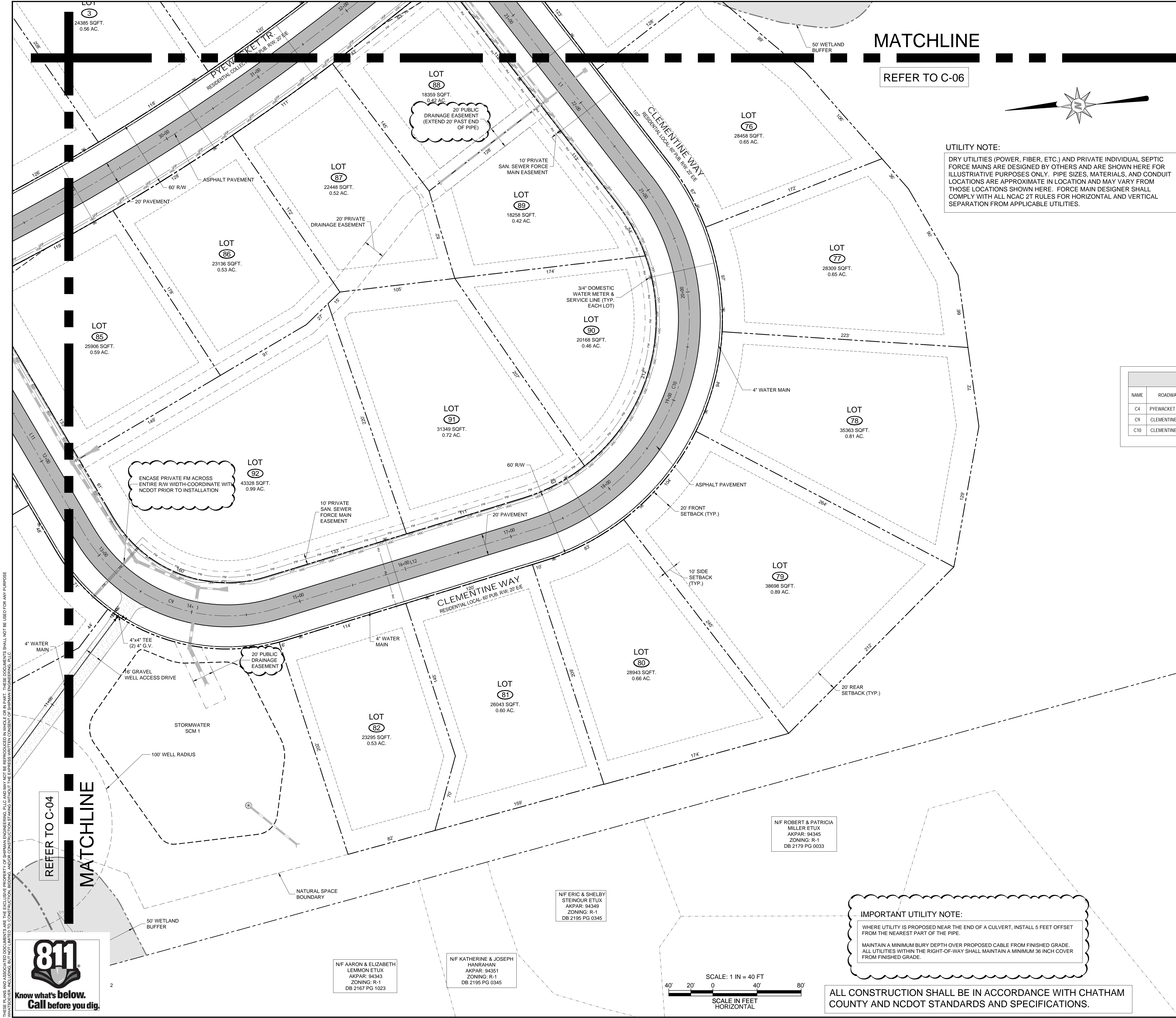
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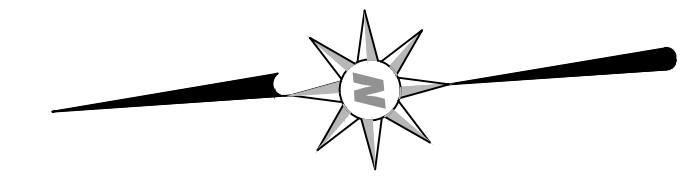






MATCHLINE

REFER TO C-06



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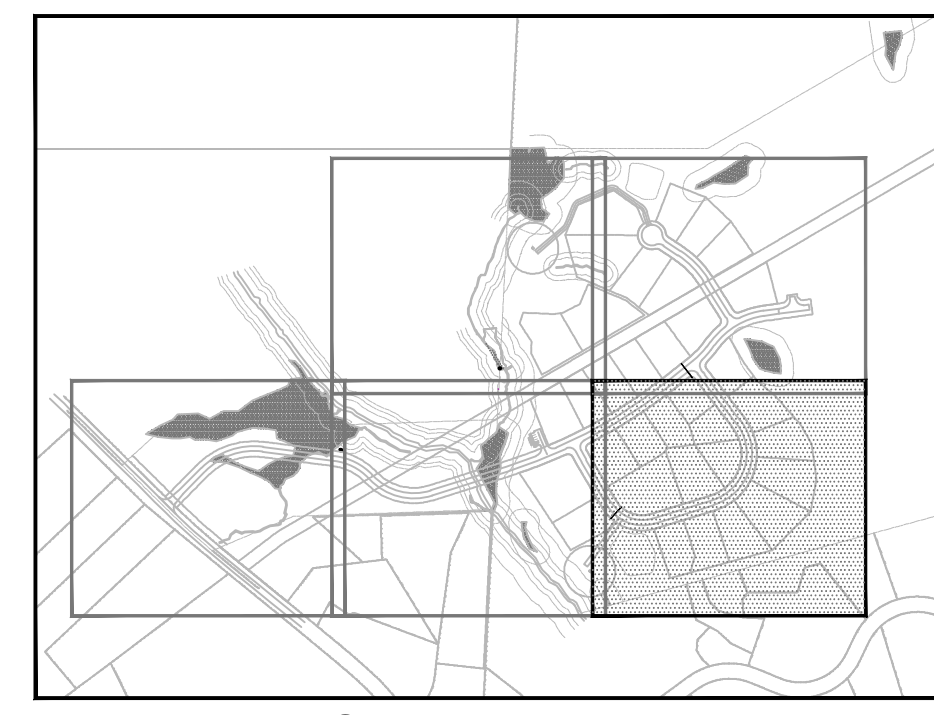
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**LINE TABLE**

NAME	ROADWAY	LENGTH	DIRECTION
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C10	CLEMENTINE WAY	200.00'	386.29'	328.98'	289.17'	86.23'	151.60'	S68°28'24"E



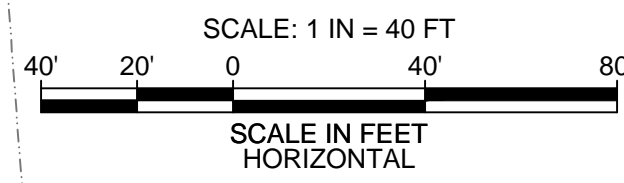
**SHEET INDEX**  
 SCALE: 1"=750'

**SITE & UTILITY LEGEND**

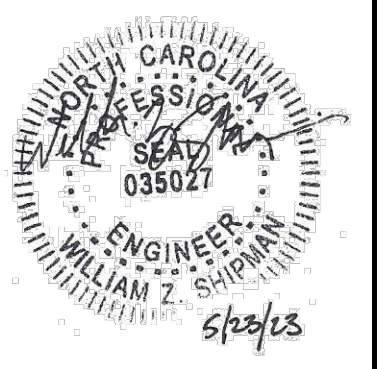
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**REVISIONS**

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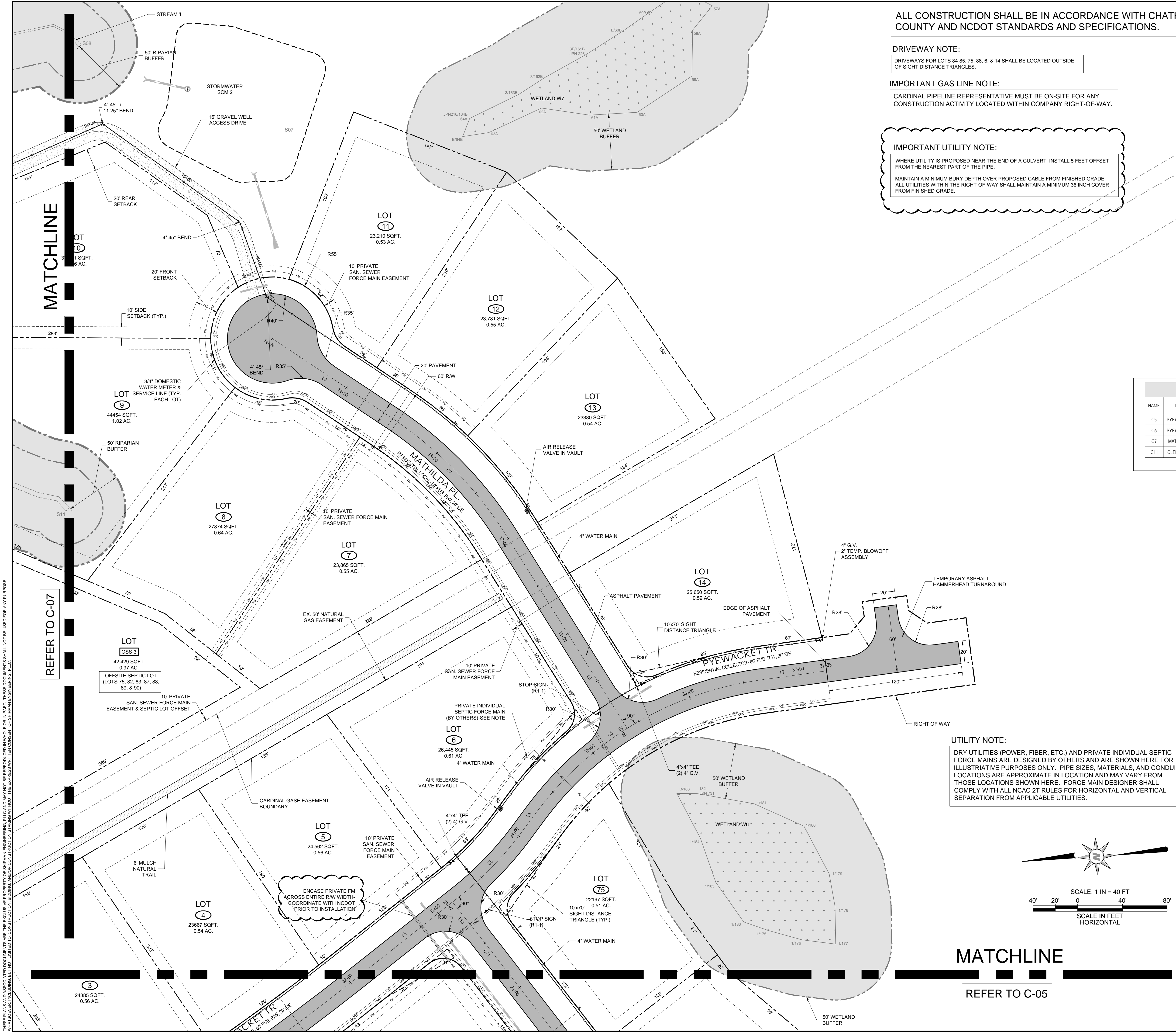
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 CHECKED BY: WZS  
 DRAWING DATE: 06/13/22  
 SE PROJECT #: 2022-014

**PYEWACKET SUBDIVISION-PHASE 1**  
 BALDWIN TOWNSHIP CHATHAM COUNTY, NORTH CAROLINA  
**PARTIAL SUBDIVISION LAYOUT PLAN III**

SHEET NUMBER:  
**C-05**





ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHATHAM COUNTY AND NCDOT STANDARDS AND SPECIFICATIONS.

**DRIVEWAY NOTE:**  
DRIVEWAYS FOR LOTS 84-85, 75, 88, 6, & 14 SHALL BE LOCATED OUTSIDE OF SIGHT DISTANCE TRIANGLES.

**IMPORTANT GAS LINE NOTE:**  
CARDINAL PIPELINE REPRESENTATIVE MUST BE ON-SITE FOR ANY CONSTRUCTION ACTIVITY LOCATED WITHIN COMPANY RIGHT-OF-WAY.

**IMPORTANT UTILITY NOTE:**  
WHERE UTILITY IS PROPOSED NEAR THE END OF A CULVERT, INSTALL 5 FEET OFFSET FROM THE NEAREST PART OF THE PIPE.  
MAINTAIN A MINIMUM BURY DEPTH OVER PROPOSED CABLE FROM FINISHED GRADE. ALL UTILITIES WITHIN THE RIGHT-OF-WAY SHALL MAINTAIN A MINIMUM 36 INCH COVER FROM FINISHED GRADE.

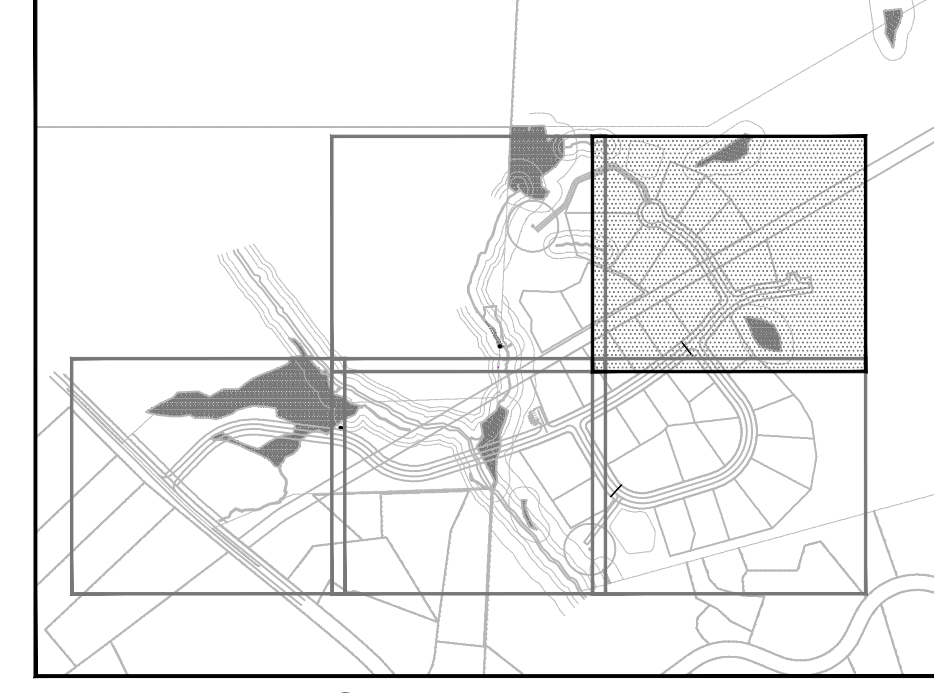
- GENERAL NOTES:**
- EXISTING CONDITIONS, BOUNDARY, AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY BY S.D. PUCKETT AND ASSOCIATES, INC. DATED FEBRUARY 7, 2022. THE DATA SHOWN ON THIS DRAWING IS NOT THE RESULT OF A FIELD SURVEY BY SHIPMAN ENGINEERING, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, CHATHAM COUNTY GIS DATA, ORANGE COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
  - REFER TO EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE BEFORE PERFORMING ANY CLEARING, GRUBBING, OR DEMOLITION OPERATIONS.
  - NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
  - AREAS COMPUTED BY THE COORDINATE METHOD.
  - THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
  - ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
  - A PORTION OF THIS PROPERTY IS LOCATED IN ZONE A-SPECIAL FLOOD HAZARD AREA WITHOUT BASE FLOOD ELEVATION AS SHOWN ON FEMA FIRM PANEL 3710974600K DATED NOVEMBER 17, 2017. THE FLOOD HAZARD AREAS IS LOCATED OUTSIDE OF THE PHASE 1 PROJECT AREA.
  - REFER TO SEALED TOPOGRAPHICAL SURVEY BY S.D. PUCKETT AND ASSOCIATES, INC. FOR HORIZONTAL AND VERTICAL DATUM INFORMATION AND OTHER SURVEY CONTROL DATA.
  - WETLANDS, SURFACE WATERS, STREAMS, AND OTHER ENVIRONMENTALLY SENSITIVE AREAS PROVIDED BY THE OWNER.
  - CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION CAN BEGIN. ALL APPLICABLE FEES SHALL ALSO BE PAID PRIOR TO CONSTRUCTION DRAWING APPROVAL.
  - TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED RIPARIAN BUFFERS, TREE PRESERVATION AREAS, AND PERIMETER BUFFER AREAS.

**LINE TABLE**

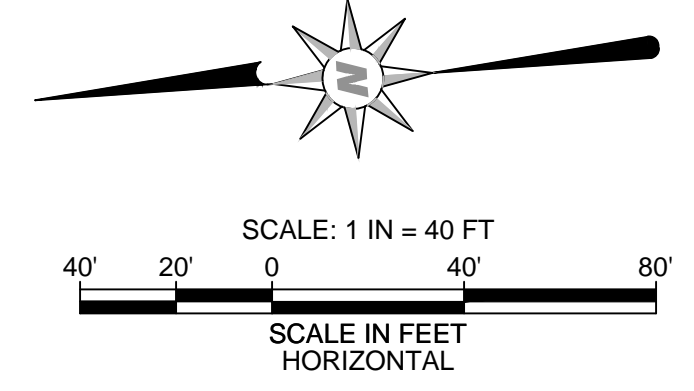
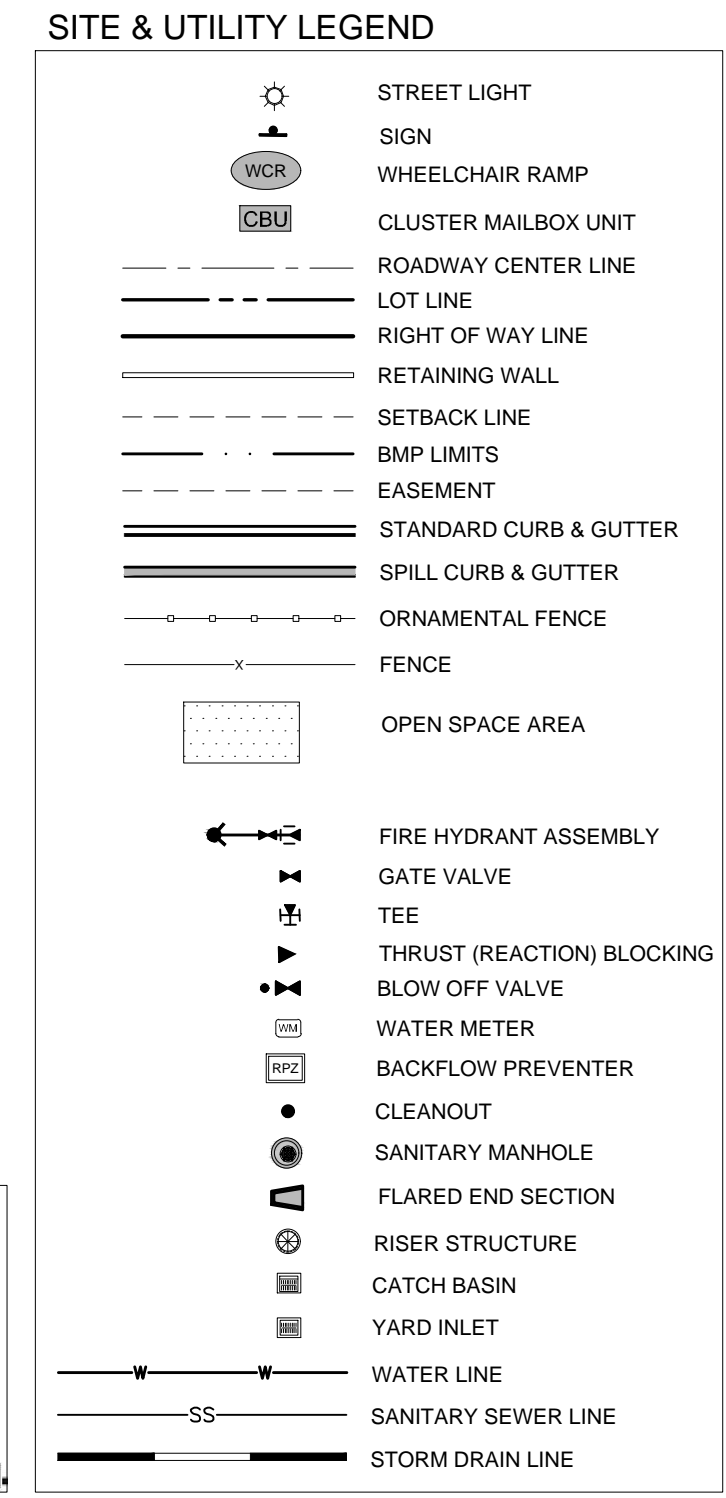
NAME	ROADWAY	LENGTH	DIRECTION
L5	PYEWACKET TRAIL	122.04'	S34°28'58"E
L6	PYEWACKET TRAIL	22.79'	S49°29'36"E
L7	PYEWACKET TRAIL	60.17'	S3°56'01"E
L8	MATHILDA PLACE	202.73'	N61°49'40"E
L9	MATHILDA PLACE	128.18'	N37°31'13"E
L13	CLEMENTINE WAY	230.71'	N56°11'44"E
L14	CLEMENTINE WAY	49.88'	N53°31'02"E

**CURVE TABLE**

NAME	ROADWAY	RADIUS	ARC LENGTH	CHORD LENGTH	TANGENT LENGTH	MIDDLE ORDINATE	EXTERNAL DISTANCE	CHORD DIRECTION
C5	PYEWACKET TRAIL	300.00'	78.59'	78.37'	39.52'	2.57'	2.59'	S41°59'17"E
C6	PYEWACKET TRAIL	300.00'	238.55'	232.31'	125.98'	23.40'	25.38'	S26°42'49"E
C7	MATHILDA PLACE	350.00'	148.49'	147.37'	75.38'	7.84'	8.02'	N49°40'26"E
C11	CLEMENTINE WAY	750.00'	8.88'	8.88'	4.44'	0.01'	0.01'	N53°31'02"E

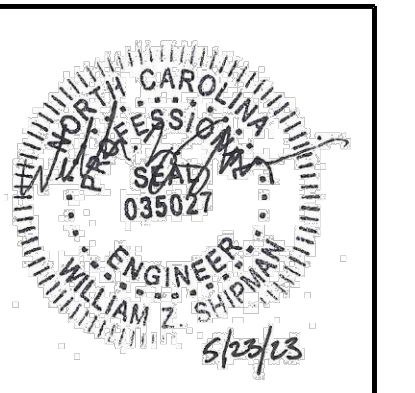


**SHEET INDEX**  
SCALE: 1"=750'



**UTILITY NOTE:**  
DRY UTILITIES (POWER, FIBER, ETC.) AND PRIVATE INDIVIDUAL SEPTIC FORCE MAINS ARE DESIGNED BY OTHERS AND ARE SHOWN HERE FOR ILLUSTRATIVE PURPOSES ONLY. PIPE SIZES, MATERIALS, AND CONDUIT LOCATIONS ARE APPROXIMATE IN LOCATION AND MAY VARY FROM THOSE LOCATIONS SHOWN HERE. FORCE MAIN DESIGNER SHALL COMPLY WITH ALL NCAC 2T RULES FOR HORIZONTAL AND VERTICAL SEPARATION FROM APPLICABLE UTILITIES.

THESE PLANS AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF SHIPMAN ENGINEERING, PLLC AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART. THESE DOCUMENTS SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY INTENDED BY SHIPMAN ENGINEERING, PLLC. THE USER ASSUMES ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THESE DOCUMENTS.



**REVISIONS**

SYMBOL	DATE	REVISIONS
1	11/11/22	PER CHATHAM COUNTY COMMENT
2	12/16/22	PER NCDOT COMMENT
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6	05/02/23	PER NCDOT COMMENT

**SHIPMAN ENGINEERING**  
SHIPMAN ENGINEERING, PLLC  
NCBELS LICENSE P-1963  
137 MIDDLEGREEN PLACE  
HOLLY SPRINGS, NC 27540  
919.900.0006

DESIGNED BY: WZS  
DRAWN BY: WZS  
CHECKED BY: WZS  
DRAWING DATE: 06/13/22  
SE PROJECT #: 2022-014

**PYEWACKET SUBDIVISION-PHASE 1**  
BALDWIN TOWNSHIP CHATHAM COUNTY, NORTH CAROLINA  
**PARTIAL SUBDIVISION LAYOUT PLAN IV**  
SHEET NUMBER: **C-06**





ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHATHAM COUNTY AND NCDOT STANDARDS AND SPECIFICATIONS.

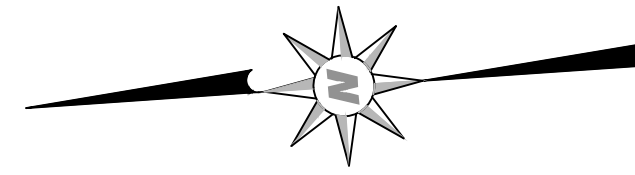
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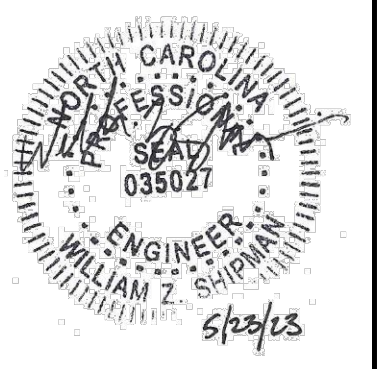
**IMPORTANT GAS LINE NOTE:**

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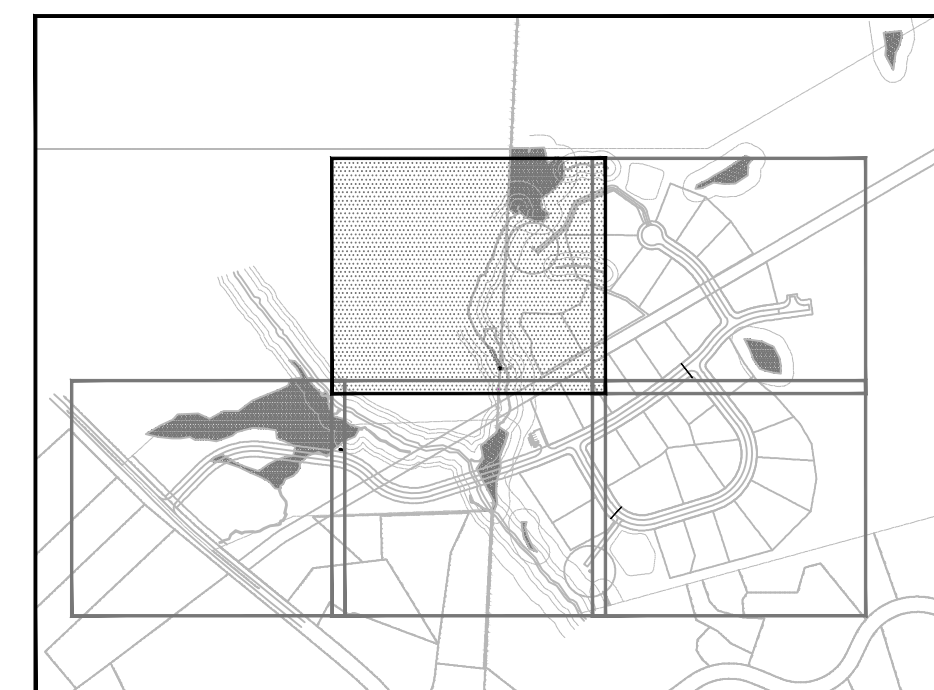
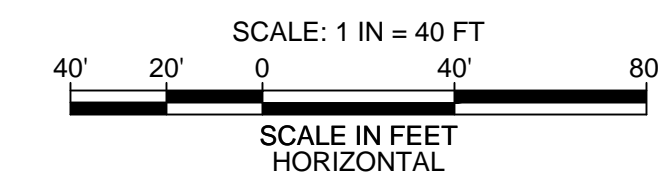


**GENERAL NOTES:**

- EXISTING CONDITIONS, BOUNDARY, AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY S.D. PUCKETT AND ASSOCIATES, INC. DATED FEBRUARY 7, 2022. THE DATA SHOWN ON THIS DRAWING IS NOT THE RESULT OF A FIELD SURVEY BY SHIPMAN ENGINEERING, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, CHATHAM COUNTY GIS DATA, ORANGE COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
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5	04/24/23	PER NCDOT COMMENT
6	05/02/23	PER NCDOT COMMENT



SHEET INDEX  
SCALE: 1"=750'

**SHIPMAN ENGINEERING**  
SHIPMAN ENGINEERING, PLLC  
NCBELS LICENSE P-1963  
137 MIDDLEGREEN PLACE  
HOLLY SPRINGS, NC 27540  
919.900.0006

DESIGNED BY: WZS  
DRAWN BY: WZS  
CHECKED BY: WZS  
DRAWING DATE: 06/13/22  
SE PROJECT #: 2022-014

**SITE & UTILITY LEGEND**

- STREET LIGHT
- SIGN
- WHEELCHAIR RAMP
- CLUSTER MAILBOX UNIT
- ROADWAY CENTER LINE
- LOT LINE
- RIGHT OF WAY LINE
- RETAINING WALL
- SETBACK LINE
- BMP LIMITS
- EASEMENT
- STANDARD CURB & GUTTER
- SPILL CURB & GUTTER
- ORNAMENTAL FENCE
- FENCE
- OPEN SPACE AREA
- FIRE HYDRANT ASSEMBLY
- GATE VALVE
- TEE
- THRUST (REACTION) BLOCKING
- BLOW OFF VALVE
- WATER METER
- BACKFLOW PREVENTER
- CLEANOUT
- SANITARY MANHOLE
- FLARED END SECTION
- RISER STRUCTURE
- CATCH BASIN
- YARD INLET
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE

**PYEWACKET SUBDIVISION-PHASE 1**  
BALDWIN TOWNSHIP CHATHAM COUNTY, NORTH CAROLINA  
**PARTIAL SUBDIVISION LAYOUT PLAN V**

SHEET NUMBER:  
**C-07**

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N/F MERRIT WYNDELL  
PIN: 975510734  
ZONING: AR  
DB 5914 PG 252

MATCHLINE

REFER TO C-04

REFER TO C-06

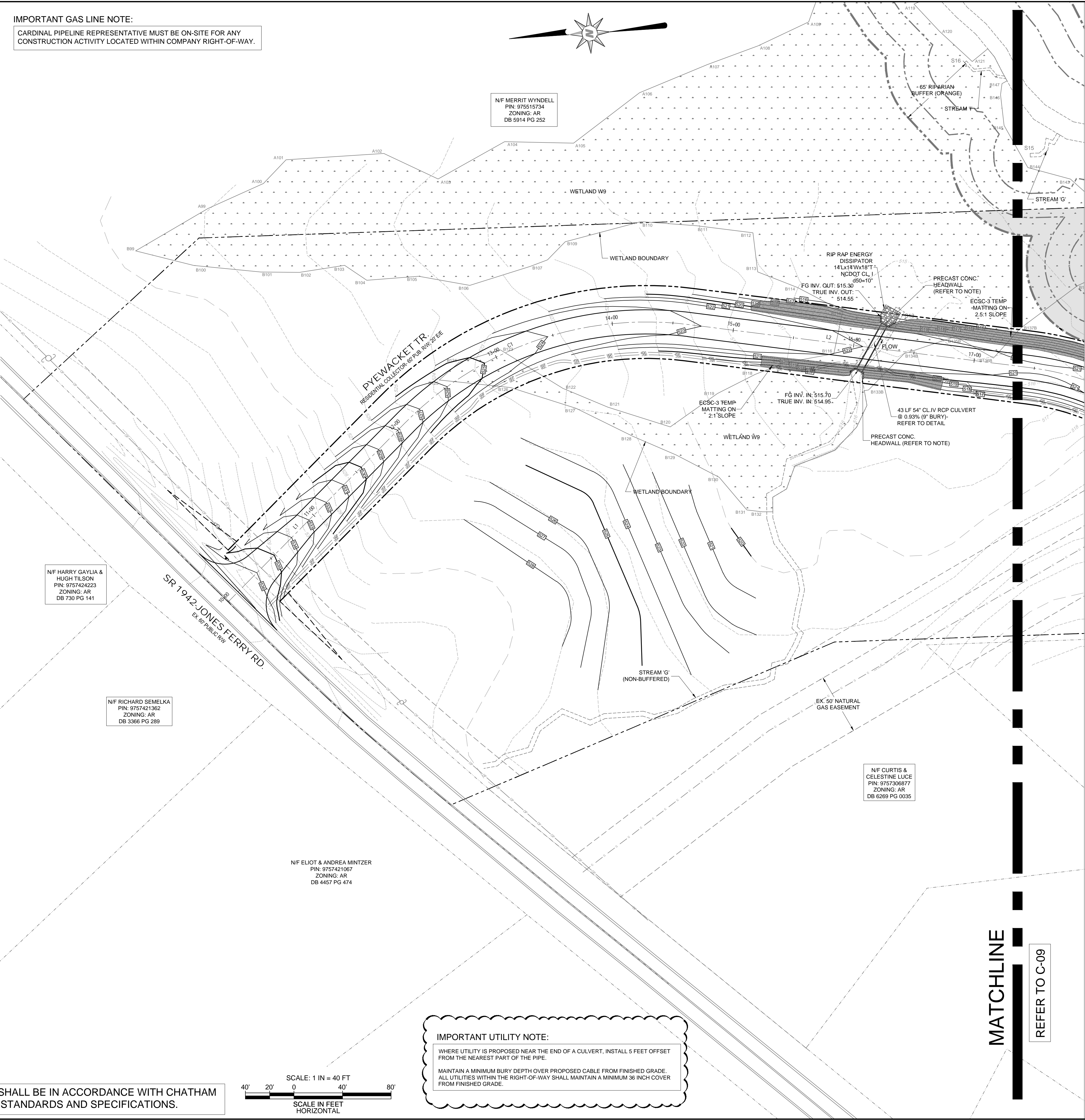
MATCHLINE

811  
Know what's below.  
Call before you dig.



STORM DRAINAGE TABLE				
INLET#	TYPE	RIM ELEV (EOP)	INV IN (FROM-SIZE)	INV OUT (TO-SIZE)
101	DI	526.87	524.12 (109-18")	520.10 (102-24")
102	DI	525.60	518.25 (101-24") 523.00 (108-24")	518.15 (107-30")
103	DI	523.30	516.37 (107-30") 519.67 (106-18")	516.27 (104-30")
104	DI	515.79	512.06 (103-30")	511.96 (105-36")
105	HW	513.25	510.50 (104-36")	
106	FES	522.79		521.20 (103-18")
107	DI	524.00	517.08 (102-30")	516.98 (103-30")
108	FES	526.59		524.50 (102-24")
109	IN	528.99		527.40 (101-18")
200	IN	570.80		568.80 (-18")
201	OUT	569.11		
202	IN	566.61		564.40 (204-18")
203	DI	561.75		557.00 (204-15")
204	DI	560.20	555.61 (203-15") 555.61 (202-18")	555.51 (205-18")
205	HW	551.21	549.00 (204-18")	
300	IN	567.44		565.50 (303-15")
301	FES	567.74		564.85 (302-18")
302	HW	560.21	557.00 (301-18")	
303	OUT	567.07	565.13 (300-15")	
400	IN	519.20		517.27 (401-15")
401	OUT	518.24	516.30 (400-15")	

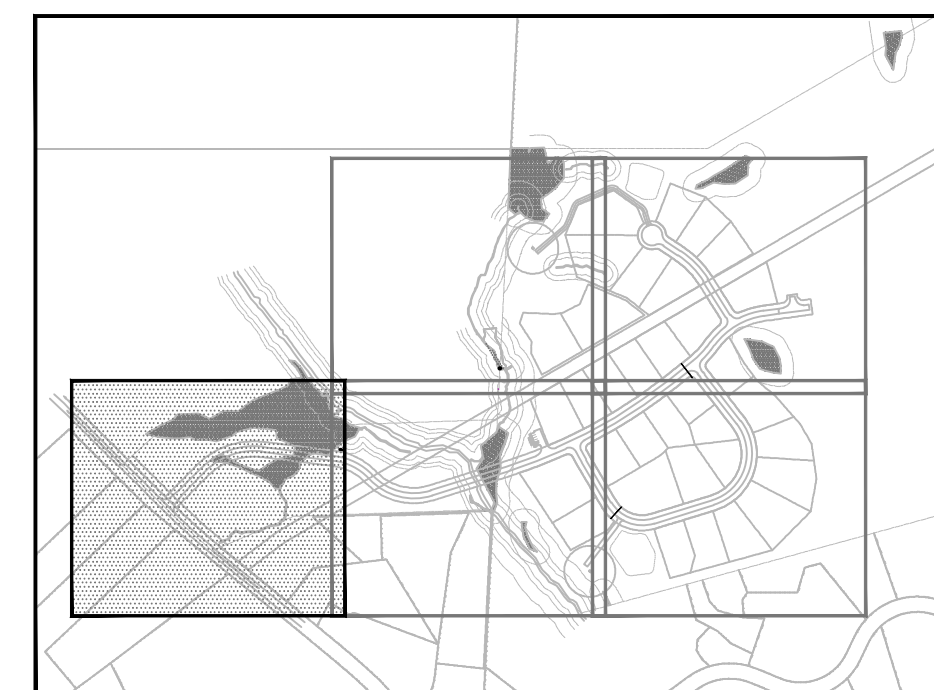
**IMPORTANT GAS LINE NOTE:**  
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- GENERAL NOTES:**
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  - SUPPLEMENTAL TOPOGRAPHICAL AND EXISTING CONDITION DATA PROVIDED BY CHATHAM COUNTY GIS DATA, AERIAL PHOTOGRAPHY, AND OTHER PERTINENT DATA SOURCES.
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  - THE DEVELOPER IS SOLELY RESPONSIBLE FOR THE COST AND COORDINATION WITH DUKE ENERGY FOR THE RELOCATION AND/OR REMOVAL OF ANY ON-SITE OVERHEAD POWER POLES AND LINES.
  - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND UTILITIES PRIOR TO COMMENCING WORK ON THE SITE.
  - WETLANDS, SURFACE WATERS, AND JURISDICTIONAL STREAMS DELINEATED BY OTHERS COORDINATE WITH CHATHAM COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY (DREW BLAKE) AT 919.545.8394 FOR ENVIRONMENTAL IMPACT PERMITTING.
  - DELINEATED WETLAND AND RIPARIAN BUFFER AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE US ARMY CORPS OF ENGINEERS, CHATHAM COUNTY, AND NCDQE DIVISION OF WATER QUALITY.
  - TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED RIPARIAN BUFFERS AND PERIMETER BUFFER AREAS.
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  - MAXIMUM SIDEWALK CROSS SLOPE IS 2% (1:48). ACCESSIBLE RAMPS SHALL COMPLY WITH ALL APPLICABLE ADA REGULATIONS FOR SLOPES.
  - THE MINIMUM GRADE FOR DRAINAGE SWALES AND DITCHES SHALL BE 0.50% UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE FOR ALL GRADED AREAS.
  - STAIRS/STEPS WITH LESS THAN A 12" ELEVATION CHANGE SHALL COMPLY WITH NCBC 1003.5.

**IMPORTANT NOTE:**  
ALL DRAINAGE SYSTEMS AND EASEMENTS OUTSIDE OF THE RIGHT-OF-WAY WILL NOT BE THE RESPONSIBILITY OF THE NCDOT FOR MAINTENANCE PURPOSES. DRAINAGE EASEMENTS LOCATED OUTSIDE OF THE RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE HOA TO MAINTAIN.

**DRIVEWAY PIPE NOTE:**  
ESTIMATED DRIVEWAY PIPE SIZES INDICATED ON THIS PLAN IS AN ESTIMATE ONLY AND SHOULD BE CONSIDERED APPROXIMATE IN NATURE. FINAL DRIVEWAY PIPE SIZES SHALL BE DETERMINED BY INDIVIDUAL HOME BUILDERS SHALL BE BASED ON EXACT PIPE LOCATIONS AND APPROVED BY DOT PRIOR TO INSTALLATION.



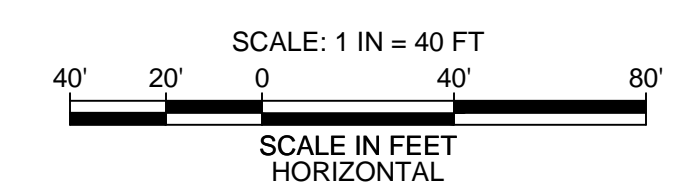
**SHEET INDEX**  
SCALE: 1"=750'

**SITE LEGEND**

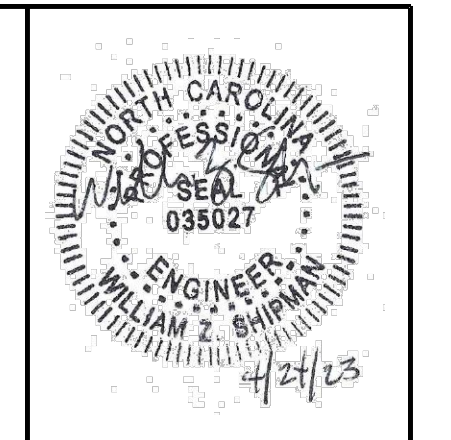
	STREET LIGHT
	SIGN
	WHEELCHAIR RAMP
	CLUSTER MAILBOX UNIT
	ROADWAY CENTER LINE
	LOT LINE
	RIGHT OF WAY LINE
	RETAINING WALL
	SETBACK LINE
	BMP LIMITS
	EASEMENT
	STANDARD CURB & GUTTER
	SPILL CURB & GUTTER
	ORNAMENTAL FENCE
	FENCE
	OPEN SPACE AREA
	4.0% FLOW DIRECTION
	FG 387.46 SPOT ELEVATION
	400 MAJOR CONTOUR
	402 MINOR CONTOUR
	LIMITS OF DISTURBANCE
	RIP-RAP OUTLET PROTEC

**MATCHLINE**  
REFER TO C-09

**IMPORTANT UTILITY NOTE:**  
WHERE UTILITY IS PROPOSED NEAR THE END OF A CULVERT, INSTALL 5 FEET OFFSET FROM THE NEAREST PART OF THE PIPE.  
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**SHIPMAN ENGINEERING**  
137 MIDDLEGREEN PLACE  
HOLLY SPRINGS, NC 27540  
919.900.0006  
SHIPMAN ENGINEERING, PLLC  
NCBELS LICENSE P-1963

DESIGNED BY: WZS  
DRAWN BY: WZS  
CHECKED BY: WZS  
DRAWING DATE: 06/13/22  
SE PROJECT #: 2022-014

**PYEWACKET SUBDIVISION-PHASE 1**  
BALDWIN TOWNSHIP CHATHAM COUNTY, NORTH CAROLINA  
**PARTIAL GRADING & DRAINAGE PLAN I**

SHEET NUMBER:  
**C-08**

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MATCHLINE

REFER TO C-12

N/F MERRIT WYNDELL  
PIN: 975515734  
ZONING: AR  
DB 5914 PG 252

LOT 2  
23913 SQFT.  
0.54 AC.

LOT 1  
28640 SQFT.  
0.66 AC.

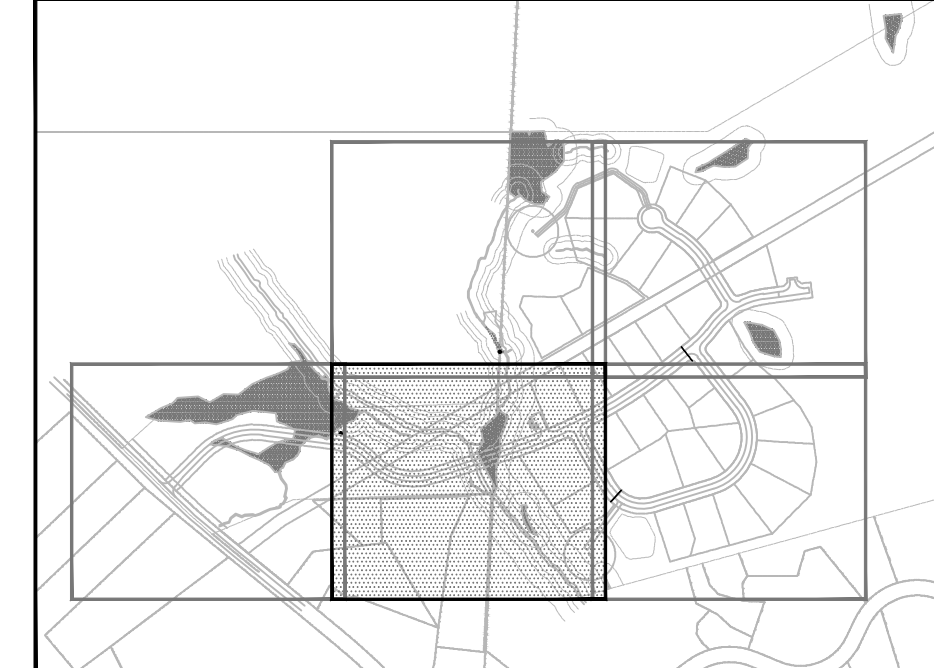
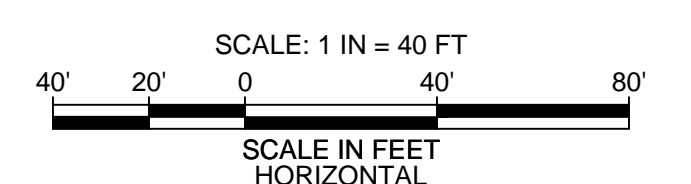
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1.01 AC.

LOT 83  
25644 SQFT.  
0.59 AC.

- GENERAL NOTES:**
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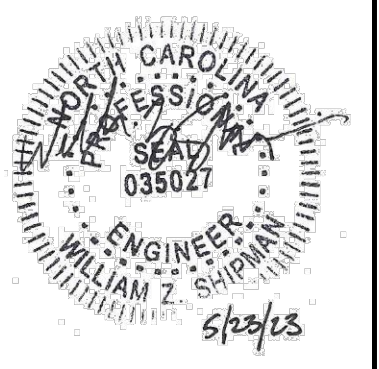
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SHEET INDEX  
SCALE: 1"=750'

**SITE LEGEND**

	STREET LIGHT
	SIGN
	WHEELCHAIR RAMP
	CLUSTER MAILBOX UNIT
	LOT LINE
	RIGHT OF WAY LINE
	RETAINING WALL
	SETBACK LINE
	BMP LIMITS
	EASEMENT
	STANDARD CURB & GUTTER
	SPILL CURB & GUTTER
	ORNAMENTAL FENCE
	FENCE
	OPEN SPACE AREA
	4.0% FLOW DIRECTION
	SPOT ELEVATION
	400 MAJOR CONTOUR
	402 MINOR CONTOUR
	LIMITS OF DISTURBANCE
	RIP-RAP OUTLET PROTEC



SYMBOL	DATE	REVISIONS
1	11/11/22	PER CHATHAM COUNTY COMMENT
2	12/16/22	PER NCDOT COMMENT
3	01/09/23	PER PWIS COMMENT
4	03/16/23	PER CHATHAM COUNTY/CARDINAL COMMENT
5	04/24/23	PER NCDOT COMMENT
6	05/02/23	PER NCDOT COMMENT

**SHIPMAN ENGINEERING**  
137 MIDDLEGREEN PLACE  
HOLLY SPRINGS, NC 27540  
919.900.0006  
SHIPMAN ENGINEERING, PLLC  
NCBELS LICENSE P-1963

DESIGNED BY: WZS  
DRAWN BY: WZS  
CHECKED BY: WZS  
DRAWING DATE: 06/13/22  
SE PROJECT #: 2022-014

**PIEWACKET SUBDIVISION-PHASE 1**  
BALDWIN TOWNSHIP CHATHAM COUNTY, NORTH CAROLINA  
**PARTIAL GRADING & DRAINAGE PLAN II**

SHEET NUMBER:  
**C-09**

THESE PLANS AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF SHIPMAN ENGINEERING, PLLC AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART. THESE DOCUMENTS SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY INTENDED BY SHIPMAN ENGINEERING, PLLC. THE USER ASSUMES ALL LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE DOCUMENTS.

REFER TO C-08  
MATCHLINE

MATCHLINE  
REFER TO C-10

N/F JAMES BACA  
PIN: 9757402737  
ZONING: AR  
DB 6262 PG 0031

N/F SARRIA RODRIGO & MARIA MONTENEGRO  
PIN: 9757402737  
ZONING: AR  
DB 6617 PG 412

N/F JAMES BACA  
PIN: 9757402737  
ZONING: AR  
DB 6262 PG 0031

N/F AARON & ELIZABETH LEMMON ETUX  
AKPAR: 94343  
ZONING: AR  
DB 2167 PG 1023

**STORM DRAINAGE TABLE**

INLET#	TYPE	RIM ELEV (EOP)	INV IN (FROM-SIZE)	INV OUT (TO-SIZE)
101	DI	526.87	524.12 (109-18")	520.10 (102-24")
102	DI	525.60	518.25 (101-24") 523.00 (108-24")	518.15 (107-30")
103	DI	523.30	516.37 (107-30") 519.67 (106-18")	516.27 (104-30")
104	DI	515.79	512.06 (103-30")	511.96 (105-36")
105	HW	513.25	510.50 (104-36")	
106	FES	522.79		521.20 (103-18")
107	DI	524.00	517.08 (102-30")	516.98 (103-30")
108	FES	526.59		524.50 (102-24")
109	IN	528.99		527.40 (101-18")
200	IN	570.80		568.80 (-18")
201	OUT	569.11		
202	IN	566.61		564.40 (204-18")
203	DI	561.75		557.00 (204-15")

**STORM DRAINAGE TABLE**

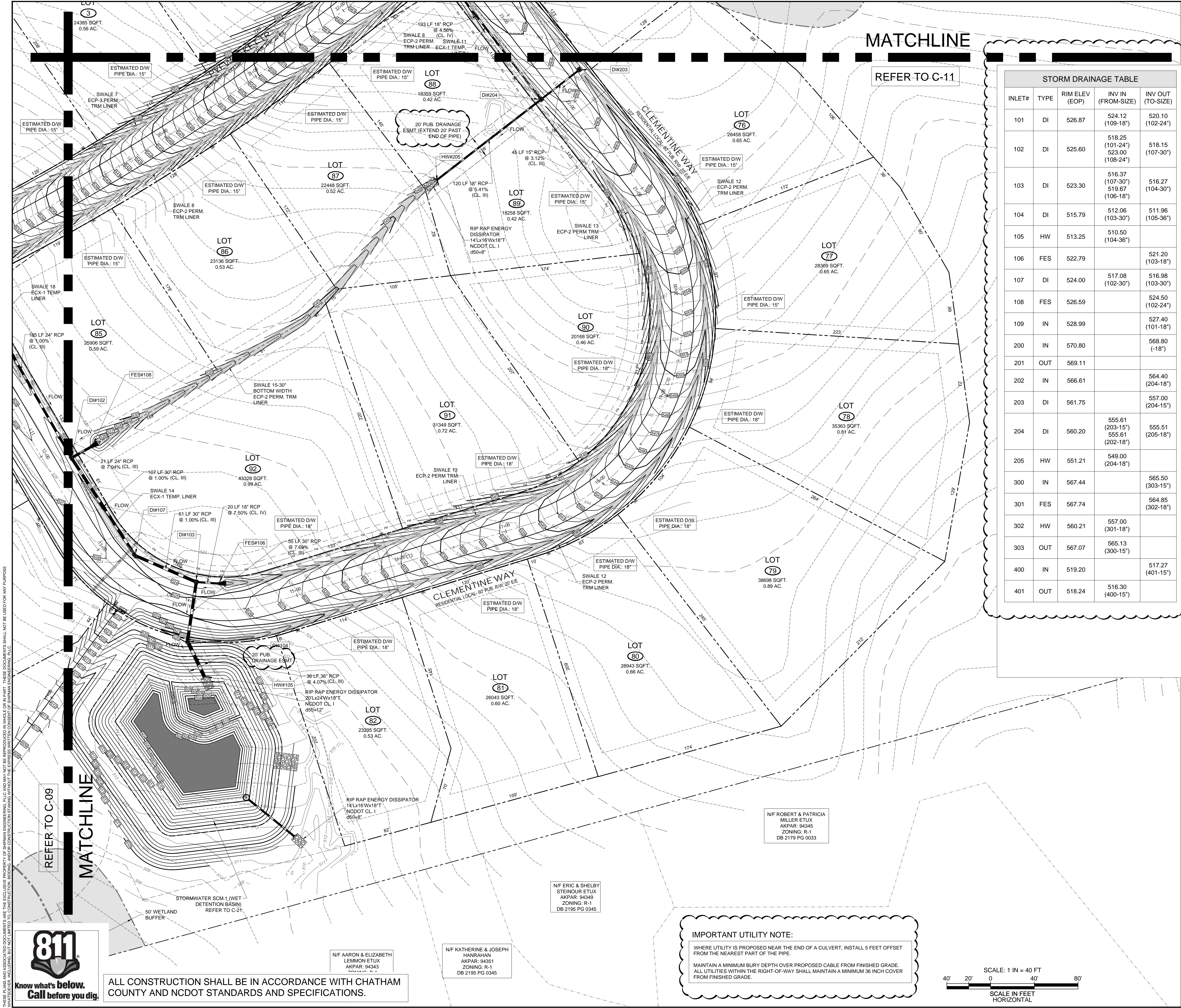
INLET#	TYPE	RIM ELEV (EOP)	INV IN (FROM-SIZE)	INV OUT (TO-SIZE)
204	DI	560.20	555.61 (203-15") 555.61 (202-18")	555.51 (205-18")
205	HW	551.21	549.00 (204-18")	
300	IN	567.44		565.50 (303-15")
301	FES	567.74		564.85 (302-18")
302	HW	560.21	557.00 (301-18")	
400	IN	519.20		517.27 (401-15")
401	OUT	518.24	516.30 (400-15")	

**IMPORTANT GAS LINE NOTE:**  
CARDINAL PIPELINE REPRESENTATIVE MUST BE ON-SITE FOR ANY CONSTRUCTION ACTIVITY LOCATED WITHIN COMPANY RIGHT-OF-WAY.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHATHAM COUNTY AND NCDOT STANDARDS AND SPECIFICATIONS.







MATCHLINE

REFER TO C-11

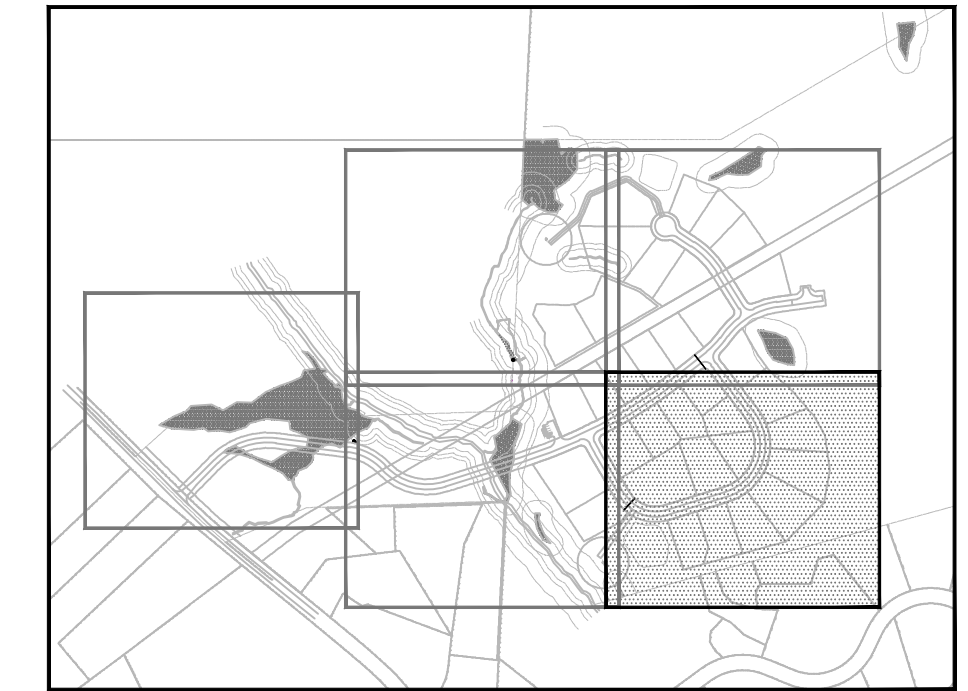
STORM DRAINAGE TABLE

INLET#	TYPE	RIM ELEV (EOP)	INV IN (FROM-SIZE)	INV OUT (TO-SIZE)
101	DI	526.87	524.12 (109-18")	520.10 (102-24")
102	DI	525.60	518.25 (101-24") 523.00 (108-24")	518.15 (107-30")
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107	DI	524.00	517.08 (103-30")	516.98 (103-30")
108	FES	526.59		524.50 (102-24")
109	IN	528.99		527.40 (101-18")
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302	HW	560.21	557.00 (301-18")	
303	OUT	567.07	565.13 (300-15")	
400	IN	519.20		517.27 (401-15")
401	OUT	518.24	516.30 (400-15")	

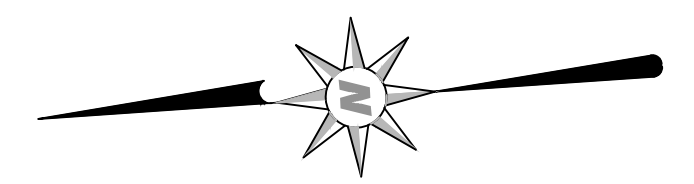
- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHATHAM COUNTY AND NCDOT STANDARD SPECIFICATIONS AND DETAILS.
  - BOUNDARY, TOPOGRAPHIC, AND UTILITY INFORMATION IS BASED ON A SURVEY PERFORMED BY SD PUCKETT AND ASSOCIATES. THE EXISTING CONDITION DATA SHOWN HERE HAS NOT BEEN VERIFIED BY SHIPMAN ENGINEERING, PLLC, AND SHOULD BE CONSIDERED APPROXIMATE IN NATURE. NO WARRANTY IS GIVEN OR IMPLIED AS TO THE ACCURACY OF THE DATA SHOWN ON THE SURVEY.
  - SUPPLEMENTAL TOPOGRAPHICAL AND EXISTING CONDITION DATA PROVIDED BY CHATHAM COUNTY GIS DATA, AERIAL PHOTOGRAPHY, AND OTHER PERTINENT DATA SOURCES.
  - CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION CAN BEGIN. ALL APPLICABLE FEES SHALL ALSO BE PAID PRIOR TO CONSTRUCTION DRAWING APPROVAL.
  - THE DEVELOPER IS SOLELY RESPONSIBLE FOR THE COST AND COORDINATION WITH DUKE ENERGY FOR THE RELOCATION AND/OR REMOVAL OF ANY ONSITE OVERHEAD POWER POLES AND LINES.
  - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND UTILITIES PRIOR TO COMMENCING WORK ON THE SITE.
  - WETLANDS, SURFACE WATERS, AND JURISDICTIONAL STREAMS DELINEATED BY OTHERS. COORDINATE WITH CHATHAM COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY (DREW BLAKE) AT 919.545.8394 FOR ENVIRONMENTAL IMPACT PERMITTING.
  - DELINEATED WETLAND AND RIPARIAN BUFFER AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE US ARMY CORPS OF ENGINEERS, CHATHAM COUNTY, AND NCDOT DIVISION OF WATER QUALITY.
  - TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED RIPARIAN BUFFERS AND PERIMETER BUFFER AREAS.
  - A PORTION OF THIS PROPERTY IS LOCATED IN ZONE A-SPECIAL FLOOD HAZARD AREA WITHOUT BASE FLOOD ELEVATION AS SHOWN ON FEMA FIRM PANEL 371074600K DATED NOVEMBER 7, 2017. THE FLOOD HAZARD AREA IS LOCATED OUT OF THE PHASE 1 PROJECT AREA.
  - MAXIMUM SIDEWALK CROSS SLOPE IS 2% (1:48). ACCESSIBLE RAMPS SHALL COMPLY WITH ALL APPLICABLE ADA REGULATIONS FOR SLOPES.
  - THE MINIMUM GRADE FOR DRAINAGE SWALES AND DITCHES SHALL BE 0.50% UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE FOR ALL GRADDED AREAS.
  - STAIRS/STEPS WITH LESS THAN A 12" ELEVATION CHANGE SHALL COMPLY WITH NCCB 1003.5.

**IMPORTANT NOTE:**  
ALL DRAINAGE SYSTEMS AND EASEMENTS OUTSIDE OF THE RIGHT-OF WAY WILL NOT BE THE RESPONSIBILITY OF THE NCDOT FOR MAINTENANCE PURPOSES. DRAINAGE EASEMENTS LOCATED OUTSIDE OF THE RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE HOA TO MAINTAIN.

**DRIVEWAY PIPE NOTE:**  
ESTIMATED DRIVEWAY PIPE SIZES INDICATED ON THIS PLAN IS AN ESTIMATE ONLY AND SHOULD BE CONSIDERED APPROXIMATE IN NATURE. FINAL DRIVEWAY PIPE SIZES SHALL BE DETERMINED BY INDIVIDUAL HOME BUILDERS SHALL BE BASED ON EXACT PIPE LOCATIONS AND APPROVED BY DOT PRIOR TO INSTALLATION.



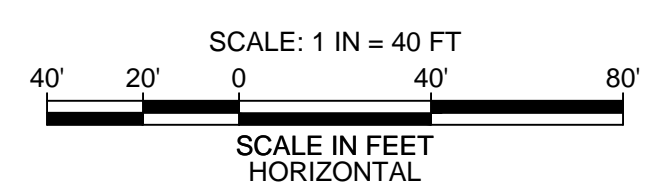
SHEET INDEX  
SCALE: 1"=750'



SITE LEGEND

- STREET LIGHT
- SIGN
- WCR WHEELCHAIR RAMP
- CBU CLUSTER MAILBOX UNIT
- ROADWAY CENTER LINE
- LOT LINE
- RIGHT OF WAY LINE
- RETAINING WALL
- SETBACK LINE
- BMP LIMITS
- EASEMENT
- STANDARD CURB & GUTTER
- SPILL CURB & GUTTER
- ORNAMENTAL FENCE
- FENCE
- OPEN SPACE AREA
- 4.0% FLOW DIRECTION
- SPOT ELEVATION
- 400 MAJOR CONTOUR
- 402 MINOR CONTOUR
- LIMITS OF DISTURBANCE
- RIP-RAP OUTLET PROTEC

**IMPORTANT UTILITY NOTE:**  
WHERE UTILITY IS PROPOSED NEAR THE END OF A CULVERT, INSTALL 5 FEET OFFSET FROM THE NEAREST PART OF THE PIPE.  
MAINTAIN A MINIMUM BURY DEPTH OVER PROPOSED CABLE FROM FINISHED GRADE. ALL UTILITIES WITHIN THE RIGHT-OF-WAY SHALL MAINTAIN A MINIMUM 36 INCH COVER FROM FINISHED GRADE.



THESE PLANS AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF SHIPMAN ENGINEERING, PLLC AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART. THESE DOCUMENTS SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY INTENDED BY SHIPMAN ENGINEERING, PLLC.



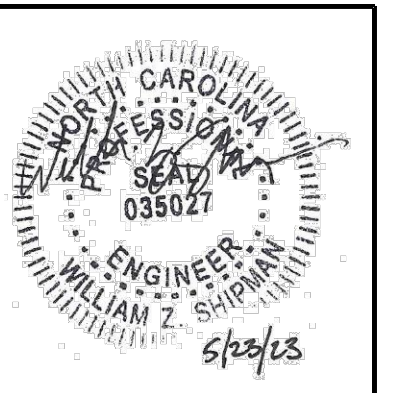
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHATHAM COUNTY AND NCDOT STANDARDS AND SPECIFICATIONS.

N/F AARON & ELIZABETH LEMMON ETUX  
AKPAR: 94343  
ZONING: R-1  
DB 2195 PG 0343

N/F KATHERINE & JOSEPH HANRAHAN  
AKPAR: 94351  
ZONING: R-1  
DB 2195 PG 0345

N/F ERIC & SHELBY STEINOUR ETUX  
AKPAR: 94349  
ZONING: R-1  
DB 2195 PG 0345

N/F ROBERT & PATRICIA MILLER ETUX  
AKPAR: 94345  
ZONING: R-1  
DB 2179 PG 0033



SYMBOL	DATE	REVISIONS
1	11/1/22	PER CHATHAM COUNTY COMMENT
2	12/16/22	PER NCDOT COMMENT
3	01/09/23	PER PWIS COMMENT
4	03/16/23	PER CHATHAM COUNTY/CARDINAL COMMENT
5	04/24/23	PER NCDOT COMMENT
6	05/02/23	PER NCDOT COMMENT

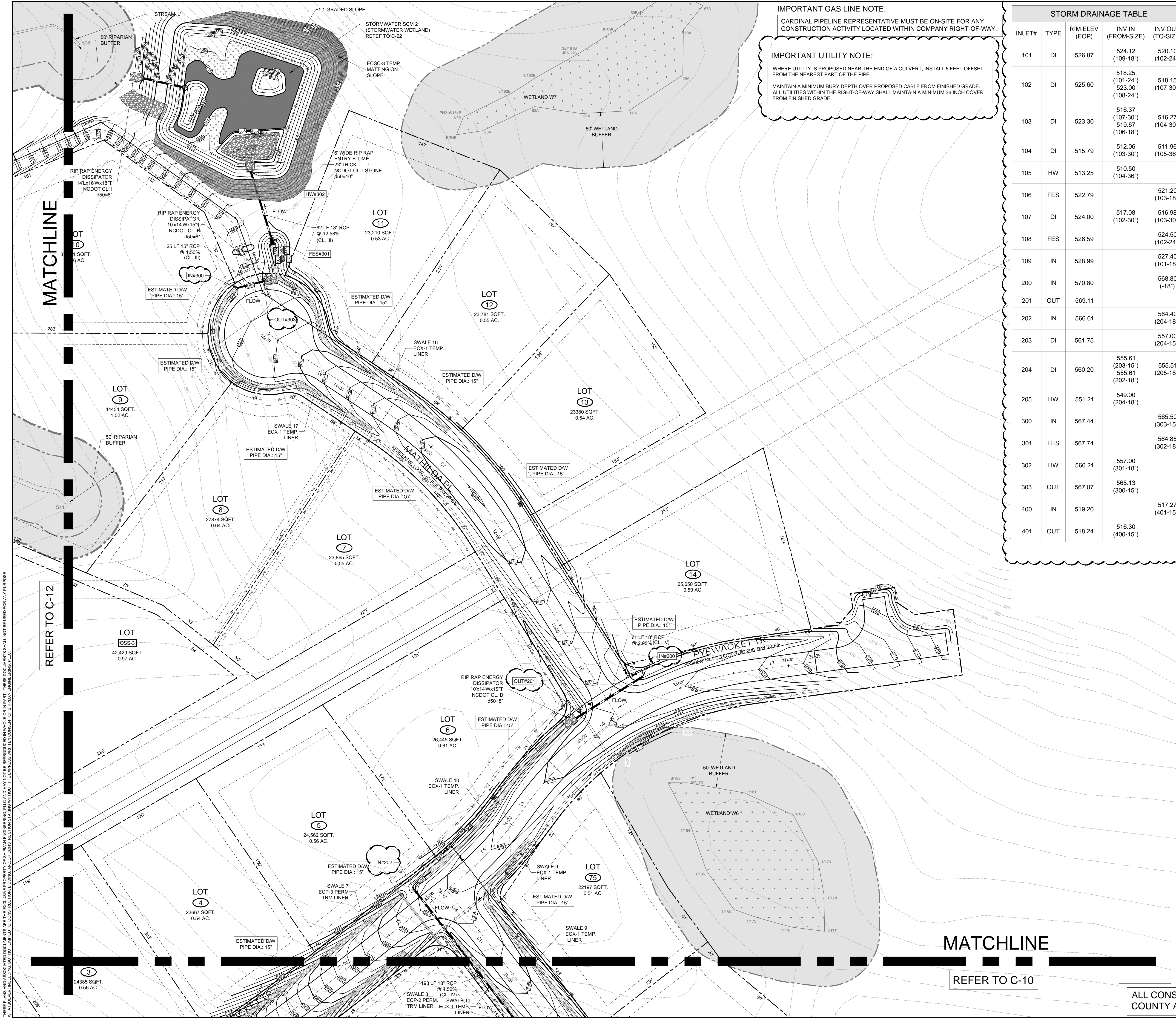
**SHIPMAN ENGINEERING**  
137 MIDDLEGREEN PLACE  
HOLLY SPRINGS, NC 27540  
919.900.0006  
SHIPMAN ENGINEERING, PLLC  
NCELS LICENSE P-1963

DESIGNED BY: WZS  
DRAWN BY: WZS  
CHECKED BY: WZS  
DRAWING DATE: 06/13/22  
SE PROJECT #: 2022-014

**PIEWACKET SUBDIVISION-PHASE 1**  
BALDWIN TOWNSHIP CHATHAM COUNTY, NORTH CAROLINA  
**PARTIAL GRADING & DRAINAGE PLAN III**

SHEET NUMBER:  
**C-10**





**IMPORTANT GAS LINE NOTE:**  
 CARDINAL PIPELINE REPRESENTATIVE MUST BE ON-SITE FOR ANY CONSTRUCTION ACTIVITY LOCATED WITHIN COMPANY RIGHT-OF-WAY.

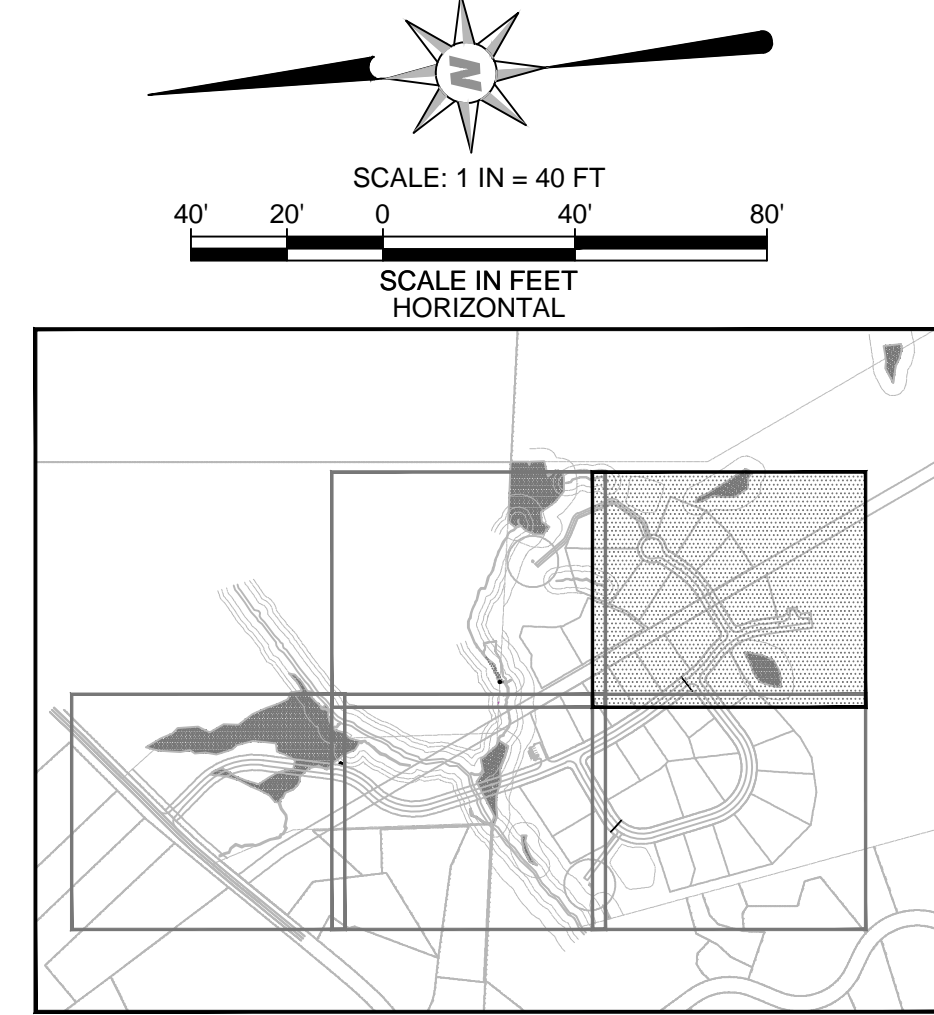
**IMPORTANT UTILITY NOTE:**  
 WHERE UTILITY IS PROPOSED NEAR THE END OF A CULVERT, INSTALL 5 FEET OFFSET FROM THE NEAREST PART OF THE PIPE.  
 MAINTAIN A MINIMUM BURY DEPTH OVER PROPOSED CABLE FROM FINISHED GRADE. ALL UTILITIES WITHIN THE RIGHT-OF-WAY SHALL MAINTAIN A MINIMUM 36 INCH COVER FROM FINISHED GRADE.

STORM DRAINAGE TABLE					
INLET#	TYPE	RIM ELEV (EOP)	INV IN (FROM-SIZE)	INV OUT (TO-SIZE)	
101	DI	526.87	524.12 (109-18")	520.10 (102-24")	
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300	IN	567.44		565.50 (303-15")	
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302	HW	560.21	557.00 (301-18")		
303	OUT	567.07	565.13 (300-15")		
400	IN	519.20		517.27 (401-15")	
401	OUT	518.24	516.30 (400-15")		

- GENERAL NOTES:**
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  - WETLANDS, SURFACE WATERS, AND JURISDICTIONAL STREAMS DELINEATED BY OTHERS. COORDINATE WITH CHATHAM COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY (DREW BLAKE) AT 919.545.8394 FOR ENVIRONMENTAL IMPACT PERMITTING.
  - DELINEATED WETLAND AND RIPARIAN BUFFER AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE US ARMY CORPS OF ENGINEERS, CHATHAM COUNTY, AND NCDCE DIVISION OF WATER QUALITY.
  - TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED RIPARIAN BUFFERS AND PERIMETER BUFFER AREAS.
  - THIS PROPERTY IS LOCATED IN 'ZONE X'. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FEMA FIRM MAP DATED \_\_\_\_\_.
  - MAXIMUM SIDEWALK CROSS SLOPE IS 2% (1:48). ACCESSIBLE RAMPS SHALL COMPLY WITH ALL APPLICABLE ADA REGULATIONS FOR SLOPES.
  - THE MINIMUM GRADE FOR DRAINAGE SWALES AND DITCHES SHALL BE 0.50% UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE FOR ALL GRADED AREAS.
  - STAIRS/STEPS WITH LESS THAN A 12" ELEVATION CHANGE SHALL COMPLY WITH NCBC 1003.5.

**IMPORTANT NOTE:**  
 ALL DRAINAGE SYSTEMS AND EASEMENTS OUTSIDE OF THE RIGHT-OF-WAY WILL NOT BE THE RESPONSIBILITY OF THE NCDOT FOR MAINTENANCE PURPOSES. DRAINAGE EASEMENTS LOCATED OUTSIDE OF THE RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE HOA TO MAINTAIN.

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 ESTIMATED DRIVEWAY PIPE SIZES INDICATED ON THIS PLAN IS AN ESTIMATE ONLY AND SHOULD BE CONSIDERED APPROXIMATE IN NATURE. FINAL DRIVEWAY PIPE SIZES SHALL BE DETERMINED BY INDIVIDUAL HOME BUILDERS SHALL BE BASED ON EXACT PIPE LOCATIONS AND APPROVED BY DOT PRIOR TO INSTALLATION.



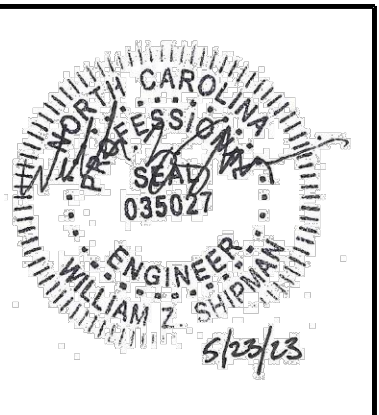
**SHEET INDEX**  
 SCALE: 1"=750'

**SITE LEGEND**

	STREET LIGHT
	SIGN
	WHEELCHAIR RAMP
	CLUSTER MAILBOX UNIT
	ROADWAY CENTER LINE
	LOT LINE
	RIGHT OF WAY LINE
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	OPEN SPACE AREA
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	SPOT ELEVATION
	MAJOR CONTOUR
	MINOR CONTOUR
	LIMITS OF DISTURBANCE
	RIP-RAP OUTLET PROTECTION



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHATHAM COUNTY AND NCDOT STANDARDS AND SPECIFICATIONS.



SYMBOL	DATE	REVISIONS
1	11/11/22	PER CHATHAM COUNTY COMMENT
2	12/16/22	PER NCDOT COMMENT
3	01/09/23	PER PWIS COMMENT
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6	05/02/23	PER NCDOT COMMENT

**SHIPMAN ENGINEERING**  
 137 MIDDLEGREEN PLACE  
 HOLLY SPRINGS, NC 27540  
 919.900.0006  
 SHIPMAN ENGINEERING, PLLC  
 NCBELS LICENSE P-1963

DESIGNED BY: WZS  
 DRAWN BY: WZS  
 CHECKED BY: WZS  
 DRAWING DATE: 06/13/22  
 SE PROJECT #: 2022-014

**PYEWACKET SUBDIVISION-PHASE 1**  
 BALDWIN TOWNSHIP CHATHAM COUNTY, NORTH CAROLINA  
**PARTIAL GRADING & DRAINAGE PLAN IV**

SHEET NUMBER:  
**C-11**

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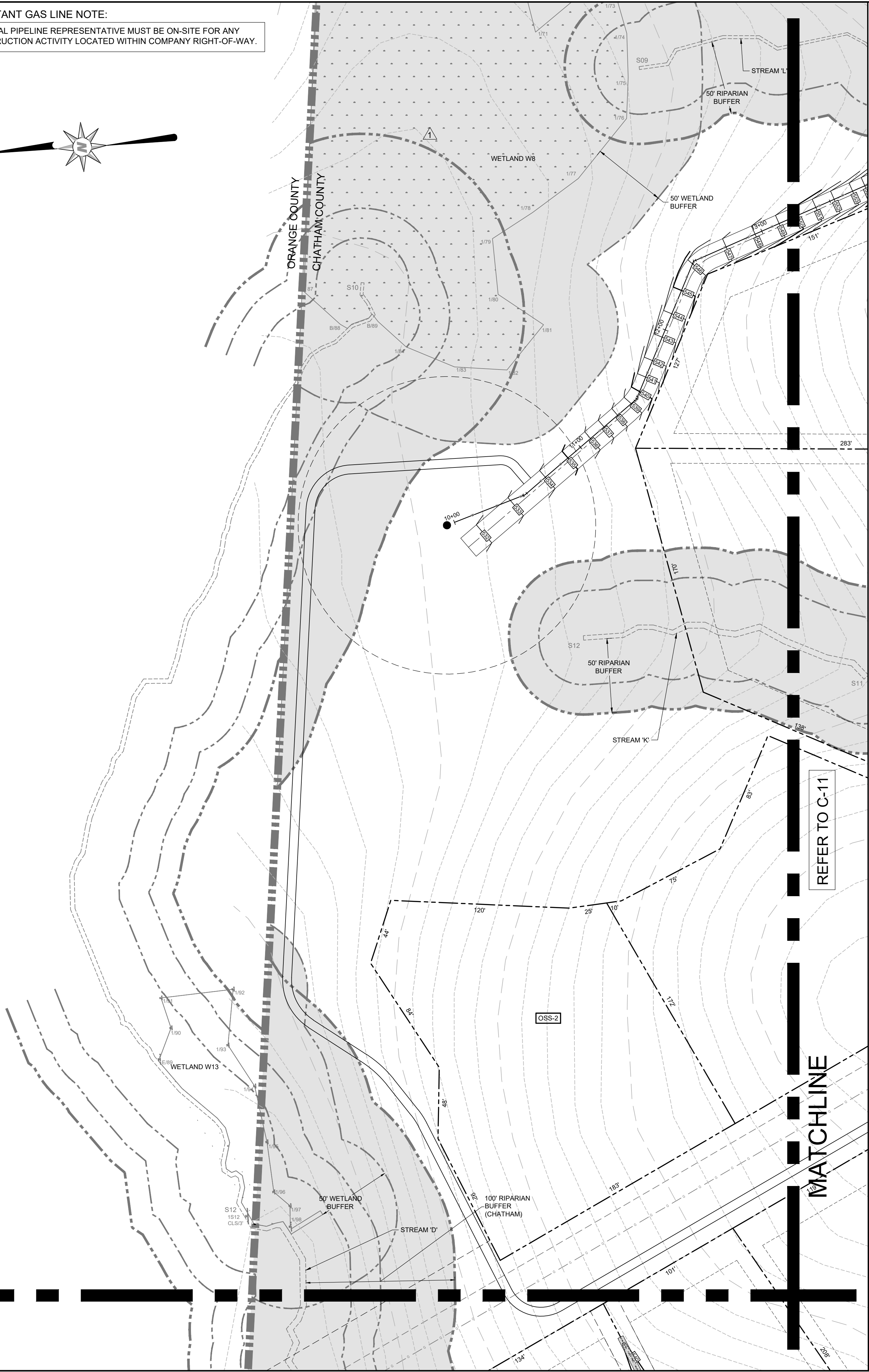
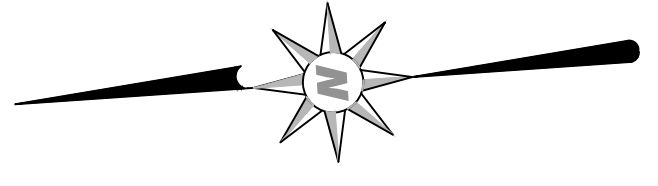
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHATHAM COUNTY AND NCDOT STANDARDS AND SPECIFICATIONS.

IMPORTANT GAS LINE NOTE:  
CARDINAL PIPELINE REPRESENTATIVE MUST BE ON-SITE FOR ANY CONSTRUCTION ACTIVITY LOCATED WITHIN COMPANY RIGHT-OF-WAY.

STORM DRAINAGE TABLE				
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302	HW	560.21	557.00 (301-18")	
303	OUT	567.07	565.13 (300-15")	
400	IN	519.20		517.27 (401-15")
401	OUT	518.24	516.30 (400-15")	

N/F MERRIT WYNDELL  
PIN 975515734  
ZONING: AR  
DB 5914 PG 252

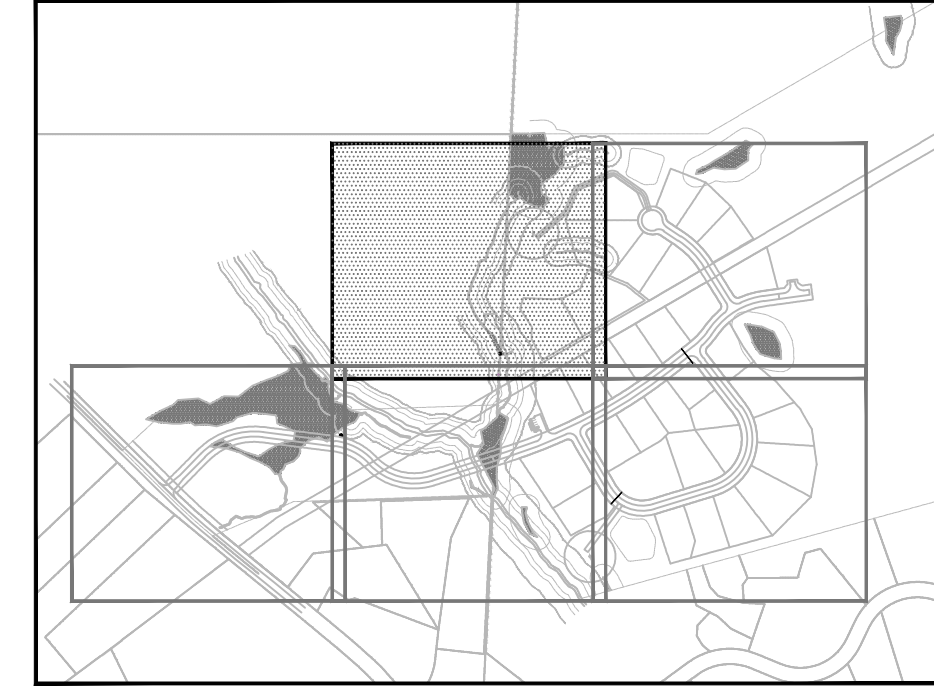
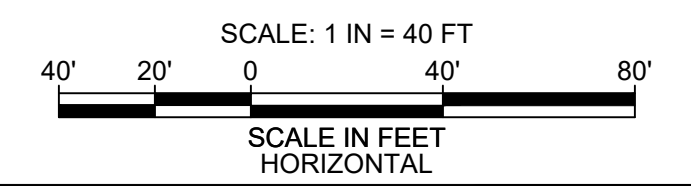
IMPORTANT UTILITY NOTE:  
WHERE UTILITY IS PROPOSED NEAR THE END OF A CULVERT, INSTALL 6 FEET OFFSET FROM THE NEAREST PART OF THE PIPE.  
MAINTAIN A MINIMUM BURY DEPTH OVER PROPOSED CABLE FROM FINISHED GRADE.  
ALL UTILITIES WITHIN THE RIGHT-OF-WAY SHALL MAINTAIN A MINIMUM 36 INCH COVER FROM FINISHED GRADE.



- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHATHAM COUNTY AND NCDOT STANDARD SPECIFICATIONS AND DETAILS.
  - BOUNDARY, TOPOGRAPHIC, AND UTILITY INFORMATION IS BASED ON A SURVEY PERFORMED BY SD PUCKETT AND ASSOCIATES. THE EXISTING CONDITION DATA SHOWN HERE HAS NOT BEEN VERIFIED BY SHIPMAN ENGINEERING, PLLC, AND SHOULD BE CONSIDERED APPROXIMATE IN NATURE. NO WARRANTY IS GIVEN OR IMPLIED AS TO THE ACCURACY OF THE DATA SHOWN ON THE SURVEY.
  - SUPPLEMENTAL TOPOGRAPHICAL AND EXISTING CONDITION DATA PROVIDED BY CHATHAM COUNTY GIS DATA, AERIAL PHOTOGRAPHY, AND OTHER PERTINENT DATA SOURCES.
  - CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION CAN BEGIN. ALL APPLICABLE FEES SHALL ALSO BE PAID PRIOR TO CONSTRUCTION DRAWING APPROVAL.
  - THE DEVELOPER IS SOLELY RESPONSIBLE FOR THE COST AND COORDINATION WITH DUKE ENERGY FOR THE RELOCATION AND/OR REMOVAL OF ANY ONSITE OVERHEAD POWER POLES AND LINES.
  - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND UTILITIES PRIOR TO COMMENCING WORK ON THE SITE.
  - WETLANDS, SURFACE WATERS, AND JURISDICTIONAL STREAMS DELINEATED BY OTHERS. COORDINATE WITH CHATHAM COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY (DREW BLAKE) AT 919.545.8394 FOR ENVIRONMENTAL IMPACT PERMITTING.
  - DELINEATED WETLAND AND RIPARIAN BUFFER AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE US ARMY CORPS OF ENGINEERS, CHATHAM COUNTY, AND NCDOT DIVISION OF WATER QUALITY.
  - TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED RIPARIAN BUFFERS AND PERIMETER BUFFER AREAS.
  - A PORTION OF THIS PROPERTY IS LOCATED IN ZONE A-SPECIAL FLOOD HAZARD AREA WITHOUT BASE FLOOD ELEVATION AS SHOWN ON FEMA FIRM PANEL 3710974600K DATED NOVEMBER 7, 2017. THE FLOOD HAZARD AREA IS LOCATED OUT OF THE PHASE 1 PROJECT AREA.
  - MAXIMUM SIDEWALK CROSS SLOPE IS 2% (1:48). ACCESSIBLE RAMPS SHALL COMPLY WITH ALL APPLICABLE ADA REGULATIONS FOR SLOPES.
  - THE MINIMUM GRADE FOR DRAINAGE SWALES AND DITCHES SHALL BE 0.50% UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE FOR ALL GRADED AREAS.
  - STAIRS/STEPS WITH LESS THAN A 12" ELEVATION CHANGE SHALL COMPLY WITH NBC 1003.5.

**IMPORTANT NOTE:**  
ALL DRAINAGE SYSTEMS AND EASEMENTS OUTSIDE OF THE RIGHT-OF-WAY WILL NOT BE THE RESPONSIBILITY OF THE NCDOT FOR MAINTENANCE PURPOSES. DRAINAGE EASEMENTS LOCATED OUTSIDE OF THE RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE HOA TO MAINTAIN.

**DRIVEWAY PIPE NOTE:**  
ESTIMATED DRIVEWAY PIPE SIZES INDICATED ON THIS PLAN IS AN ESTIMATE ONLY AND SHOULD BE CONSIDERED APPROXIMATE IN NATURE. FINAL DRIVEWAY PIPE SIZES SHALL BE DETERMINED BY INDIVIDUAL HOME BUILDERS SHALL BE BASED ON EXACT PIPE LOCATIONS AND APPROVED BY DOT PRIOR TO INSTALLATION.



SHEET INDEX  
SCALE: 1"=750'

- SITE LEGEND**
- STREET LIGHT
  - SIGN
  - WHEELCHAIR RAMP
  - CLUSTER MAILBOX UNIT
  - LOT LINE
  - ROADWAY CENTER LINE
  - RIGHT OF WAY LINE
  - RETAINING WALL
  - SETBACK LINE
  - BMP LIMITS
  - EASEMENT
  - STANDARD CURB & GUTTER
  - SPILL CURB & GUTTER
  - ORNAMENTAL FENCE
  - FENCE
  - OPEN SPACE AREA
  - 4.0% FLOW DIRECTION
  - FG 387.46 SPOT ELEVATION
  - 400 MAJOR CONTOUR
  - 402 MINOR CONTOUR
  - LIMITS OF DISTURBANCE
  - RIP-RAP OUTLET PROTECT

THESE PLANS AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF SHIPMAN ENGINEERING, PLLC AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART. THESE DOCUMENTS SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SHIPMAN ENGINEERING, PLLC. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

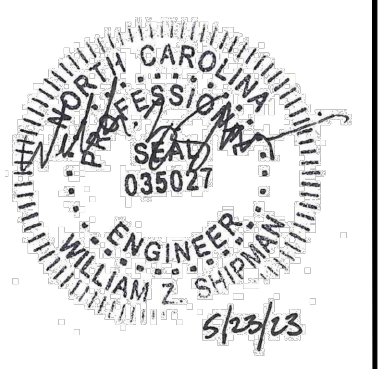


MATCHLINE

REFER TO C-09

REFER TO C-11

MATCHLINE



SYMBOL	DATE	REVISIONS
1	11/1/22	PER CHATHAM COUNTY COMMENT
2	12/16/22	PER NCDOT COMMENT
3	01/09/23	PER PWIS COMMENT
4	03/16/23	PER CHATHAM COUNTY/CARDINAL COMMENT
5	04/24/23	PER NCDOT COMMENT
6	05/23/23	PER NCDOT COMMENT

**SHIPMAN ENGINEERING**  
SHIPMAN ENGINEERING, PLLC  
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137 MIDDLEGREEN PLACE  
HOLLY SPRINGS, NC 27540  
919.900.0006

DESIGNED BY: WZS  
DRAWN BY: WZS  
CHECKED BY: WZS  
DRAWING DATE: 06/13/22  
SE PROJECT #: 2022-014

**PIEWACKET SUBDIVISION-PHASE 1**  
BALDWIN TOWNSHIP CHATHAM COUNTY, NORTH CAROLINA  
**PARTIAL GRADING & DRAINAGE PLAN V**