

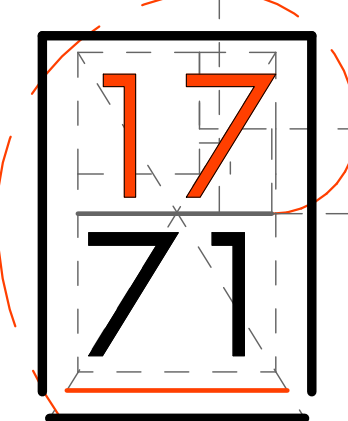


WALKER FUNERAL HOME APPEARANCE COMMISSION SUBMISSION

11680 US HWY 15-501 NORTH
WILLIAMS TOWNSHIP, CHATHAM
COUNTY, NORTH CAROLINA

02/17/2021

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**ARCHITECTURAL
STUDIO**

1771 ARCHITECTURAL STUDIO, LLC
25464 Point Lookout Rd - Unit 303
Leonardtown, MD 20659
240-309-4119
1771arch.com

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1771 ARCHITECTURAL
STUDIO

DRAWING ALTERATION
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT DIRECTORY

CLIENT
WALKER FUNERAL HOME
MRS. ELIZABETH P. WALKER,
OWNER/TRUSTEE
12 W. FRANKLIN STREET
CHAPEL HILL, NC 27516
C/O ROBERT CHAMBERS, ESQ.

ARCHITECT

1771 ARCHITECTURAL STUDIO

STRUCTURAL ENGINEER

FDR ENGINEERS

CIVIL ENGINEER

BALLANTINE ASSOCIATES

MEP

BURKE DESIGN GROUP

BY

DATE

REVISIONS

**WALKER
FUNERAL HOME**
120 W. FRANKLIN STREET
CHAPEL HILL, NC 27516

ARCHITECT OF RECORD

BRIAN T. SHEPARD AIA, NCARB, LEED

PROJECT MANAGER

JACLYN L. VALINO, ASSOC. AIA

DRAWN BY

ILY

FIRST ISSUE DATE

02/17/2021

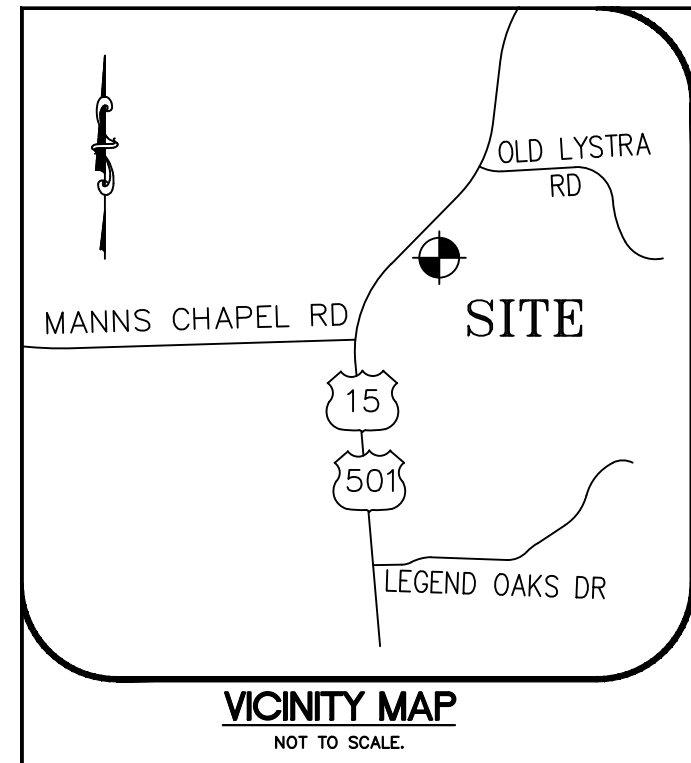
**APPEARANCE COMMISSION
COVER SHEET**

PROJECT NO.

20-9430.001

SHEET NO.

CS-0000



PROPERTY DESCRIPTION (FROM TITLE)

BEING all of Tract 1, containing 2.62 acres, more or less; Tract 2, containing 0.016 acres, more or less; and Tract 3, containing 3.22 acres, more or less, all as shown on that plat entitled "Boundary and Division Survey for Eddie M. Williams and G. Keith Allen" by Fox Surveying Company, P.C. dated August 19, 2014 and recorded in Plat Slide 2015, Pages 129 and 130, Chatham County Registry.

PROPERTY DESCRIPTION (FROM SURVEYOR)

All of the G. Keith Allen Tract as recorded in Plat Book 2015 on Page 129-130 of the Chatham County Registry, Williams Township, Chatham County, North Carolina.

Being all that certain land more particularly described as follows:
BEGINNING at an iron pipe set on the southern right of way of US Highway 15/501 having NC Grid Coordinates (NAD83/2011) N: 764,118.12' E: 1,973,851.90'; thence South 42°45'37" East a distance of 362.26 feet to an existing rebar; thence leaving the R/W of US Highway 15/501 South 42°47'17" East a distance of 65.42 feet to a corner; thence South 42°47'16" East a distance of 19.17 feet to an existing rebar; thence North 42°06'27" East a distance of 1.05 feet to an existing rebar; thence South 40°27'58" East a distance of 686.50 feet to an existing rebar; thence South 49°38'33" West a distance of 1.22 feet to an existing rebar; thence South 40°27'58" East a distance of 314.27 feet to an existing rebar; thence South 78°28'31" West a distance of 152.76 feet to an existing rebar; thence South 12°52'45" East a distance of 85.51 feet to an existing rebar; thence along a curve turning to the right with an arc length of 23.42 feet, with a radius of 687.35 feet, with a chord bearing of South 11°33'39" East, with a chord length of 23.42 feet to a corner; thence North 77°17'58" East a distance of 172.44 feet to an existing rebar; thence South 17°12'48" East a distance of 150.44 feet to a corner; thence South 04°02'33" East a distance of 70.55 feet to an existing 1/2" iron pipe; thence South 31°40'19" West a distance of 94.20 feet to an existing iron pipe; thence South 02°09'20" West a distance of 97.90 feet to an existing 1/2" iron pipe; thence South 36°58'54" East a distance of 368.81 feet to an existing 1/2" iron pipe; thence North 11°56'55" East a distance of 135.12 feet to an existing 1/2" iron pipe; thence North 33°26'36" East a distance of 30.00 feet to a corner; thence North 68°07'42" West a distance of 222.22 feet to an existing rebar; thence North 36°38'54" West a distance of 387.34 feet to an existing rebar; thence North 01°26'49" East a distance of 199.41 feet to an existing rebar; thence North 88°26'07" West a distance of 84.62 feet to a corner; thence North 85°38'54" West a distance of 12.98 feet to a corner; thence North 04°14'10" West a distance of 37.02 feet to a corner; thence along a curve turning to the left with an arc length of 99.81 feet, with a radius of 662.35 feet, with a chord bearing of North 08°33'11" West, with a chord length of 99.72 feet to a corner; thence North 12°52'45" West a distance of 86.10 feet to a corner; thence South 78°28'31" West a distance of 25.01 feet to an existing rebar; thence North 12°52'45" West a distance of 179.67 feet to an existing rebar; thence along a curve turning to the left with an arc length of 60.24 feet, with a radius of 125.00 feet, with a chord bearing of North 26°41'17" West, with a chord length of 59.66 feet to an existing rebar; thence North 49°36'56" East a distance of 50.00 feet to an existing iron pipe; thence North 49°28'02" East a distance of 30.04 feet to a corner; thence North 40°26'49" West a distance of 684.36 feet to an existing rebar; thence South 39°43'50" West a distance of 255.89 feet to an existing rebar; thence North 39°14'51" West a distance of 10.73 feet to a corner; thence North 41°13'58" West a distance of 9.58 feet to a corner; thence North 41°13'58" West a distance of 403.29 feet to a corner on the southern R/W of US Highway 15/501; thence with the southern R/W of US Highway 15/501 North 08°57'30" East a distance of 42.22 feet to a corner; thence North 46°52'24" East a distance of 208.04 feet to the point of BEGINNING, containing an area of 255,002 square feet, or 5.85 acres, more or less.

Investors Title Insurance Company
 Commitment Number: 20201434304
 Effective Date: November 13, 2020 @ 08:00 AM

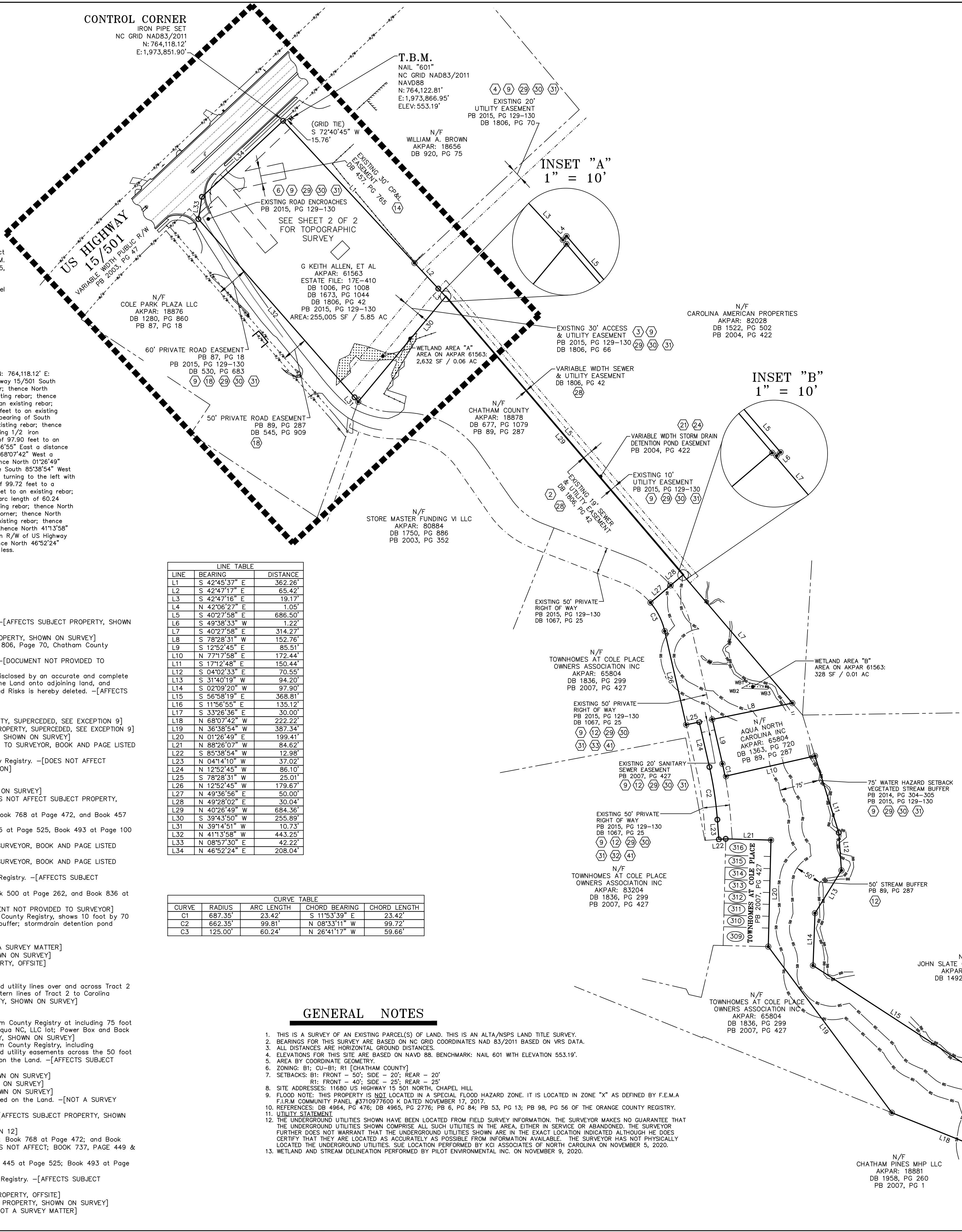
- **AS TO ALL TRACTS****
- Taxes for the year 2021, and subsequent years, not yet due and payable. [NOT A SURVEY MATTER]
- Sewer Easement and Utility Easement Agreement recorded in Book 1806 at Page 46, Chatham County Registry. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- Easement and Agreement recorded in Book 1806 at Page 66, Chatham County Registry. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- Easement between Carolina American Properties, LLC, Keith Allen and Eddie M. Williams recorded in Book 1806, Page 70, Chatham County Registry. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- Sewer Main Easement to Aqua North Carolina, Inc. recorded in Book 1947, Page 177, Chatham County Registry. [DOCUMENT NOT PROVIDED TO SURVEYOR, BOOK AND PAGE LISTED DOES NOT AFFECT SUBJECT PROPERTY]
- Any encroachment, encumbrance, violation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land. Paragraph 2 (c) of the Covered Risks is hereby deleted. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- **AS TO TRACT 1****
- Matters as shown on Plat Slide 2003, Page 47, Chatham County Registry. [DOES NOT AFFECT SUBJECT PROPERTY, SUPERCEDED, SEE EXCEPTION 9]
- Matters as shown on Plat Slide 2014, Pages 304-305, Chatham County Registry. [DOES NOT AFFECT SUBJECT PROPERTY, SUPERCEDED, SEE EXCEPTION 9]
- Matters as shown on Plat Slide 2015, Pages 129-130, Chatham County Registry. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- Easement(s) to OP&L recorded in Book 688 at Page 028, Chatham County Registry. [DOCUMENT NOT PROVIDED TO SURVEYOR, BOOK AND PAGE LISTED DOES NOT AFFECT SUBJECT PROPERTY]
- Easement(s) to North Carolina Department of Transportation recorded in Book 805 at Page 113, Chatham County Registry. [DOES NOT AFFECT SUBJECT PROPERTY, TEMPORARY CONSTRUCTION EASEMENTS EXPIRED UPON COMPLETION OF HIGHWAY CONSTRUCTION]
- **AS TO TRACT 2****
- Easement recorded in Book 549 at Page 291, Chatham County Registry. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- Easement and Well Maintenance Agreement recorded in Book 661 at Page 932, Chatham County Registry. [DOES NOT AFFECT SUBJECT PROPERTY, OFFSITE]
- Easement(s) to Carolina Power & Light Company recorded in Book 1204, Book 737 at Page 449, Book 768 at Page 472, and Book 457 at Page 765, Chatham County Registry. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- Joint easements and right of way agreement recorded in Book 384 at Page 3, Book 480 at Page 683, Book 455 at Page 525, Book 493 at Page 100 and Book 530 at Page 676, Chatham County Registry. [DOES NOT AFFECT SUBJECT PROPERTY, OFFSITE]
- Water easement recorded in Book 454 at Page 486, Chatham County Registry. [DOCUMENT NOT PROVIDED TO SURVEYOR, BOOK AND PAGE LISTED DOES NOT AFFECT SUBJECT PROPERTY]
- Water easement recorded in Book 454 at Page 486, Chatham County Registry. [DOCUMENT NOT PROVIDED TO SURVEYOR, BOOK AND PAGE LISTED DOES NOT AFFECT SUBJECT PROPERTY]
- Access easement recorded in Book 530 at Page 683 and amended in Book 545 at Page 909, Chatham County Registry. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- Easement(s) to Carolina Power & Light Company recorded in Book 879 at Page 103, Book HT at Page 282, Book 500 at Page 262, and Book 836 at Page 267, Chatham County Registry. [DOES NOT AFFECT SUBJECT PROPERTY, OFFSITE]
- Easement to University of North Carolina recorded in Book KG at Page 514, Chatham County Registry. [DOCUMENT NOT PROVIDED TO SURVEYOR]
- Matters shown on recorded Plat Book at Page including Plat recorded in Plat Book 2001 at Page 259, Chatham County Registry, shows 10 foot by 70 foot sight easement; 60 foot private access easement; part of a 20 foot drainage easement; 100 foot stream buffer, stormdrain detention pond easement; and survey overlap, located on the Land. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- 22 Restrictions appearing of record in Book 901, Page 252. [NOT A SURVEY MATTER]
- 23 Rights of others for ingress and egress purposes in and to the use of easements located on the Land. [NOT A SURVEY MATTER]
- 24 Matters as shown on Plat Slide 2001, Page 259, Chatham County Registry. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- 25 Matters as shown on Plat Slide 2004, Page 444, Chatham County Registry. [DOES NOT AFFECT SUBJECT PROPERTY, OFFSITE]
- 26 Matters as shown on Plat Slide 2014, Pages 304-305, Chatham County Registry. [SEE EXCEPTION 8]
- 27 Matters as shown on Plat Slide 2015, Pages 129-130, Chatham County Registry. [SEE EXCEPTION 9]
- 28 Perpetual non-exclusive easement for the sole purpose of installing and maintaining a sewer line and underground utility lines over and across Tract 2 and over and across a nineteen foot wide strip running along with and parallel to the western, northern and eastern lines of Tract 2 to Carolina American Properties, LLC per Deed Book 1806, Page 42, Chatham County Registry. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- **AS TO TRACT 3****
- Matters shown on recorded Plat Book at Page including Matters shown on recorded Plat Slide 2014-305, Chatham County Registry at including 75 foot Water Hazard Setback and Stream Buffer; Right of Way for Plaza Drive and 50 foot easement; Gravel Drive to Aqua NC, LLC lot; Power Box and Back Flow Preventer Easement line; and manhole located on the Land. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- 30 Matters shown on recorded Plat Book at Page including Matters shown on recorded Plat Slide 2015-129, Chatham County Registry, including non-exclusive perpetual easement for the sole purpose of installing and maintaining a sewer line and underground utility easements across the 50 foot wide strip of land show and the "50" right of way and "50" foot utility easement" located on the Land. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- 31 Matters shown on recorded Plat Slide 2015-130, Chatham County Registry. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- 32 Title to that portion of the Land within the right-of-way of Plaza Drive. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- 33 Title to that portion of Land within the right-of-way of 50 foot easement. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- 34 Rights of others for ingress and egress purposes in and to the use of easement(s) and/or right(s) of way located on the Land. [NOT A SURVEY MATTER]
- 35 Easement(s) to Progress Energy Carolinas Inc. recorded in Book 1076 at Page 742, Chatham County Registry. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- 36 Easement reserved in instrument, recorded in Book 549 at Page 291, Chatham County Registry. [SEE EXCEPTION 12]
- 37 Easement(s) to Carolina Power & Light Company, recorded in Book 668 at Page 1204; Book 737 at Page 449; Book 768 at Page 472; and Book 493 at Page 100, Chatham County Registry. [BOOK 668, PAGE 1204 NOT PROVIDED; BOOK 493, PAGE 100 DOES NOT AFFECT; BOOK 737, PAGE 449 & BOOK 768, PAGE 472, SHOWN ON SURVEY]
- 38 Joint Easement and Right of Way Agreement(s), recorded in Book 384 at Page 3; Book 480 at Page 683; Book 445 at Page 525; Book 493 at Page 100; and Book 530 at Page 909, Chatham County Registry. [DOES NOT AFFECT SUBJECT PROPERTY, OFFSITE]
- 39 Access Easement, recorded in Book 530 at Page 683 and amended in Book 545 at Page 909, Chatham County Registry. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- 40 Water Easement, recorded in Book 452 at Page 496, Chatham County Registry. [DOES NOT AFFECT SUBJECT PROPERTY, OFFSITE]
- 41 Road Maintenance Agreement recorded in Book 1067 at Page 25, Chatham County Registry. [AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- 42 Rights of others thereto entitled in and to the continued uninterrupted flow of waters, located on the Land. [NOT A SURVEY MATTER]
- 43 Right of Way recorded in Deed Book 1806 at Page 42, Chatham County Registry. [SEE EXCEPTION 28]

LINE	BEARING	DISTANCE
L1	S 42°45'37" E	362.26
L2	S 42°47'17" E	65.42
L3	S 42°47'16" E	19.17
L4	N 42°06'27" E	1.05
L5	S 40°27'58" E	686.50
L6	S 49°38'33" W	1.22
L7	S 40°27'58" E	314.27
L8	S 78°28'31" W	152.76
L9	S 12°52'45" E	85.51
L10	N 77°17'58" E	172.44
L11	S 17°12'48" E	150.44
L12	S 04°02'33" E	70.55
L13	S 31°40'19" W	94.20
L14	S 02°09'20" W	97.90
L15	S 36°58'54" E	368.81
L16	S 11°56'55" E	135.12
L17	S 33°26'36" E	30.00
L18	N 68°07'42" W	222.22
L19	N 36°38'54" W	387.34
L20	N 01°26'49" E	199.41
L21	N 88°26'07" W	84.62
L22	S 85°38'54" W	12.98
L23	N 04°14'10" W	37.02
L24	N 12°52'45" W	86.10
L25	S 78°28'31" W	25.01
L26	N 12°52'45" W	179.67
L27	N 49°36'56" E	50.00
L28	N 49°28'02" E	30.04
L29	N 40°26'49" W	684.36
L30	S 39°43'50" W	255.89
L31	N 39°14'51" W	10.73
L32	N 41°13'58" W	443.25
L33	N 08°57'30" E	42.22
L34	N 46°52'24" E	208.04

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	687.35'	23.42'	S 11°33'39" E	23.42'
C2	662.35'	99.81'	N 08°33'11" W	99.72'
C3	125.00'	60.24'	N 26°41'17" W	59.66'

GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS AN ALTA/NSPS LAND TITLE SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID COORDINATES NAD 83/2011 BASED ON VRS DATA.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ELEVATIONS FOR THIS SITE ARE BASED ON NAVD 88 BENCHMARK: NAIL 601 WITH ELEVATION 553.19'.
- AREA BY COORDINATE GEOMETRY.
- ZONING: BT, CU-B1; RI [CHATHAM COUNTY]
- SETBACKS: BT, FRONT - 50'; SIDE - 20'; REAR - 20'; RI, FRONT - 40'; SIDE - 25'; REAR - 25'
- SITE ADDRESSES: 11680 US HIGHWAY 15 501 NORTH, CHAPEL HILL
- FLOOD NOTES: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A. F.I.R.M COMMUNITY PANEL #3710977600 K DATED NOVEMBER 17, 2017.
- REFERENCES: DB 4964, PG 476; DB 4965, PG 2776; PG 6, PG 84; PG 98; PG 56 OF THE ORANGE COUNTY REGISTRY.
- UTILITY STATEMENT
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. SITE LOCATION PERFORMED BY KCI ASSOCIATES OF NORTH CAROLINA ON NOVEMBER 5, 2020.
- WETLAND AND STREAM DELINEATION PERFORMED BY PILOT ENVIRONMENTAL INC. ON NOVEMBER 9, 2020.



PRELIMINARY PLAT NOT FOR RECORDATION CONVEYANCES OR SALES

I, STEVEN M. INASOULIAN, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTION RECORDED IN BOOK AND PAGE (AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000±; AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED; WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER, AND SEAL THIS 20TH DAY OF NOVEMBER, A.D. 2020.

STEVEN M. INASOULIAN PLS L-4732

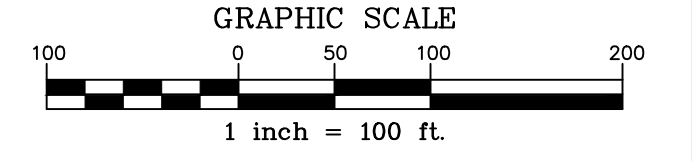
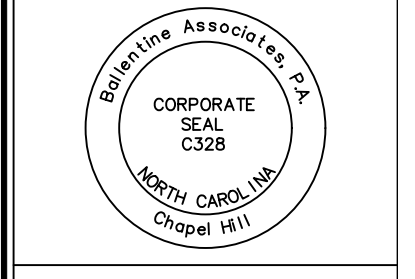
To: Ramsort Investors, LLC a North Carolina limited liability company; and Investors Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5 (partial), 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11, 13, 16, 17, 18, 19, and 20 of Table A thereof. The field work was completed on November 16, 2020.

Date of Plat or Map: November 20, 2020

STEVEN M. INASOULIAN, P.L.S. L-4732 Date

BALLENTINE ASSOCIATES, P.A.
 215 S. MARKET ST., SUITE 400, CHAPEL HILL, NC 27514
 (919) 979-0400 FAX (919) 460-4789
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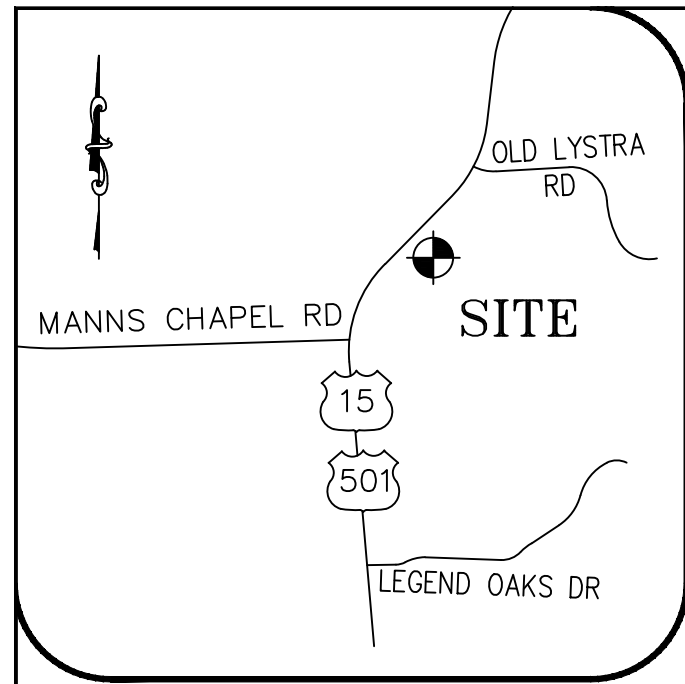
DATE	REVISIONS

DATE	ISSUED

G. KEITH ALLEN, ET AL
11680 US HIGHWAY 15/501 NORTH
 WILLIAMS TOWNSHIP, CHATHAM COUNTY, NORTH CAROLINA
 ALTA/NSPS LAND TITLE SURVEY

JOB NUMBER: 116031.01
 DATE: 20 NOV 20
 SCALE: 1" = 100'
 DRAWN BY: EJS
 REVIEWED BY: SMI

SHEET 1 OF 2



VICINITY MAP
NOT TO SCALE.

I, STEVEN M. INJASOULIAN, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTION RECORDED IN BOOK AND PAGE (AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000; AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS 20TH DAY OF NOVEMBER, A.D. 2020.

STEVEN M. INJASOULIAN PLS L-4732

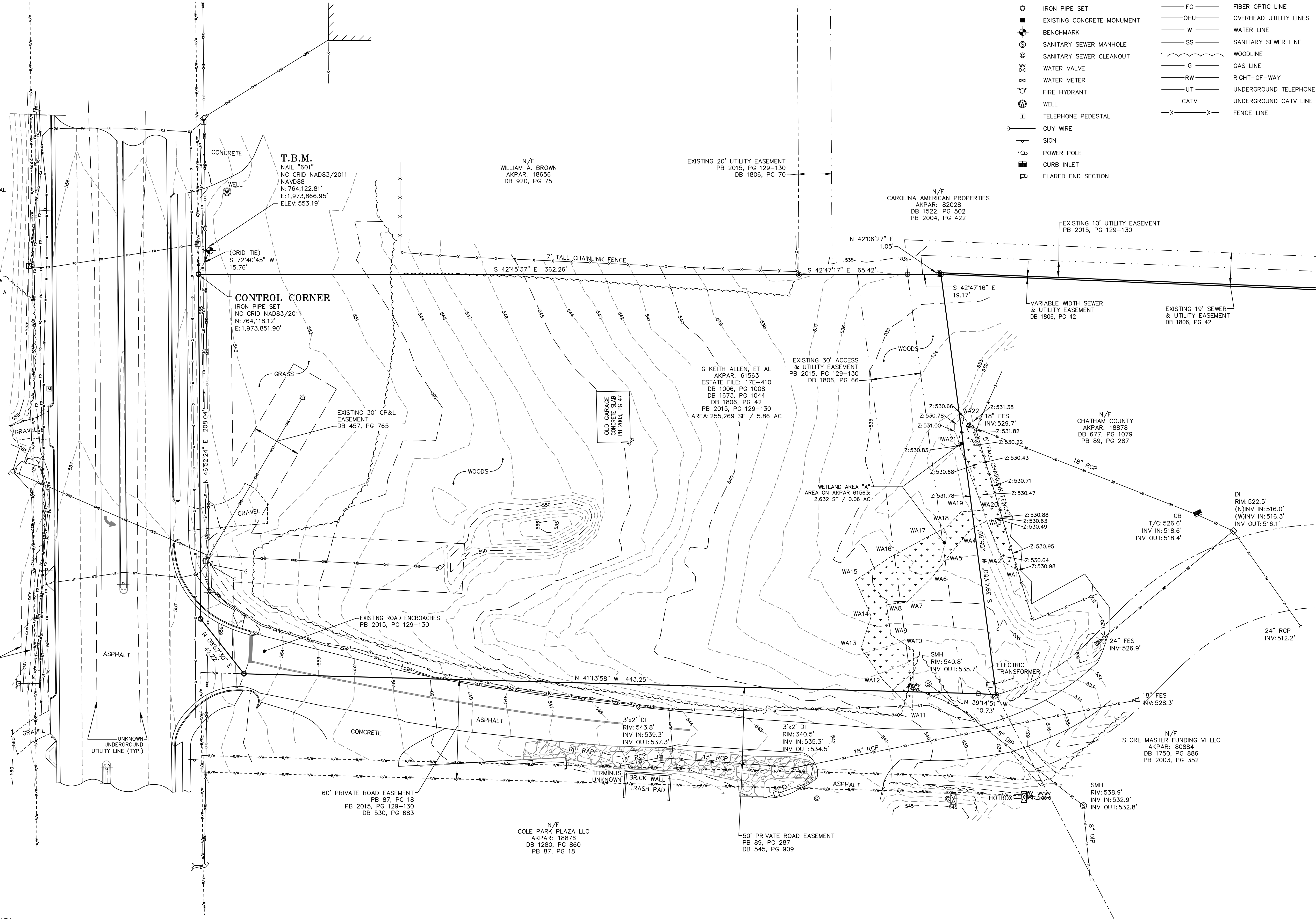
To: Ramonart Investors, LLC a North Carolina limited liability company; and Investors Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Survey, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5(part), 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11, 13, 16, 17, 18, 19, and 20 of Table A thereof. The field work was completed on November 16, 2020.

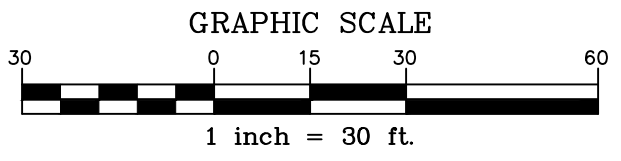
Date of Plat or Map: November 20, 2020

STEVEN M. INJASOULIAN, P.L.S. L-4732 Date

US HIGHWAY 15/501
VARIABLE WIDTH PUBLIC R/W
PB 2003, PG 47



LEGEND	
	EXISTING IRON PIPE
	IRON PIPE SET
	EXISTING CONCRETE MONUMENT
	BENCHMARK
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	WELL
	TELEPHONE PEDESTAL
	GUY WIRE
	SIGN
	POWER POLE
	CURB INLET
	FLARED END SECTION
	SD STORM DRAIN PIPE
	FO FIBER OPTIC LINE
	OHU OVERHEAD UTILITY LINES
	W WATER LINE
	SS SANITARY SEWER LINE
	WOODLINE
	G GAS LINE
	RW RIGHT-OF-WAY
	UT UNDERGROUND TELEPHONE
	CATV UNDERGROUND CATV LINE
	X-X FENCE LINE

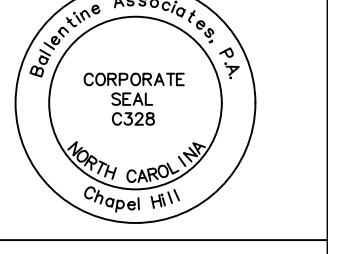


GENERAL NOTES

1. THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A TOPOGRAPHIC SURVEY.
2. BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID COORDINATES NAD 83/2011 BASED ON VRS DATA.
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. ELEVATIONS FOR THIS SITE ARE BASED ON NAVD 88. BENCHMARK: NAIL 601 WITH ELEVATION 553.19'.
5. AREA BY COORDINATE GEOMETRY.
6. ZONING: B1; CU-B1; R1 [CHATHAM COUNTY]
7. SETBACKS: B1: FRONT - 50'; SIDE - 20'; REAR - 20'
R1: FRONT - 40'; SIDE - 25'; REAR - 25'
8. SITE ADDRESSES: 11680 US HIGHWAY 15 NORTH, CHAPEL HILL
9. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A F.I.R.M COMMUNITY PANEL #3710977600 K DATED NOVEMBER 17, 2017.
10. REFERENCES: DB 4964, PG 476; DB 4965, PG 2776; PB 6, PG 84; PB 53, PG 13; PB 98, PG 56 OF THE ORANGE COUNTY REGISTRY.
11. UTILITY STATEMENT
12. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. SEE LOCATION PERFORMED BY KCI ASSOCIATES OF NORTH CAROLINA ON NOVEMBER 5, 2020.
13. WETLAND AND STREAM DELINEATION PERFORMED BY PILOT ENVIRONMENTAL INC. ON NOVEMBER 9, 2020.

PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES

BALENTINE ASSOCIATES, P.A.
CORPORATE SEAL
C328
CHAPEL HILL



DATE	REVISIONS

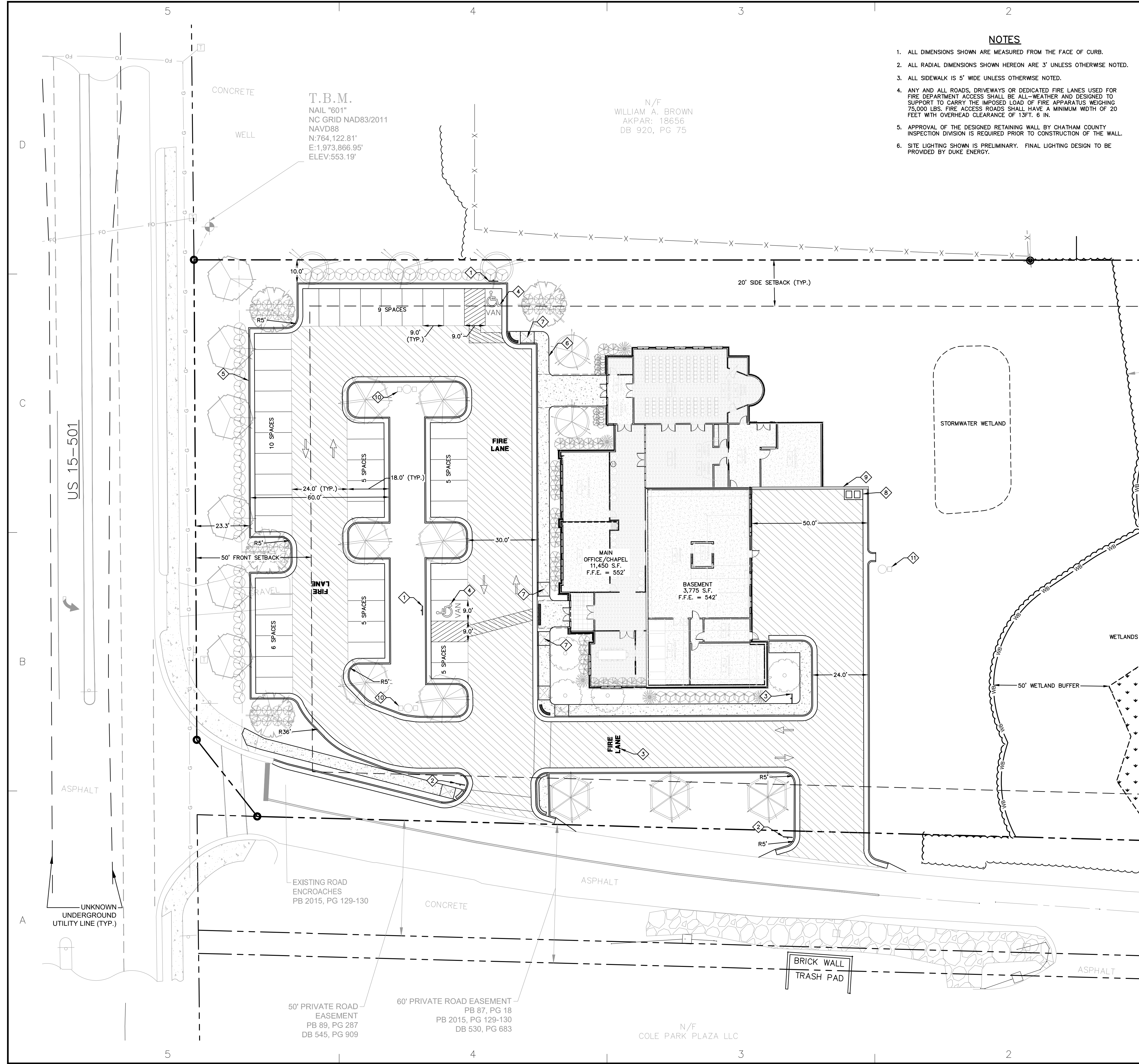
OWNER INFORMATION:
G. KEITH ALLEN, ET AL
5670 US HWY 15 501 N
PITTSBORO, NC 27312
OWNERS REPRESENTATIVE:
PH: ...
EMAIL: ...

DATE	ISSUED

G. KEITH ALLEN, ET AL
11680 US HIGHWAY 15/501 NORTH
WILLIAMS TOWNSHIP, CHATHAM COUNTY, NORTH CAROLINA
ALTA/NSPS LAND TITLE SURVEY

JOB NUMBER: 119025.00
DATE: 20 NOV 20
SCALE: 1" = 30'
DRAWN BY: EJS
REVIEWED BY: SMJ

N:\Projects\18025.00 Walker FH\1_Dwg\AutoCAD Files\C1000-Site-Walker FH.dwg, 2/17/2021 12:08:50 PM, shannah



NOTES

- 1. ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB.
2. ALL RADIAL DIMENSIONS SHOWN HEREON ARE 3' UNLESS OTHERWISE NOTED.
3. ALL SIDEWALK IS 5' WIDE UNLESS OTHERWISE NOTED.
4. ANY AND ALL ROADS, DRIVEWAYS OR DEDICATED FIRE LANES USED FOR FIRE DEPARTMENT ACCESS SHALL BE ALL-WEATHER AND DESIGNED TO SUPPORT TO CARRY THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING 75,000 LBS. FIRE ACCESS ROADS SHALL HAVE A MINIMUM WIDTH OF 20 FEET WITH OVERHEAD CLEARANCE OF 13FT. 6 IN.
5. APPROVAL OF THE DESIGNED RETAINING WALL BY CHATHAM COUNTY INSPECTION DIVISION IS REQUIRED PRIOR TO CONSTRUCTION OF THE WALL.
6. SITE LIGHTING SHOWN IS PRELIMINARY. FINAL LIGHTING DESIGN TO BE PROVIDED BY DUKE ENERGY.

SITE DATA TABLE

Table with 2 columns: Field Name and Value. Includes Project Name, Property Address, Current Land Owner, Pin Number, Deed Reference, Current Use, Proposed Use, Property Zoning, Total Area of Tract, Landscape Buffers, Building Setbacks, New Building SF, Vehicular Parking Summary, Accessible Parking Summary, and Max Impervious Allowed.

DRAWING LEGEND

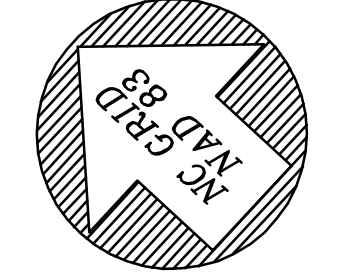
Table with 3 columns: Symbol/Abbreviation, Existing, and Proposed. Lists various symbols for Overhead Electric Line, Overhead Traffic Signal Line, Property Line, Right-of-Way Line, Adjoiner Property Line, Easement Line, Setback Line, Buffer Line, and Tree Line.

PLAN KEY NOTES

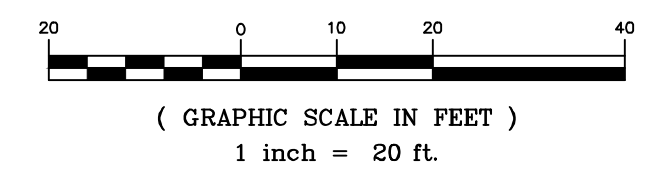
- 1 HS-2 VAN ACCESSIBLE PARKING SIGN
2 STOP SIGN
3 FIRE LANE STRIPING (TYP.)
4 HANDICAP PARKING SPACE STRIPING (TYP.)
5 30" CONCRETE CURB AND GUTTER (TYP.)
6 5' WIDE CONCRETE SIDEWALK (TYP. UNLESS OTHERWISE NOTED)
7 WHEEL CHAIR RAMP
8 ROLL CART ENCLOSURE
9 CAST-IN-PLACE RETAINING WALL
10 DUAL HEAD 3000K SHIELDED LED LIGHT FIXTURE ON 25' POLE - SEE NOTE #6
11 SINGLE HEAD 3000K SHIELDED LED LIGHT FIXTURE ON 25' POLE - SEE NOTE #6

PAVING LEGEND

- A1 C5001 HEAVY-DUTY ASPHALT
A1 C5001 STANDARD DUTY ASPHALT



SITE PLAN



REVIEW DRAWING NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A. ARCHITECTS AND PLANNERS 10801 WOODBRIDGE ROAD, CHAPEL HILL, NC 27514

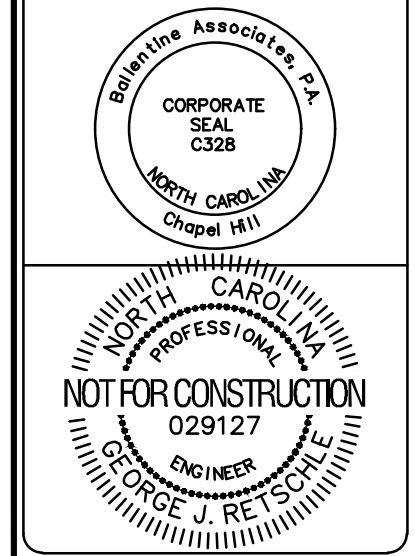
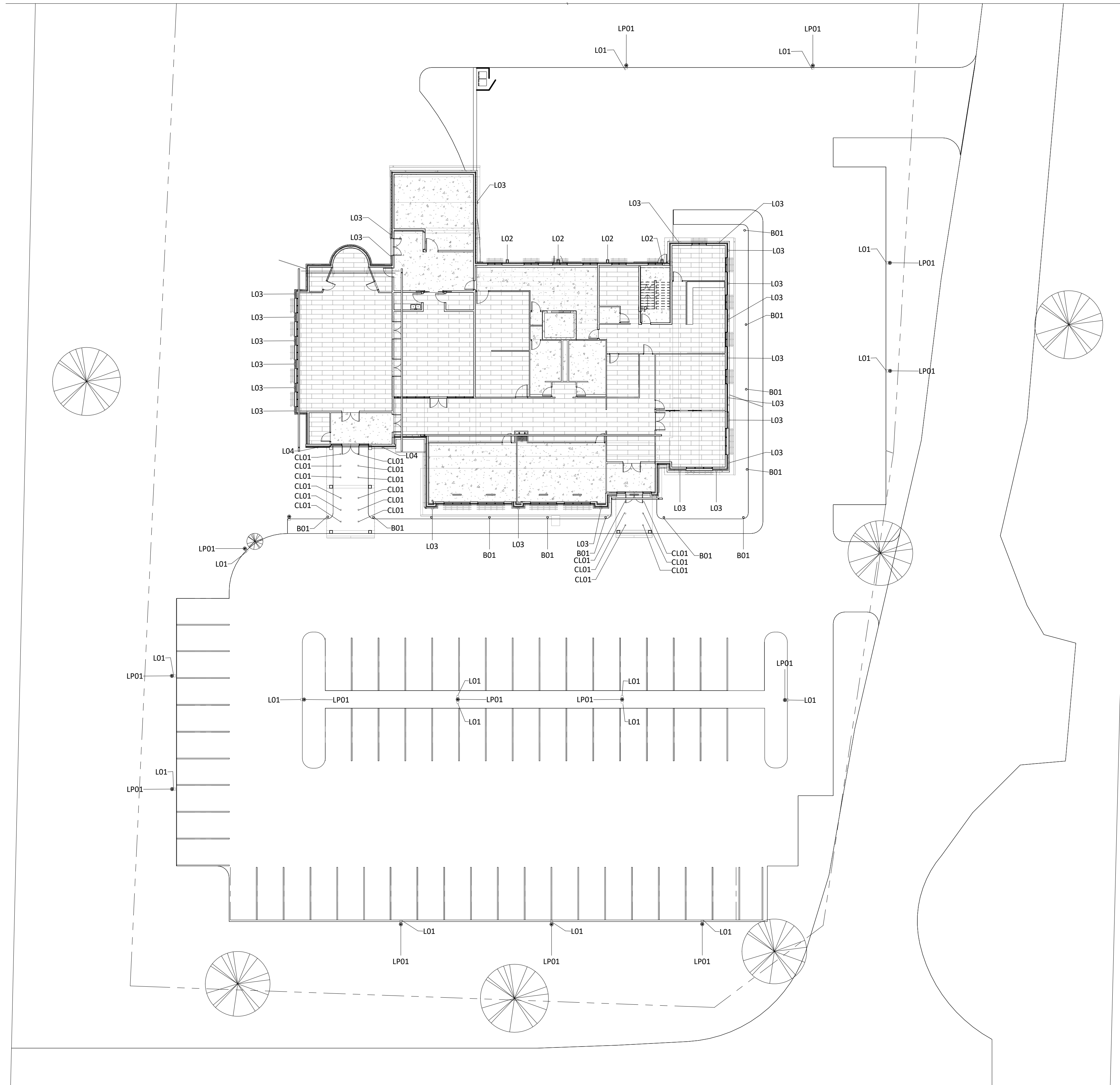


Table with 2 columns: DATE and REVISIONS. Includes a 'NUM' column for revision numbers.

OWNER INFORMATION WALKER FH ADDRESS 123 ADDRESS 456 CITY NC 12345 OWNERS REPRESENTATIVE: XXX XXXXX PH: (000) 000-0000 FAX: (000) 000-0000 EMAIL:

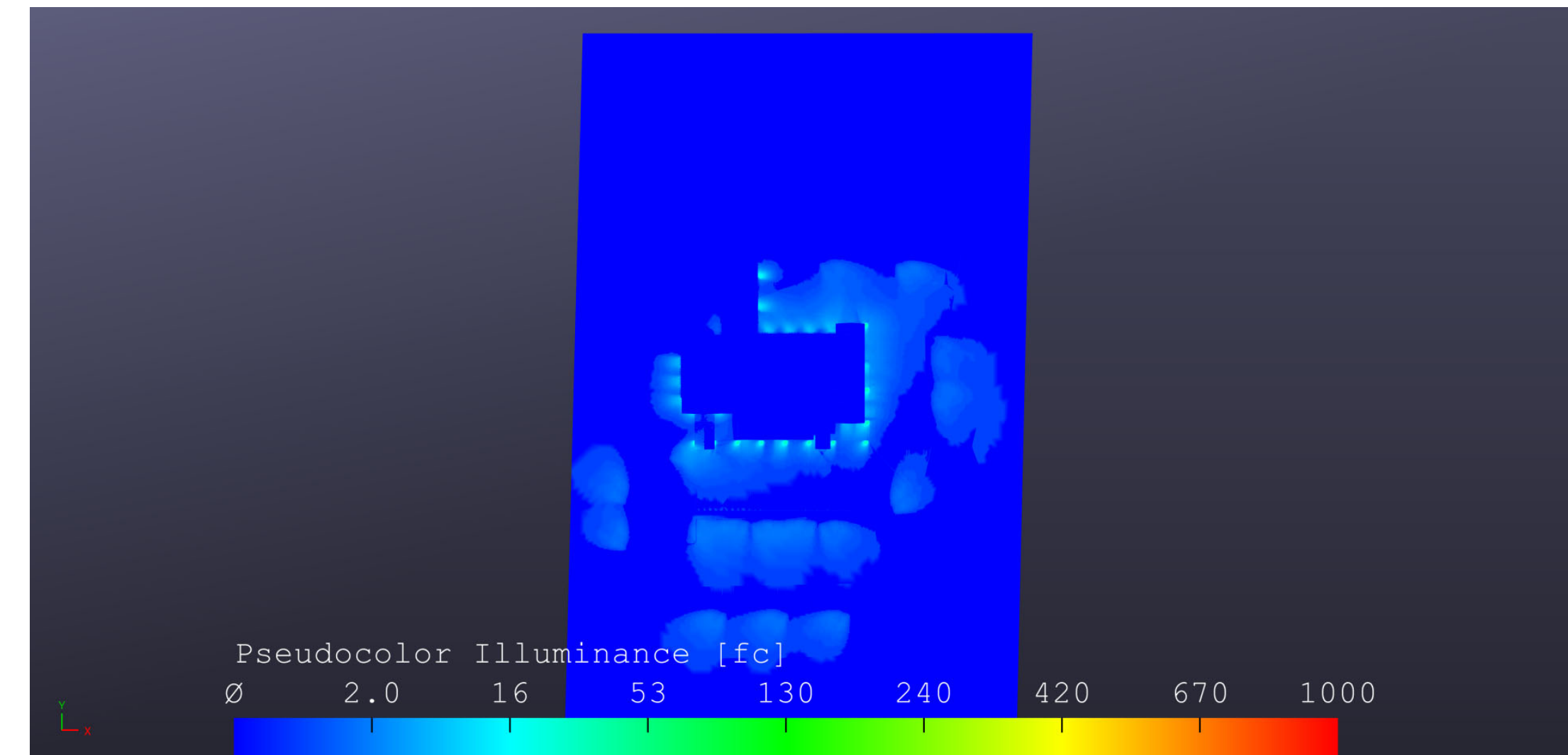
Table with 2 columns: DATE and ISSUED. Includes 'SITE DESIGN TO TEAM' and 'SITE PLAN PACKAGE TO TEAM' entries.

WALKER FUNERAL HOME CHATHAM COUNTY, NORTH CAROLINA SITE PLAN DRAWINGS JOB NUMBER: 119025.00 DATE: 01 DEC 20 SCALE: AS SHOWN DRAWN BY: SS REVIEWED BY: GJR SHEET C1000

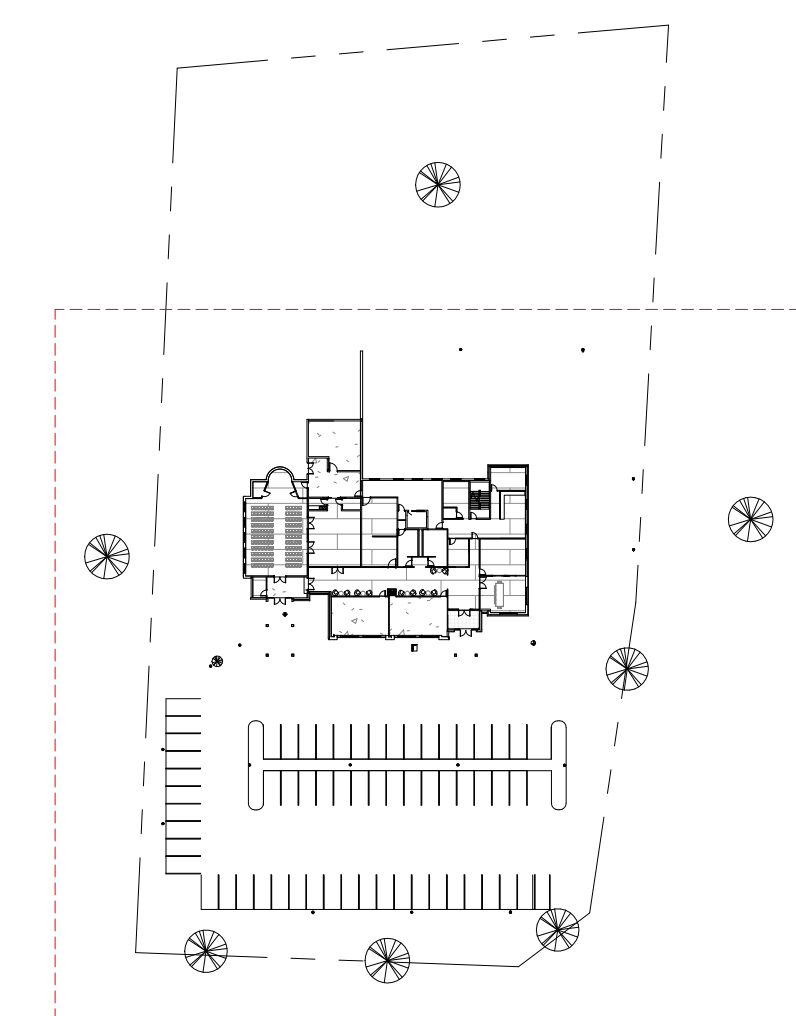


1 SITE LIGHTING PLAN
1" = 20'-0"

SITE LIGHTING SCHEDULE										
TYPE MARK	COUNT	FIXTURE			DESCRIPTION	LAMP TYPE	MOUNTING TYPE	COLOR TEMPERATURE		
		MNFR.	MODEL	CONFIGURATION						
B01	12	BEGA	99058	39'-3/4" HEIGHT	Bollard	LED 18.9 W	SITE ANCHORED	4000 K		
CLO1	18	HUBBELL OR EQUAL	PRESCOLITE	4" DIAMETER DOWNLIGHT, MOUNTED AT 9'-1 1/2"	Recessed ceiling luminaire	LED 22W	CEILING	4000 K		
L01	17	BEGA	99515K3	POLE-MOUNTED, LP01 MOUNTED AT 9'-0"	Pole top luminaire	LED 23.6 W	POLE-TOP	4000 K		
L02	4	BEGA	99446K3	MOUNTED AT 9'-0"	Pole top luminaire	LED 14 W	WALL-MOUNT	4000 K		
L03	23	BEGA	33334	UP/DOWN, WALL MOUNTED AT 9'-4"	Half-circle Luminaire	LED 6.3 W	WALL-MOUNT	4000 K		
L04	2	BEGA	66516K4	UP/DOWN, WALL MOUNTED AT 15'-10 1/2"	Cylindrical Wall luminaire	LED 26 W	WALL-MOUNT	4000 K		
LP01	15	BEGA	71194	BEGA 9951K3, 16'-7" HEIGHT	luminaire pole	N/A	SITE ANCHORED			
TOTAL FIXTURES	91									

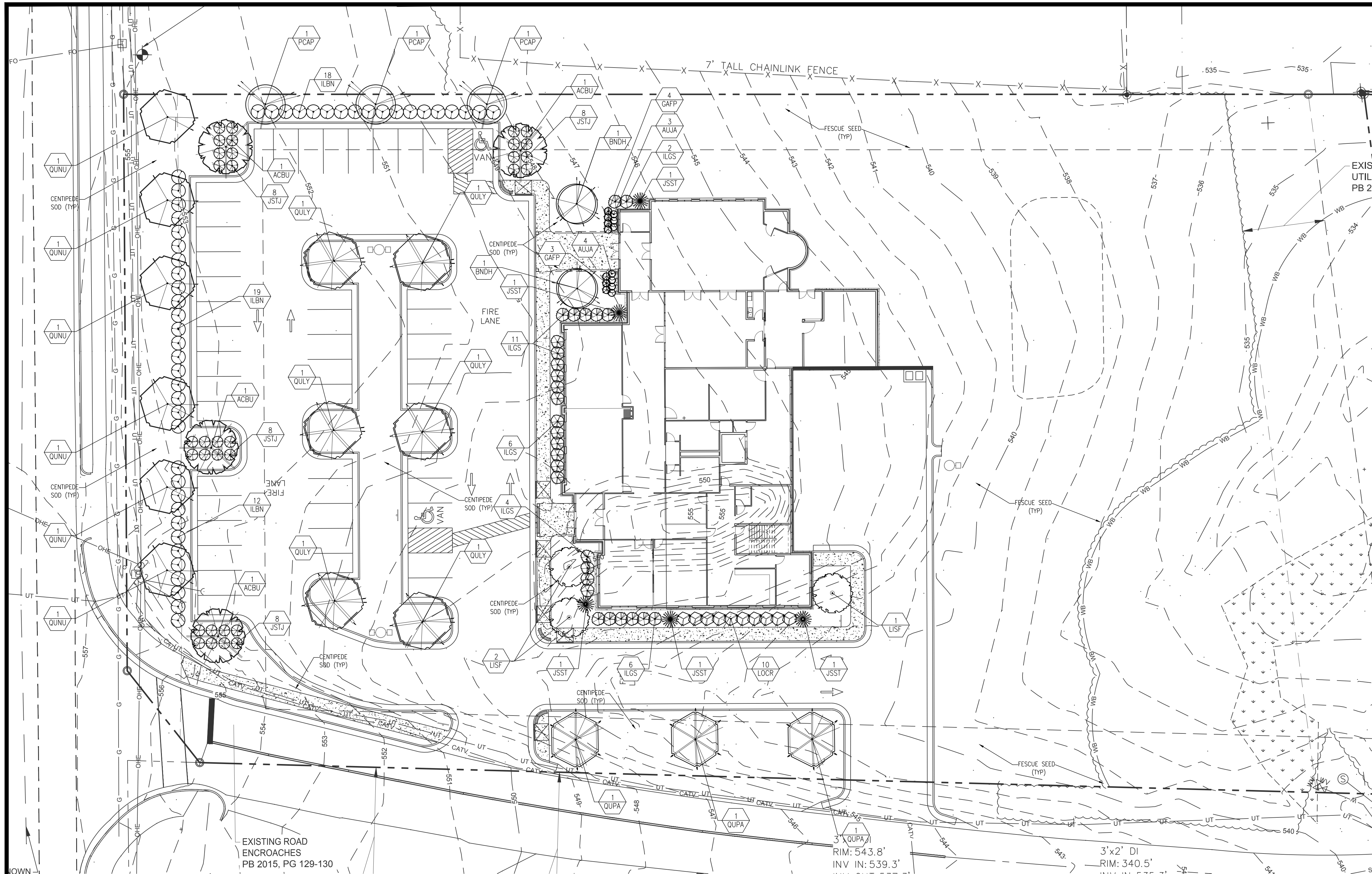


ALL ILLUMINANCE CALCULATIONS HAVE BEEN GENERATED FROM MANUFACTURER DATA WITHIN LIGHT FIXTURE-SPECIFIC .IES PHOTOMETRY FILES FOR EACH FIXTURE DENOTED IN THE LIGHTING SCHEDULE ON SL-100. ALL FIXTURES ARE IN THE EXACT AREAS SHOWN ON SL-100 FROM TO ARRIVE AT THE ARRAY SHOWN.



2 KEY SITE PLAN
1" = 100'-0"

BY	DATE



LANDSCAPE PLANTING NOTES

1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY. ALL GENERAL NOTES AND GENERAL CONSTRUCTION NOTES APPLY.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITY TAKE-OFFS AND VERIFICATION OF MATERIALS AS SHOWN ON THESE PLANS AND IN WRITTEN SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING OR INSTALLATION.
3. THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING AND PROPOSED UNDERGROUND UTILITIES PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
4. ALL LANDSCAPE MATERIALS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INCLUDING THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
5. PRIOR TO THE END OF EACH WORKING DAY, THE CONTRACTOR SHALL PROPERLY BACKFILL ALL PLANT MATERIAL THAT HAS BEEN PLACED IN PREPARED HOLES; AND PROPERLY WATER AND MULCH ALL PREPARED GROUND COVER, PERENNIAL AND ANNUAL BEDS.
6. ALL TREES AND SHRUBS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
7. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED BY HAND PRIOR TO PLACEMENT AND BACK FILLING WITH PREPARED SOILS. HAND TOOLS ARE NOT TO BE USED TO SCARIFY ROOT BALLS.
8. ALL ROPE AND WRAPPING TWINE SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PARTS OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM PLANT BALLS PRIOR TO BACKFILLING.
9. ALL PLANTING AREAS SHALL BE EDGED WITH SMOOTH, CONTINUOUS CURVES. PINE STRAW MULCH, IF SPECIFIED, SHALL BE ROLLED AND TUCKED ALONG PLANT BED EDGE.
10. ALL PLANT BEDS ALONG BUILDING FOUNDATION SHALL BE 30" WIDE AND MULCHED USING 4" DEPTH OF WHITE DECORATIVE LANDSCAPE STONES.
11. GRASS SOD SHALL BE LOCALLY HARVESTED FIBLAIR CENTIPEDE STOCK OR APPROVED WARM SEASON GRASS EQUAL.
12. REAR YARD AREAS SHALL BE SEEDED WITH LOCALLY GROWN KENTUCKY 31 VARIETY OF FESCUE SOD.
13. ALL PLANT MATERIAL SHALL BE PLANTED AT HEIGHTS AS ILLUSTRATED IN THE PLANTING DETAILS & PLANT LIST.
14. TREE STAKING AND GUYING, IF NECESSARY, SHALL BE PERFORMED WITHIN A WEEK OF PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TREE STAKING MATERIAL AFTER THE FIRST FULL GROWING SEASON OR ONE YEAR, WHICHEVER COMES FIRST.
15. B & S LISTED UNDER "ROOT" IN THE PLANT LIST INDICATES BALLED AND BURLAPPED.
16. ALL PLANT BEDS AND RAISED SAUCER RINGS SHALL BE GRADED TO PROVIDE ADEQUATE DRAINAGE AND SHALL BE MULCHED AS SPECIFIED.
17. ALL MATERIALS, PLANTINGS AND LANDSCAPE WORK SHALL CONFORM TO THE LOCAL OR COUNTY JURISDICTIONAL AUTHORITY'S STANDARD SPECIFICATIONS AND DETAILS.
18. TREE PROTECTION FENCE SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO THE ISSUANCE OF ANY GRADING OR OTHER PERMITS.
19. IF ANY DISCREPANCIES OCCUR BETWEEN PLANT COUNTS SHOWN IN THE PLAN AND THE LANDSCAPE SCHEDULE, THE PLANT COUNTS ON THE PLAN SHALL DICTATE.

PLANTING CALCULATIONS

PROJECT BOUNDARY BUFFER REQUIREMENTS
 NO PROJECT BOUNDARY BUFFERS ARE REQUIRED BETWEEN B-1 BUSINESS ZONING AND SURROUNDING B-1 AND CU-B-1 ZONING DISTRICTS.

PROJECT FRONTAGE ALONG US 15-501
 20' WIDE TYPE B LANDSCAPE SCREEN REQUIRED - B-1 BUSINESS VS EXISTING R2 RESIDENTIAL AGRICULTURAL ACROSS US 15-501
 PER CHATHAM COUNTY DESIGN GUIDELINES: 25%-35% DECIDUOUS PLANTS ALLOWED, TREES TO BE SPACED MAXIMUM OF 30' O.C. AND EVERGREEN SHRUBS FROM 5' TO 8' O.C. WITHIN BUFFER

PLAN REVISIONS

#	DATE	REVISION	BY



KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG
 It's fast. It's free. It's the law.

PROJECT:

SITE PLAN DRAWINGS

PROJECT #:
 DRAWN BY:
 REVIEWED BY:
 1ST SUBMITTAL:
 SCALE:

PRELIMINARY
 NOT FOR CONSTRUCTION

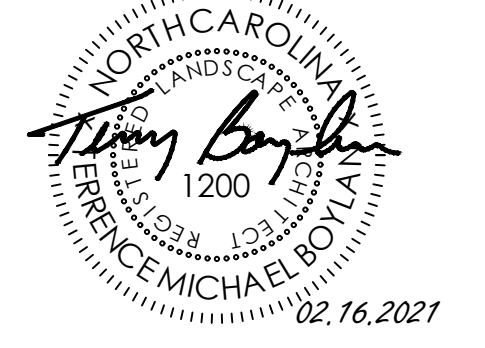
PREPARED FOR:

WALKER FUNERAL HOME
 CHATHAM COUNTY NC

PREPARED BY:

Village Green Land Design
 1149 EXECUTIVE CIRCLE
 CARY, NC 27511
 P:919.624.4468

SEALED:

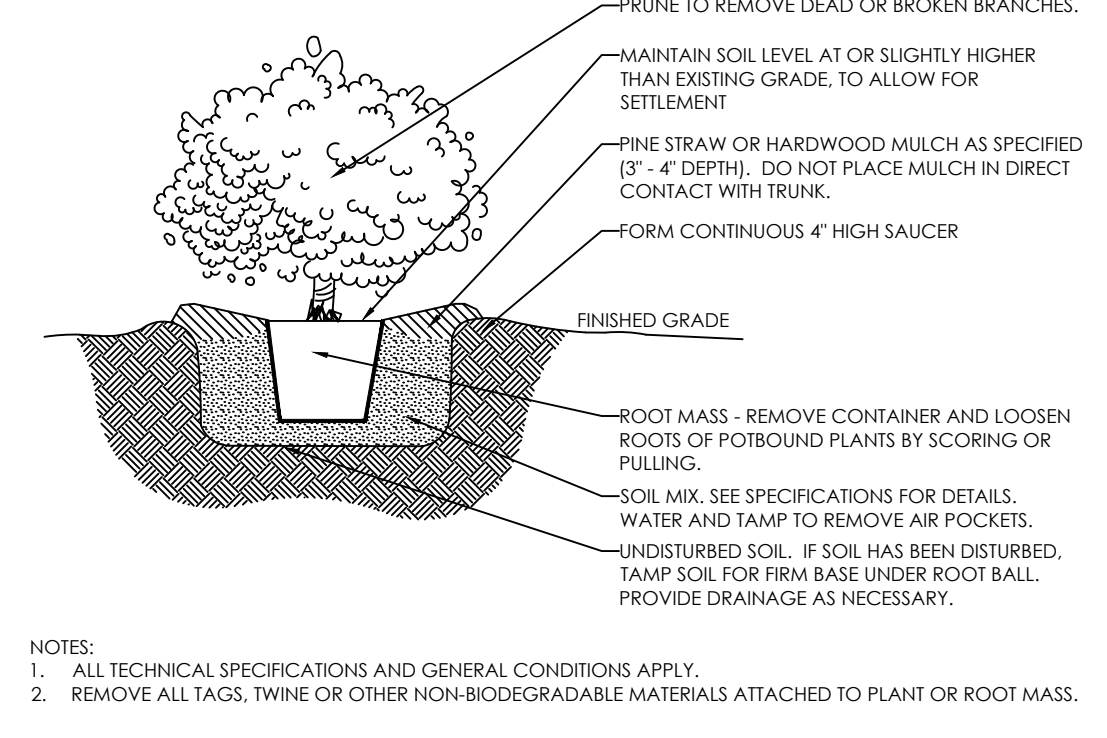
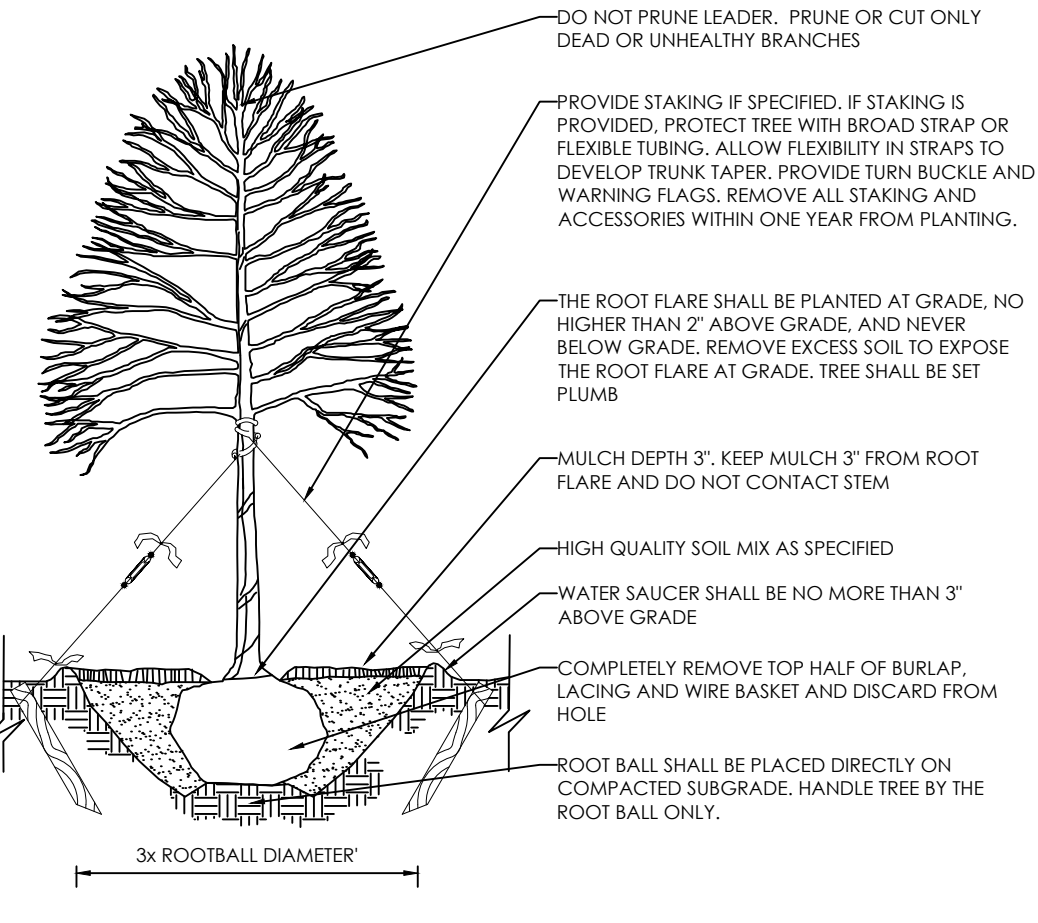


SHEET:

LANDSCAPE PLAN

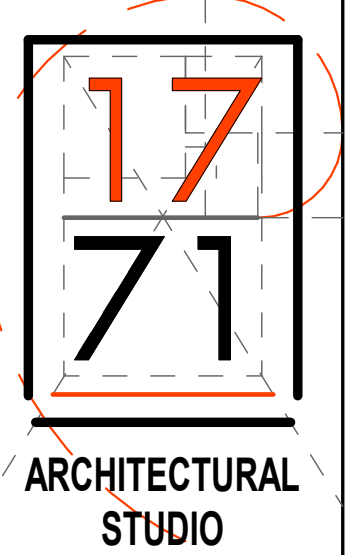
L-100

LANDSCAPE SCHEDULE						
KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	CONT.	REMARKS
CANOPY TREES						
ACBU	4	Acer buergerianum 'ABTR'	Streetwise Trident Maple	2.5' CAL	B+B	12-14 HT Full, Central Leader
QULY	6	Quercus lyrata 'Highbeam'	'Highbeam' Overcup Oak	2.5' CAL	B+B	12-14 HT Full, Central Leader
QUNU	6	Quercus nuttallii	Nuttall Oak	2.5' CAL	B+B	12-14 HT Full, Central Leader
QUPA	3	Quercus palustris	Pin Oak	2.5' CAL	B+B	12-14 HT Full, Central Leader
SUBTOTAL:	19					
UNDERSTORY TREES						
BNDH	2	Beuhia nigra 'Dura Heat'	Dura Heat River Birch	2' CAL	B+B	8-10 HT Full, 3-5 stems
LISF	4	Lagerstromia indica 'Sarah's Favorite'	Sarah's Favorite Crape Myrtle	2' CAL	B+B	8-10 HT Full, 3-5 stems
PCAP	3	Prunus cerasifera 'Atropurpurea'	Purpleleaf Plum	2' CAL	B+B	8-10 HT Full, Central Leader
SUBTOTAL:	9					
SHRUBS						
AUJA	7	Aucuba japonica	Aucuba	N/A	5 GAL	24" HT Full, no sun scorch
GAPP	7	Gardenia jasminoides Frostproof	Frostproof Gardenia	N/A	5 GAL	24" HT Full
ILBN	49	Ilex cornuta 'Burford nana'	Dwarf Burford Holly	N/A	5-7 GAL	24" HT Full
ILGS	29	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	N/A	5-7 GAL	24" HT Full
JST	5	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	N/A	5-7 GAL	24" HT Full
JSTJ	32	Juniperus sabinia 'Tamarackfolia'	Tamarix Juniper	N/A	5-7 GAL	24" HT Full
LOCR	10	Loropetalum chinense 'Ruby'	Ruby Loropetalum	N/A	5-7 GAL	24" HT Full
SUBTOTAL:	139					



- NOTES:
 1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY.
 2. REMOVE ALL TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.

C:\1771 ARCH\WALKER FUNERAL HOME, CHATHAM COUNTY ARCH\DWG 100 LANDSCAPE PLANTING.DWG PRINTED BY: TERRY, 2/17/21 @ 11:09 AM, LAST SAVED BY: TERRY



1771 ARCHITECTURAL STUDIO, LLC
 25484 Point Lookout Rd - Unit 303
 Leonardtown, MD 20659
 240-309-4119
 1771arch.com

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PRELIMINARY NOT FOR CONSTRUCTION

PROJECT DIRECTORY
CLIENT
 WALKER FUNERAL HOME
 MRS. ELIZABETH P. WALKER,
 OWNER/TRUSTEE
 12 W. FRANKLIN STREET
 CHAPEL HILL, NC 27516
 C/O ROBERT CHAMBERS, ESQ.

ARCHITECT
 1771 ARCHITECTURAL STUDIO

STRUCTURAL ENGINEER
 FOR ENGINEERS

CIVIL ENGINEER
 BALLANTINE ASSOCIATES

MEP
 BURKE DESIGN GROUP

REVISIONS	BY	DATE

WALKER FUNERAL HOME
 120 W. FRANKLIN STREET
 CHAPEL HILL, NC 27516

ARCHITECT OF RECORD
 BRIAN T. SHEPARD, AIA, NCARB, LEED

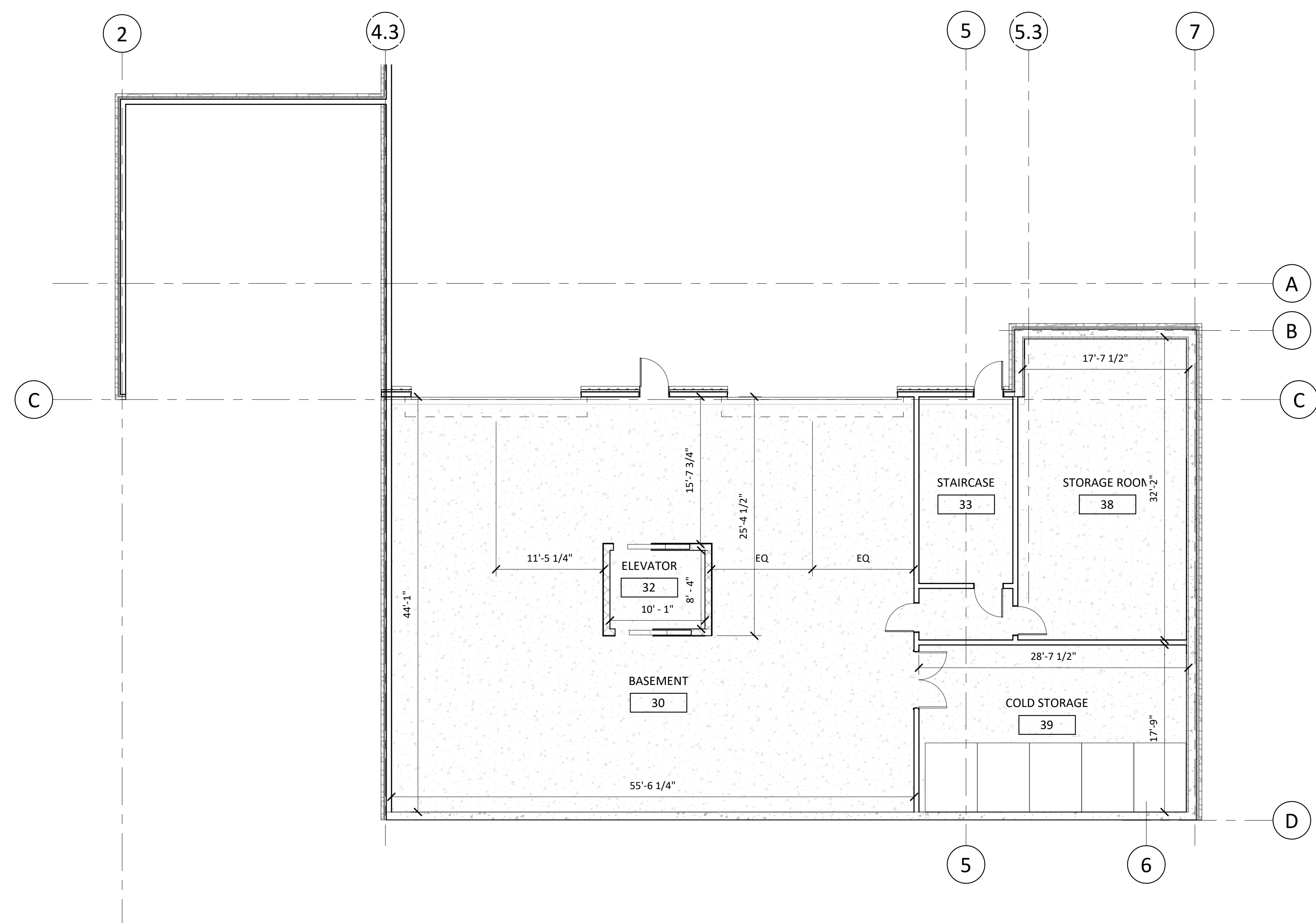
PROJECT MANAGER
 Checker

DRAWN BY Author **FIRST ISSUE DATE** 12/11/20

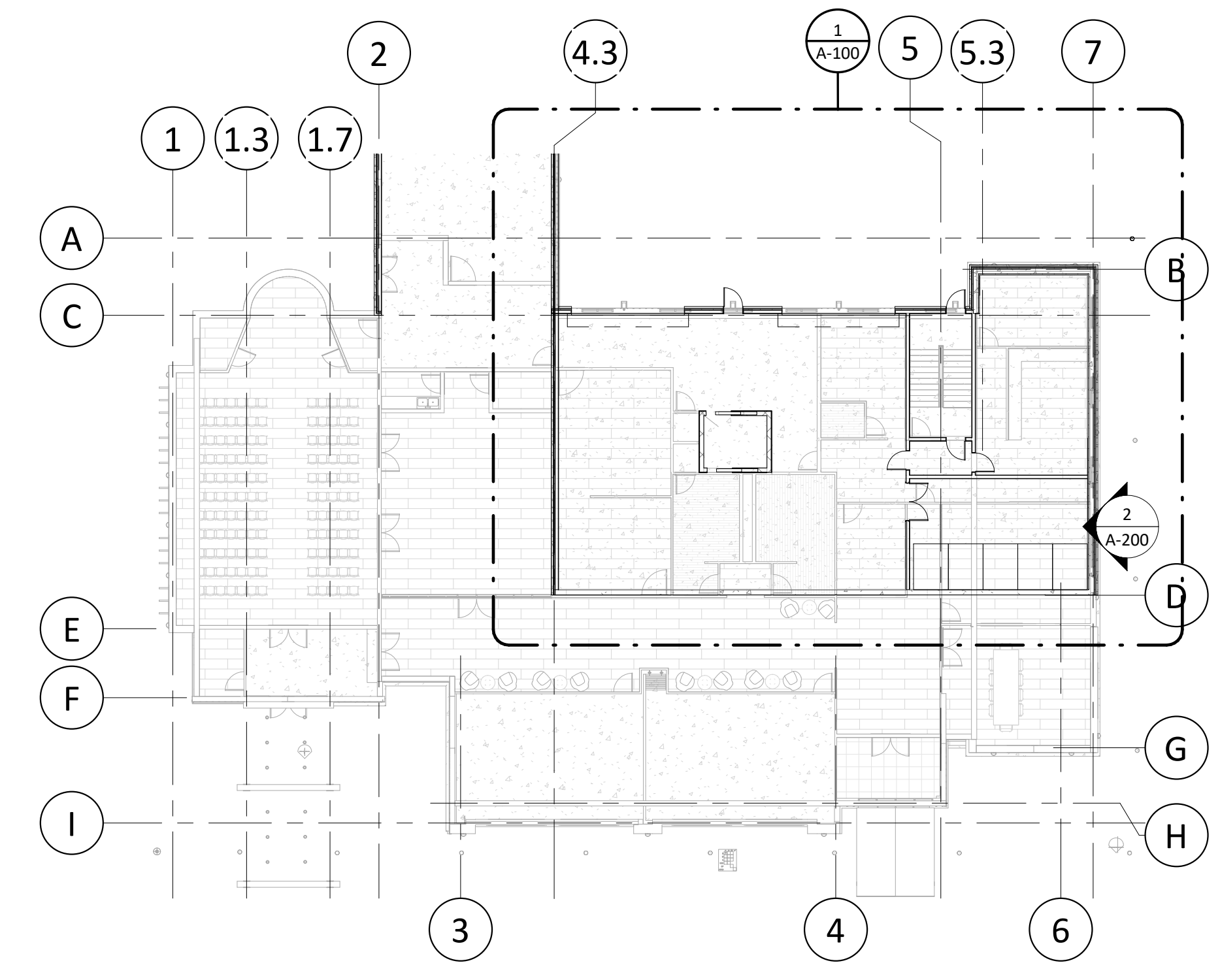
BASEMENT PLAN

PROJECT NO.
 20-9430.001

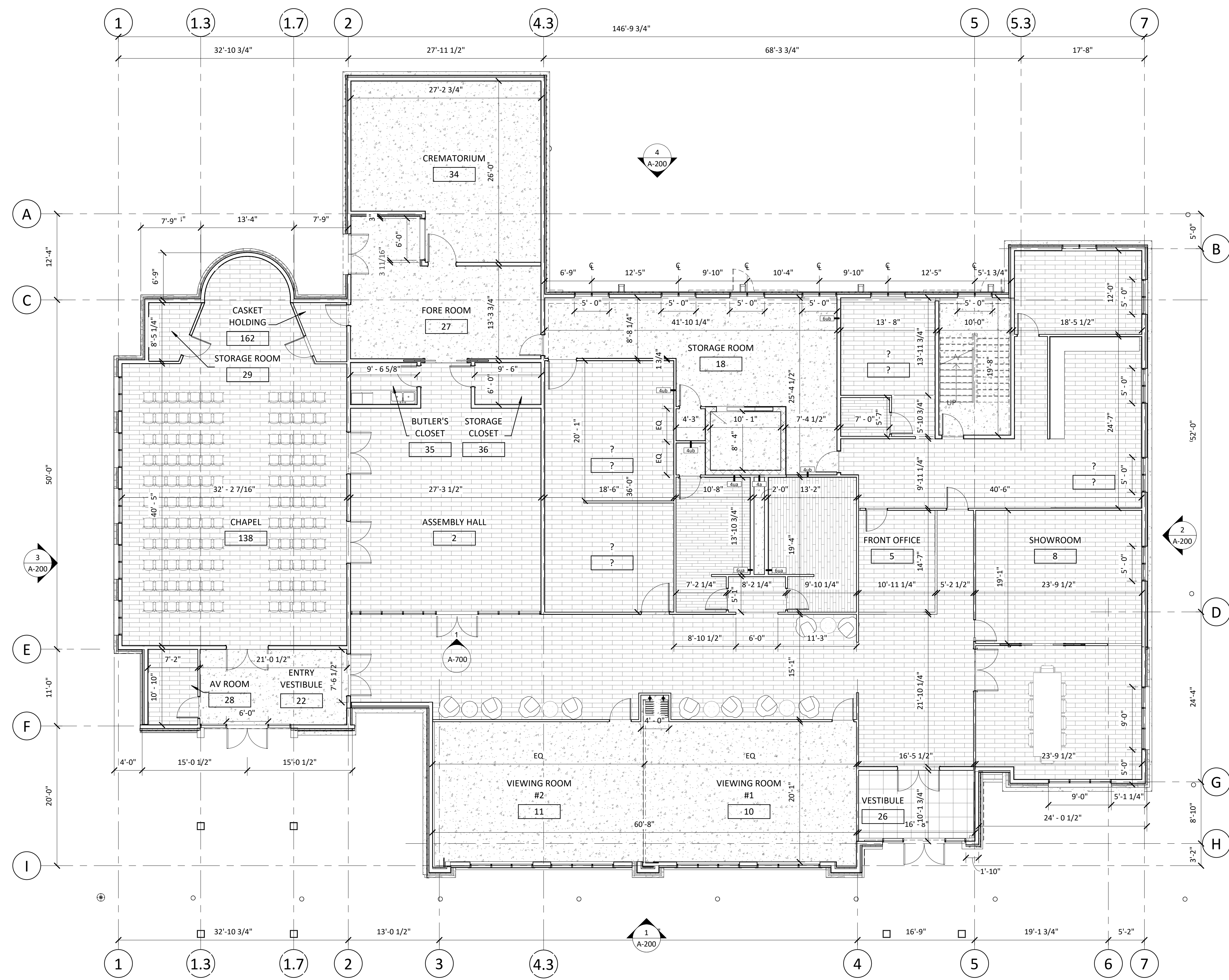
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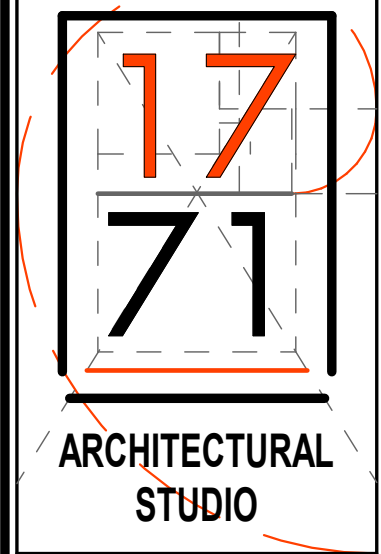
1 BASEMENT PLAN
 1/8" = 1'-0"



2 BASEMENT REFERENCE PLAN
 1" = 20'-0"



1 PROPOSED FLOOR PLAN
1/8" = 1'-0"



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Leonardtown, MD 20659
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PROJECT DIRECTORY
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12 W. FRANKLIN STREET
CHAPEL HILL, NC 27516
C/O ROBERT CHAMBERS, ESQ.

ARCHITECT
1771 ARCHITECTURAL STUDIO

STRUCTURAL ENGINEER
FOR ENGINEERS

CIVIL ENGINEER
BALLANTINE ASSOCIATES

MEP
BURKE DESIGN GROUP

REVISIONS	DATE	BY
A		

**WALKER
FUNERAL HOME**
120 W. FRANKLIN STREET
CHAPEL HILL, NC 27516

ARCHITECT OF RECORD
BRIAN T. SHEPARD, AIA, NCARB, LEED
PROJECT MANAGER
JACLYN L. VALINO, ASSOC. AIA
DRAWN BY
JLV FIRST ISSUE DATE
02/17/2021

FLOOR PLAN
PROJECT NO.
20-9430.001
SHEET NO.
A-110



1 FRONT ELEVATION
1/8" = 1'-0"



4 REAR ELEVATION
3/32" = 1'-0"



3 LEFT ELEVATION
3/32" = 1'-0"



2 RIGHT ELEVATION
3/32" = 1'-0"

EXTERIOR FINISH KEYNOTES

- ① VENTILATION FACADE - 1-3/4" X 1/2" HARDIETRIM BOARDS (BATTENS); OVER SMOOTH, HARDIEPANEL VERTICAL SIDING; OVER 2" AIR GAP; OVER 1/2" DENSGLASS SHEATHING; OVER 2" RIGID BOARD INSULATION; OVER 1/2" PLYWOOD SHEATHING; OVER 6" METAL STUD; OVER 5/8" GYPSUM WALLBOARD.
- ② VENTILATION FACADE - 3-5/8" ADHERED STONE; OVER 2" AIR GAP; OVER 1/2" DENSGLASS SHEATHING; OVER 2" RIGID BOARD INSULATION; OVER 1/2" PLYWOOD SHEATHING; OVER 6" METAL STUD; OVER 5/8" GYPSUM WALL BOARD.
- ③ VENTILATION FACADE - 3-5/8" ADHERED STONE; OVER 2" AIR GAP; OVER 1/2" DENSGLASS SHEATHING; OVER 2" RIGID BOARD INSULATION; OVER 1/2" PLYWOOD SHEATHING; OVER 8" CMU BLOCK; OVER 3/4" FURRING; OVER 5/8" GYPSUM WALL BOARD.
- ④ VENTILATION FACADE - 5/8" LAPBOARD SIDING; OVER 2" AIR GAP; OVER 1/2" DENSGLASS SHEATHING; OVER 2" RIGID BOARD INSULATION; OVER 6" METAL STUD; OVER 5/8" GYPSUM WALLBOARD.
- ⑤ STOREFRONT WINDOW TRELLIS - TREATED 1X12 PAINTED GRAY, WITH BOTTOM EDGE MOUNTED ABOVE STOREFRONT WINDOW; AFFIXING TREATED AND EVENLY SPACED TAPERED PROFILE WOODEN BRACKETS, PAINTED BLACK; CARRYING (4) FOUR, TREATED AND EVENLY SPACED 2X2s ALONG THE SPAN OF THE WOODEN BRACKETS, PAINTED BLACK
- ⑥ 4 1/2" X 1 3/4" THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM (KAWNEER TRIFAB 451T) WITH 1" INSULATED GLAZING + 1" INSULATED GLASS AT BOTTOM PANELS
- ⑦ TRIM BOARD PAINTED WHITE
- ⑧ SMOOTH - FACED CEMENT BOARD SIDING PAINTED WHITE
- ⑨ 6" GUTTER AND DOWNSPOUTS WITH BLACK FINISH
- ⑩ BEGA BOLLARD FIXTURE - SEE SL-100
- ⑪ BEGA HALF-CIRCLE UP/DOWN LIGHT FIXTURE - SEE SL-100
- ⑫ BEGA WALL MOUNTED DOWNLIGHT FIXTURE - SEE SL-100
- ⑬ BEGA WALL MOUNTED UP/DOWN LIGHT FIXTURE - SEE SL-100
- ⑭ BEGA LIGHT POLE WITH LIGHT FIXTURE - SEE SL-100
- ⑮ FASCIA, BLACK
- ⑯ TREATED 12X12 PAINTED WHITE
- ⑰ RETAINING WALL WITH STONE FINISH

FINISH KEY

- B 1** MATERIAL - BOARD AND BATTEN
MANUFACTURER - JAMESHARDIE
FINISH - WHITE
- L 1** MATERIAL - HARDIEPLANK LAP SIDING - SMOOTH
MANUFACTURER - JAMESHARDIE
FINISH - ARCTIC WHITE, SMOOTH
- S 1** MATERIAL - STONE CLADDING, ADHERED
MANUFACTURER - EL DORADO STONE
FINISH - ARCTIC WHITE, SMOOTH
- C 1** MATERIAL - CAST STONE BULLNOSE
MANUFACTURER - ARRISCRAFT OR EQUAL
FINISH - WHITE
- T 1** MATERIAL - HORIZONTAL HARDIETRIM BOARDS
MANUFACTURER - JAMESHARDIE
FINISH - WHITE
- W 1** MATERIAL - FIXED WINDOW
MANUFACTURER - PELLA OR EQUAL
FINISH - BLACK FRAME AND MUNTINS
- G 1** MATERIAL - STOREFRONT GLASS
MANUFACTURER - KAWNEER
FINISH - BLACK MULLIONS
- R 1** MATERIAL - STANDING SEAM METAL ROOF
MANUFACTURER - IMETCO
FINISH - CHARCOAL

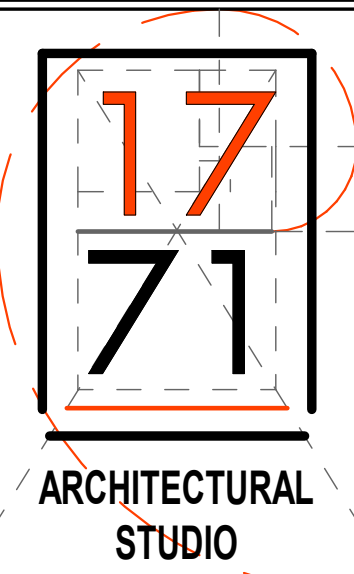
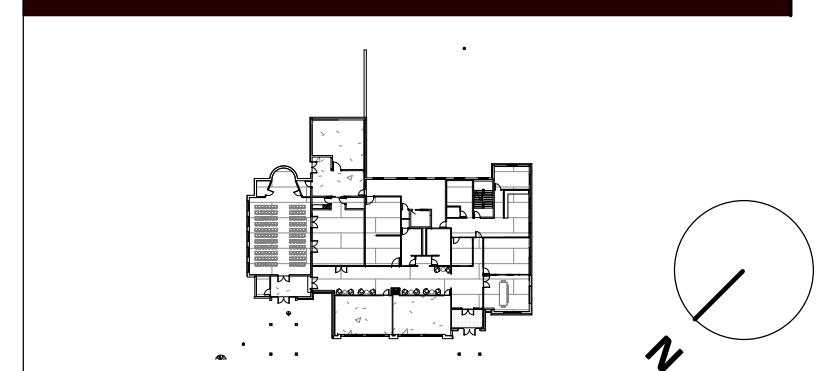
DOOR TYPES

UNIT	SIZE	LOCATION	DESCRIPTION
A	72" x 96"	MAIN ENTRY, CHAPEL ENTRY, FOREROOM EXIT	DOUBLE DOOR STOREFRONT, BLACK
B	36" x 72"	BASEMENT	SINGLE DOOR, METAL CLAD, BLACK
C	90" x 216"	BASEMENT - GARAGE DOORS	DOUBLE CAR, ROLL-UP DOOR, WHITE

WINDOW TYPES

UNIT	SIZE	LOCATION	DESCRIPTION
A	5'-0" X 8'-6"	RIGHT & REAR ELEVS.	FOUR-LITE STOREFRONT
B	5'-0" X 7'-0"	REAR ELEV.	FOUR-LITE STOREFRONT
C	8'-6" X 9'-0"	FRONT & RIGHT ELEVS.	NINE-LITE STOREFRONT
D	12'-0" X 4'-3"	FRONT ELEV. - MAIN ENTRY	FOUR-LITE STOREFRONT
E	12'-5" X 6'-7"	CHAPEL - FRONT	FOUR-LITE STOREFRONT
F	2'-0" X 6'-0"	CHAPEL	RECTANG. WIN, BLACK FRAME
G	1'-0" X 4'-0"	OFFICES	RECTANG. WIN, BLACK FRAME
H	13'-3" X 2'-6"	CHAPEL - REAR	EIGHT-LITE STOREFRONT
I	11'-0" X 2'-6"	FRONT ELEV.	FIVE-LITE STOREFRONT
J	11'-0" X 2'-6"	DORMERS	FOUR-LITE WIN., BLACK FRAME & MUNTINS

KEY PLAN



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PRELIMINARY NOT FOR CONSTRUCTION

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FIRST ISSUE DATE

ILY 02/17/2021

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