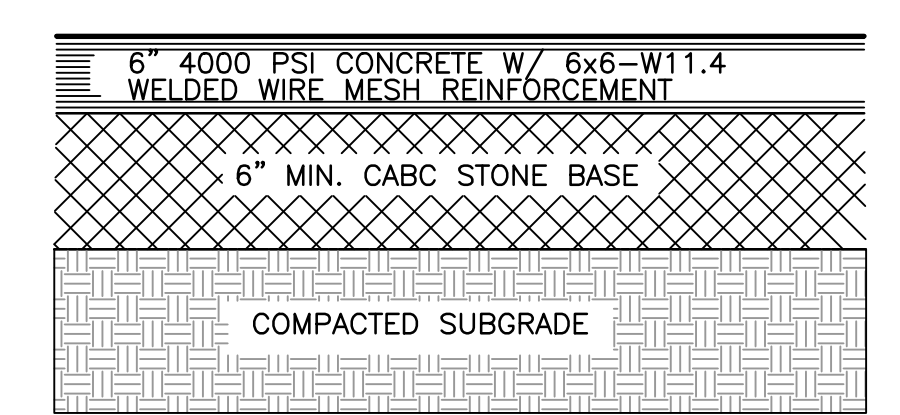
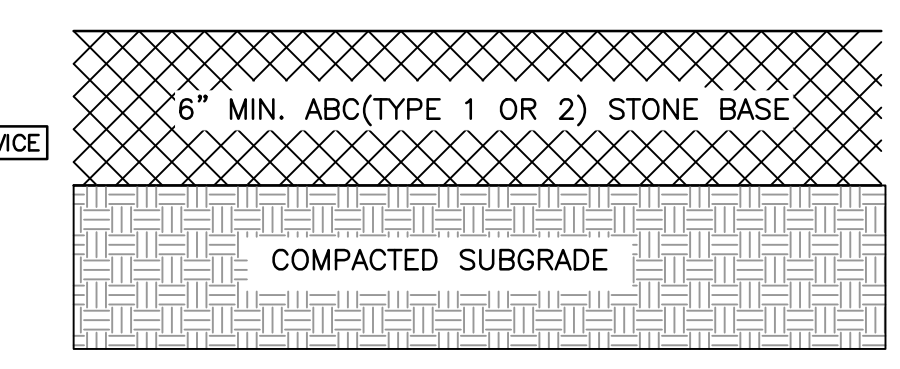


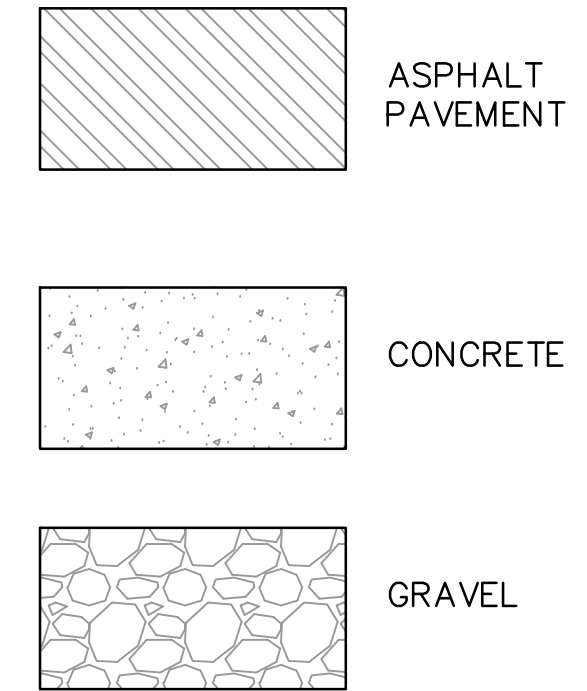
ASPHALT PAVEMENT SECTION  
NOT TO SCALE



CONCRETE PAVEMENT SECTION  
NOT TO SCALE



GRAVEL PAVEMENT SECTION  
NOT TO SCALE



**SEPTIC FIELD NOTE:**

FINAL PROPOSED SITE PLAN DIFFERS FROM THE PRELIMINARY SITE PLAN ON THE ORIGINALLY APPROVED SEPTIC PERMIT. THESE CHANGES HAVE BEEN REVIEWED BY THE CHATHAM COUNTY HEALTH DEPARTMENT AND A REVISED SEPTIC PERMIT IS NOT REQUIRED.

**LANDSCAPING NOTE:**

- ALL AREAS THAT ARE NOT WITHIN A NOTED LANDSCAPE BUFFER AREA ARE TO BE SEEDED PER SPECIFICATIONS NOTED ON SHEET C-8.
- AREA IN BETWEEN BUILDING 1 AND THE PROPOSED 15-501 BUFFER THAT IS NOT USED FOR SEPTIC FIELD WILL BE PLANTED WITH SEEDLINGS 6" ON CENTER. A COMBINATION OF EASTERN RED CEDAR, DWARF PUSSY WILLOW, RED TWIG DOGWOOD, AND DWARF FORSYTHIA.
- ENSURE ONLY PERMANENT GRASSES ARE INSTALLED IN AREAS USED FOR SEPTIC FIELD DRAINFIELD. NO TREES ARE TO BE PLANTED ABOVE THE SEPTIC FIELD AREA.

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE CLASSIFICATION	QUANTITY
	SYCOMORE	PLATANUS OCCIDENTALIS	UNDERSTORY 2" CAL.	4
	SARGENT JUNIPER/ ANDORRA JUNIPER	JUNIPERUS SARGENTII/ HORIZONTALIS 'PLUMOSA'	SHRUB 3 gal	32
	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	UNDERSTORY 2" CAL.	43
	TEA OLIVE	OSMANTHUS FRAGRANS	SHRUB 3 gal	131

**GENERAL SITE DATA**

- ZONING: CURRENT= CD NB
- EXISTING LAND USE: VACANT
- PROPOSED LAND USE: AUTOMOTIVE
- DEED BOOK 2012 PG 0866
- TOTAL TRACT = 7.07
- SETBACKS = FRONT 50', SIDE 20', REAR 20'
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED
- UNDERGROUND UTILITIES, WHERE NOT DISCERNABLE BY SURFACE APPURTENANCES (MANHOLES, CATCH BASINS, VALVES, ETC.) ARE SHOWN PER INFORMATION OBTAINED FROM ENGINEERING PLANS, UTILITY ENTITIES, SITE PLANS, AND OTHERS. THEY SHOULD BE CONSIDERED APPROXIMATE.
- LANDSCAPE REQUIREMENTS PER CHATHAM COUNTY
- PIN NO.: 9763-00-29-0735

**UTILITY DATA**

WATER TO BE PROVIDED VIA EXISTING PUBLIC WATER SOURCE. EXISTING 1" METER IS TO REMAIN ON SITE. METER SIZE AND LOCATION TO BE VERIFIED BY OWNER AND CONTRACTOR PRIOR TO CONSTRUCTION.

PRIVATE SEWER SYSTEM TO BE PROVIDED ON SITE BY OTHERS.

ALL UTILITY INSTALLATION TO BE COORDINATED WITH PROPERTY OWNER, CONTRACTOR, AND UTILITY COMPANY.

**PARKING DATA**

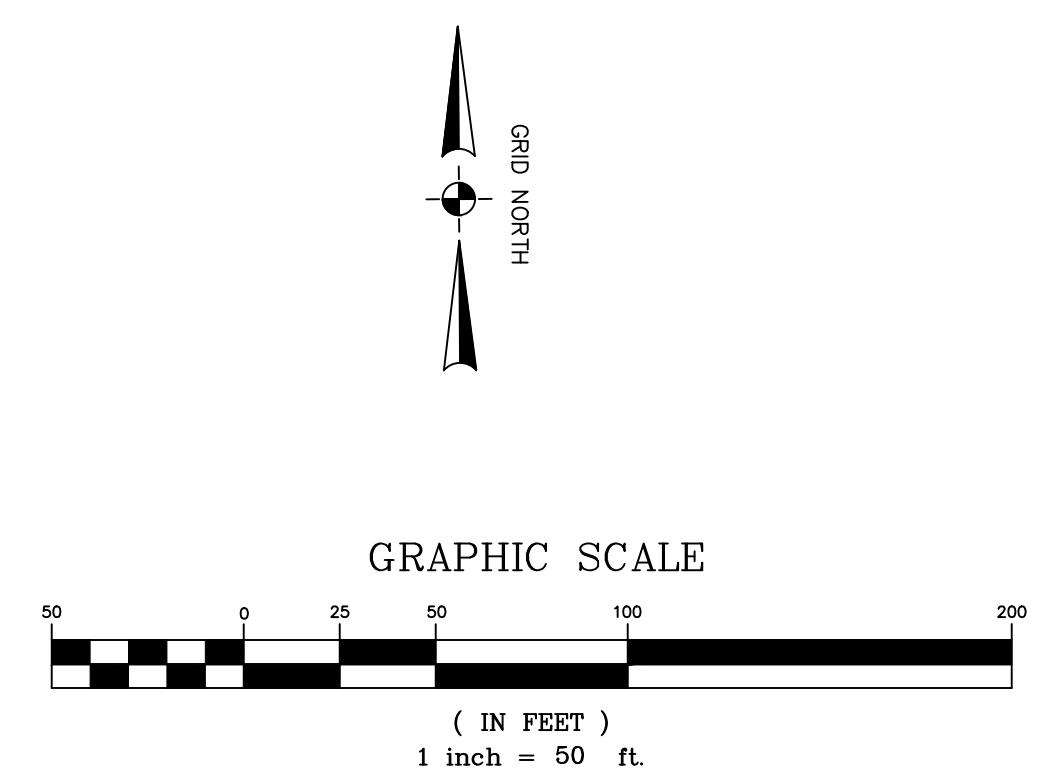
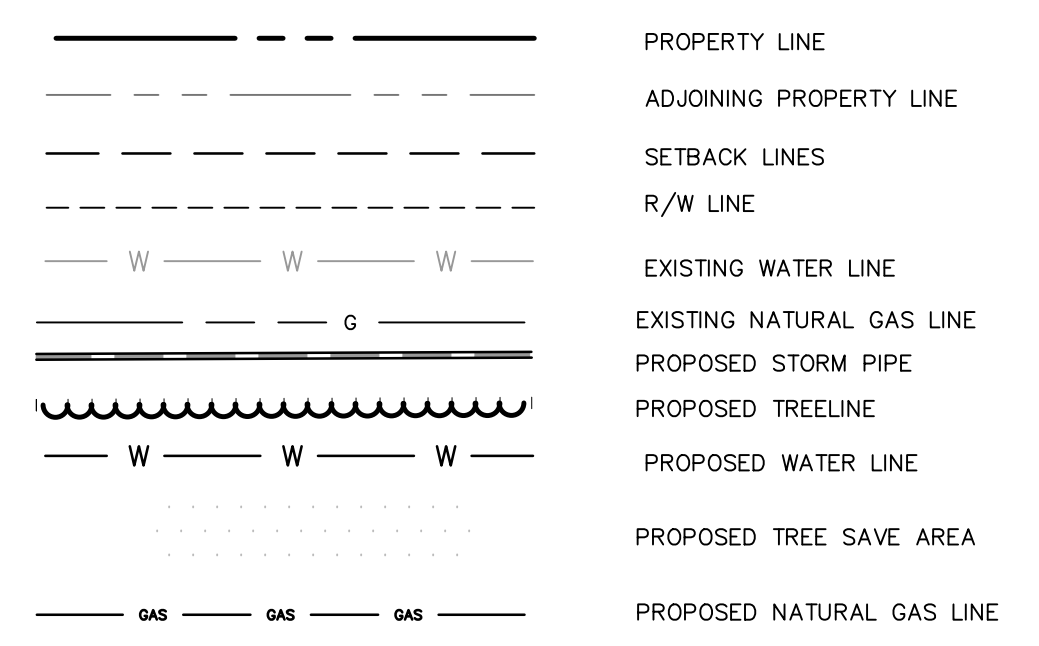
**BUILDING 1**  
4 SPACES PER SERVICE BAY, PLUS 1 SPACE PER WRECKER OR SERVICE VEHICLE

(3) BAYS = 12 SPACES REQ'D.  
(1) SERVICE VEHICLE = 1 SPACE  
13 SPACES REQUIRED FOR BUILDING 1

**BUILDING 2**  
5,000 SF FLOOR AREA  
1 SPACE PER 200 SF (IF BUILDING 2 IS TO BE A RETAIL FACILITY)  
5,000 SF / 200 SF = 25 SPACES REQUIRED

TOTAL PARKING REQUIRED= 38 SPACES  
TOTAL PARKING PROVIDED= 81 SPACES

**DRAWING LEGEND**



**Summey Engineering Associates, PLLC**  
Engineering - Land Planning - Consulting  
PO Box 968  
Asheboro, NC 27204  
Phone: 336-324-0902 Fax: 336-324-0922  
E-mail: info@summeyengineering.com  
NC Professional Engineering Firm License No. F-0336

By:	ZHG
Description:	PER CHATHAM COUNTY COMMENTS
Date:	03/18/20
No.:	1

PRELIMINARY PLANS

**OVERALL SITE PLAN**  
**SANDERS AUTOMOTIVE**  
SANDERS AUTO DRIVE  
CHATHAM COUNTY - PITTSBORO - NC

AS NOTED	MAR. 2020	CV	HMSJ	E-6112
Scale:	Date:	Drawn By:	Checked By:	Job No.:

C-3

\Users\jsummey\Projects\E-6112\_Misc\Construction - Sanders Automotive - Site Plan - Pittsboro, NC\DWG\Civil Site-E-6112\_BASE D - Sanders Auto - 03-18-2020.dwg, 3/18/2020 3:03:07 PM, Zeh, AutoCAD PDF (General Documentation)