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SITE	
LEGEND	
	EXISTING BUILDINGS
	EXISTING ASPHALT
	PROPOSED ASPHALT
	MAIN ROAD
	EXISTING PERVIOUS ROAD
	PROPOSED PERVIOUS ROAD
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	LANDSCAPE BUFFER
	EXISTING GRASS
	PROPOSED GRASS
	STORMWATER POND
	DECIDUOUS TREE
	CONIFEROUS TREE
	BRUSHLINE
	ACCESSIBLE PARKING STALL
	CONTOUR LINE
	PROPOSED SECURITY BARRIER
	PROPOSED FENCE
	EXISTING FENCE
	OWNER PROPERTY LINE
	OTHER PROPERTY LINE
	SETBACK LINE
	MANHOLE
	FIRE SERVICE LINE
	STORM WATER LINE (UNDERGROUND)
	SANITARY LINE (UNDERGROUND)
	WATER LINE (UNDERGROUND)
	GAS LINE (UNDERGROUND)
	OVERHEAD WIRES
	ELECTRICAL CABLE (UNDERGROUND)
	TELEPHONE LINE
	FIBEROPTICS LINE
	SWALE



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6601 S. Central Ave, Bedford Park IL 60638
708.887.2572



Carolina House

7990 NC Hwy 751 - Durham, NC

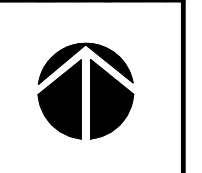
Interior Renovation

Issued for Planning and Zoning Review 2020-09-15



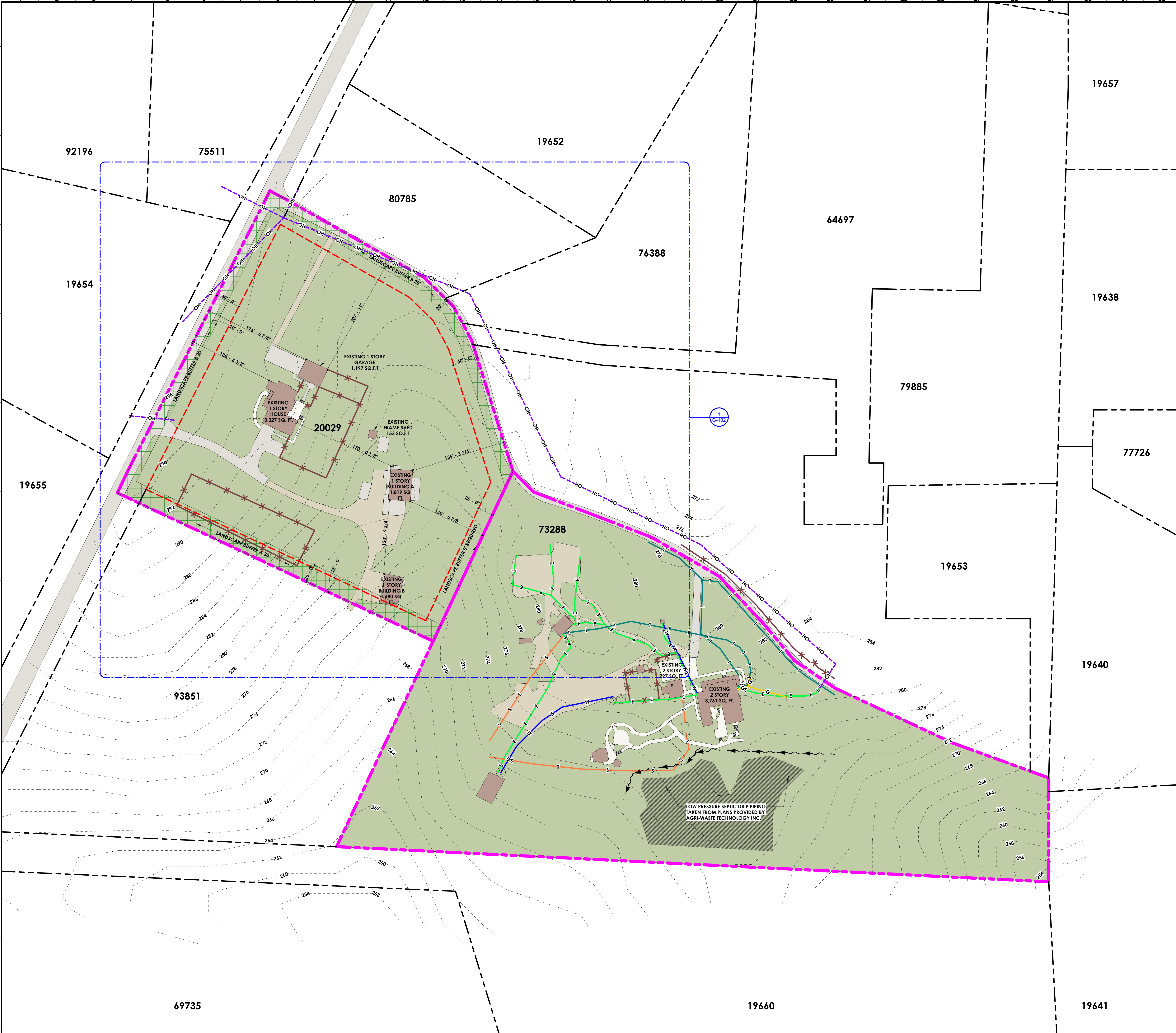
#	Issued	Date
PROJECT NUMBER	20-183	
SHEET NAME	ARCHITECTURAL SITE PLAN - EXISTING	
SHEET NUMBER	G-100	

1 ARCHITECTURAL SITE PLAN - EXISTING - AERIAL PHOTO
1" = 60'-0"

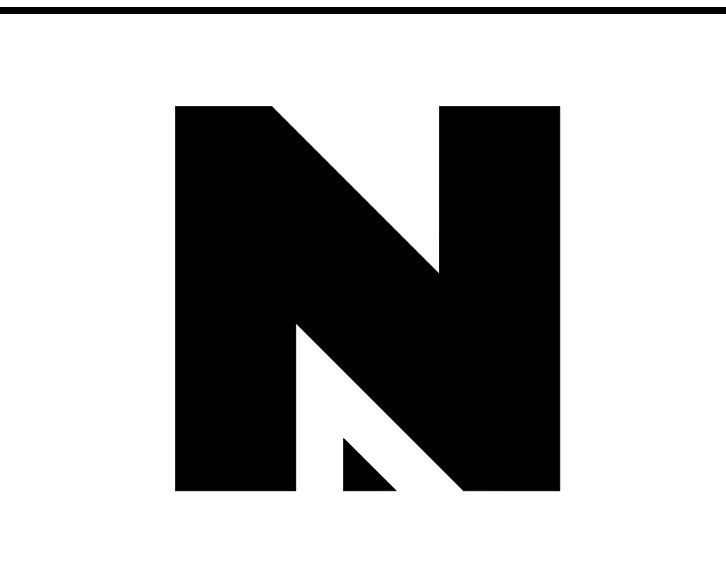


G-100

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SITE LEGEND	
[Symbol]	EXISTING BUILDINGS
[Symbol]	EXISTING ASPHALT
[Symbol]	PROPOSED ASPHALT
[Symbol]	MAIN ROAD
[Symbol]	EXISTING PERVIOUS ROAD
[Symbol]	PROPOSED PERVIOUS ROAD
[Symbol]	EXISTING SIDEWALK
[Symbol]	PROPOSED SIDEWALK
[Symbol]	LANDSCAPE BUFFER
[Symbol]	EXISTING GRASS
[Symbol]	PROPOSED GRASS
[Symbol]	STORMWATER POND
[Symbol]	DECIDUOUS TREE
[Symbol]	CONIFEROUS TREE
[Symbol]	BRUSHLINE
[Symbol]	ACCESSIBLE PARKING STALL
[Symbol]	CONTOUR LINE
[Symbol]	PROPOSED SECURITY BARRIER
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING FENCE
[Symbol]	OWNER PROPERTY LINE
[Symbol]	OTHER PROPERTY LINE
[Symbol]	SETBACK LINE
[Symbol]	MANHOLE
[Symbol]	FIRE SERVICE LINE
[Symbol]	STORM WATER LINE (UNDERGROUND)
[Symbol]	SANITARY LINE (UNDERGROUND)
[Symbol]	WATER LINE (UNDERGROUND)
[Symbol]	GAS LINE (UNDERGROUND)
[Symbol]	OVERHEAD WIRES
[Symbol]	ELECTRICAL CABLE (UNDERGROUND)
[Symbol]	TELEPHONE LINE
[Symbol]	FIBEROPTICS LINE
[Symbol]	SWALE



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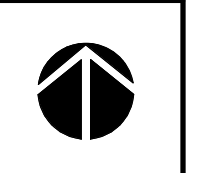
#	Issued	Date

PROJECT NUMBER: 20-183

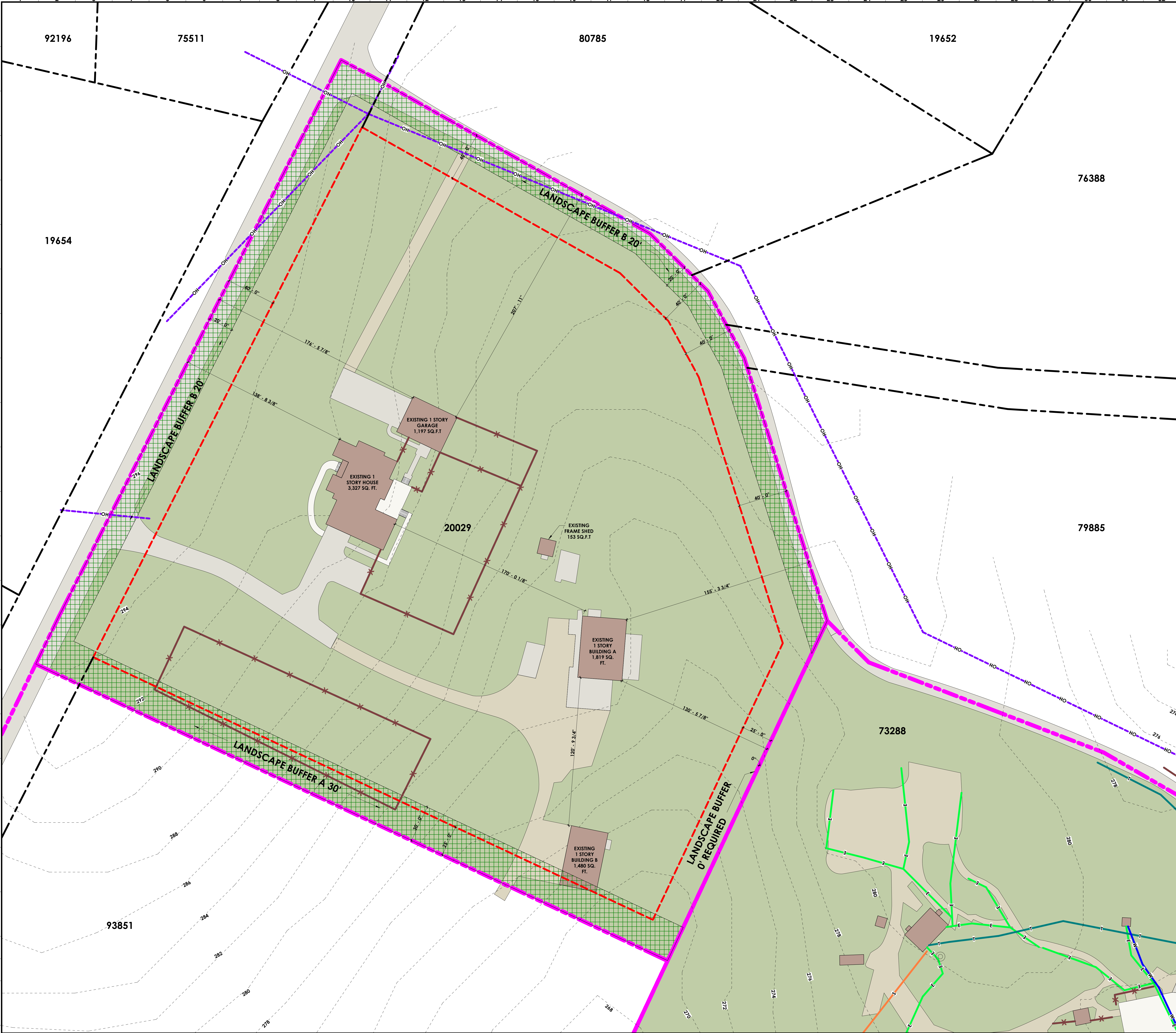
SHEET NAME: **ARCHITECTURAL SITE PLAN - EXISTING**

SHEET NUMBER: **G-101**

1 ARCHITECTURAL SITE PLAN - EXISTING - OVERALL
1" = 60'-0"



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SITE	
LEGEND	
	EXISTING BUILDINGS
	EXISTING ASPHALT
	PROPOSED ASPHALT
	MAIN ROAD
	EXISTING PERVIOUS ROAD
	PROPOSED PERVIOUS ROAD
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	LANDSCAPE BUFFER
	EXISTING GRASS
	PROPOSED GRASS
	STORMWATER POND
	DECIDUOUS TREE
	CONIFEROUS TREE
	BRUSHLINE
	ACCESSIBLE PARKING STALL
	CONTOUR LINE
	PROPOSED SECURITY BARRIER
	PROPOSED FENCE
	EXISTING FENCE
	OWNER PROPERTY LINE
	OTHER PROPERTY LINE
	SETBACK LINE
	MANHOLE
	FIRE SERVICE LINE
	STORM WATER LINE (UNDERGROUND)
	SANITARY LINE (UNDERGROUND)
	WATER LINE (UNDERGROUND)
	GAS LINE (UNDERGROUND)
	OVERHEAD WIRES
	ELECTRICAL CABLE (UNDERGROUND)
	TELEPHONE LINE
	FIBEROPTICS LINE
	SWALE



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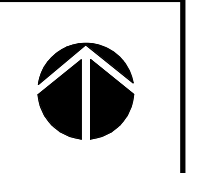
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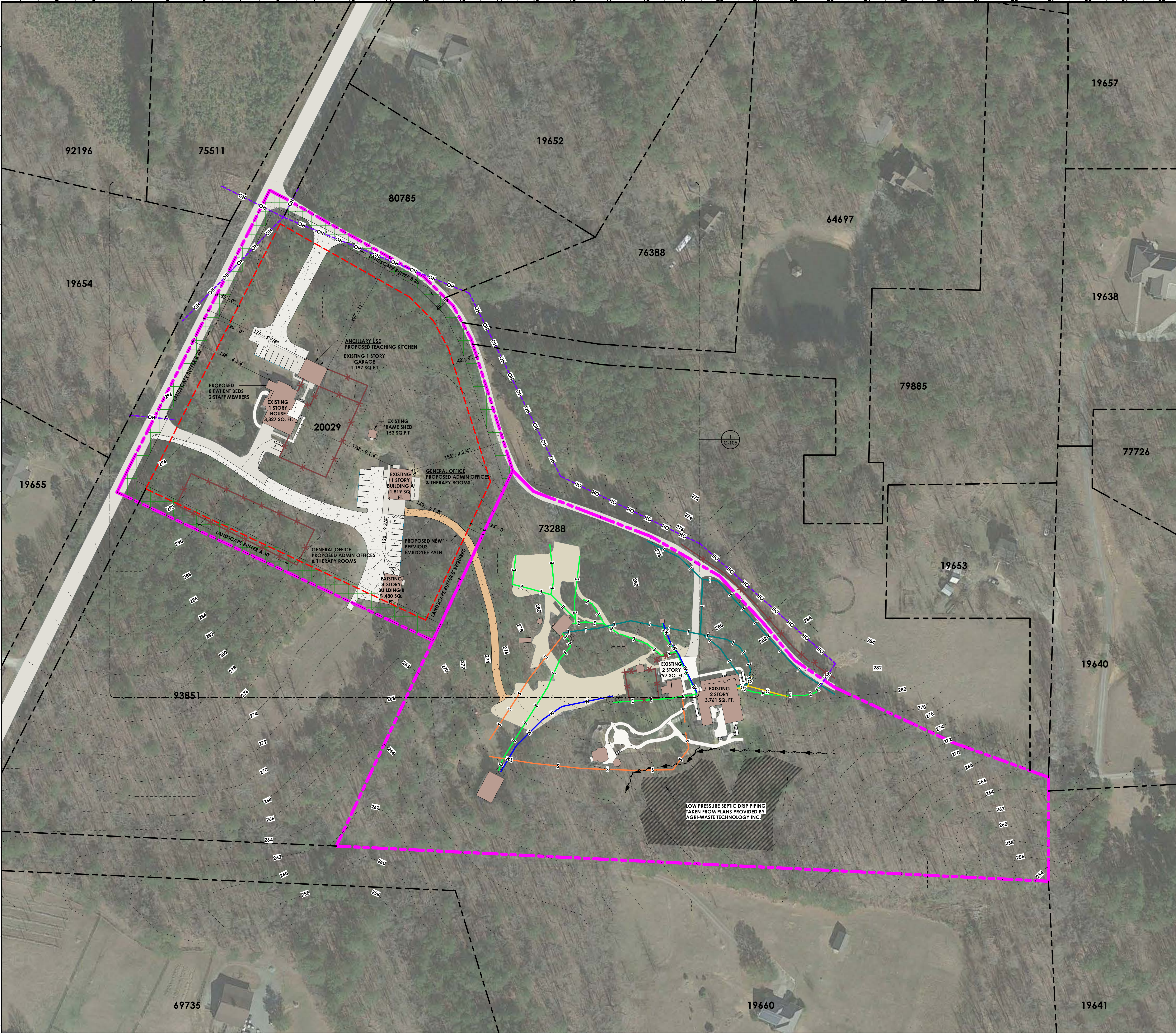
#	Issued	Date
PROJECT NUMBER	20-183	
SHEET NAME	ARCHITECTURAL SITE PLAN - EXISTING - ENLARGED	
SHEET NUMBER	G-102	

1 ARCHITECTURAL SITE PLAN - EXISTING - ENLARGED
 1" = 30'-0"

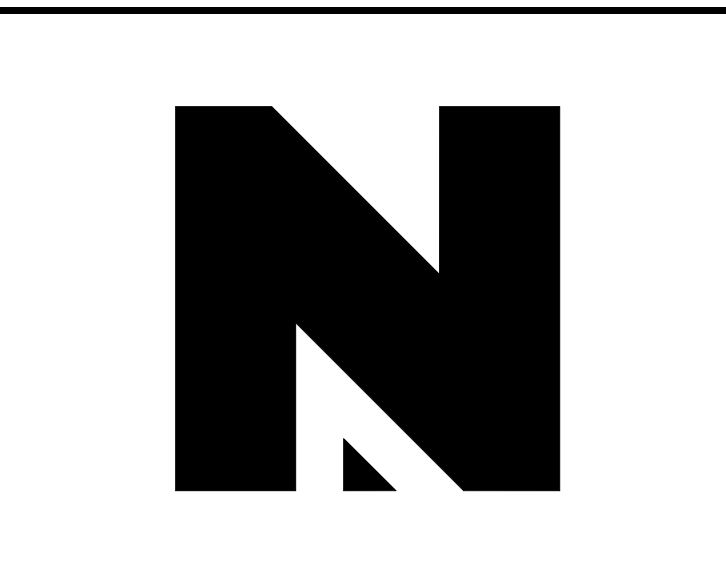


G-102

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SITE LEGEND	
	EXISTING BUILDINGS
	EXISTING ASPHALT
	PROPOSED ASPHALT
	MAIN ROAD
	EXISTING PERVIOUS ROAD
	PROPOSED PERVIOUS ROAD
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	LANDSCAPE BUFFER
	EXISTING GRASS
	PROPOSED GRASS
	STORMWATER POND
	DECIDUOUS TREE
	CONIFEROUS TREE
	BRUSHLINE
	ACCESSIBLE PARKING STALL
	55' CONTOUR LINE
	PROPOSED SECURITY BARRIER
	PROPOSED FENCE
	EXISTING FENCE
	OWNER PROPERTY LINE
	OTHER PROPERTY LINE
	SETBACK LINE
	MANHOLE
	FIRE SERVICE LINE
	STORM WATER LINE (UNDERGROUND)
	SANITARY LINE (UNDERGROUND)
	WATER LINE (UNDERGROUND)
	GAS LINE (UNDERGROUND)
	OVERHEAD WIRES
	ELECTRICAL CABLE (UNDERGROUND)
	TELEPHONE LINE
	FIBEROPTICS LINE
	SWALE



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WS-IV PA WATERSHED AREA	
BUILT UPON AREA	
PARCEL AREA:	+/- 276,446 SQ. FT.
EXISTING BUILT UPON AREA:	+/- 43,339 SQ. FT. = 15.7%
PROPOSED DEMOLISHED AREA:	+/- 12,702 SQ. FT.
PROPOSED BUILT UPON AREA:	+/- 26,309 SQ. FT.
TOTAL BUILT UPON AREA:	+/- 56,946 SQ. FT. = 20.6%
36% MAXIMUM BUILT UPON AREA ALLOWED BY CODE	

OFF-STREET PARKING REQUIREMENTS CALCULATIONS	
OFF-STREET PARKING REQUIREMENTS ARE:	
<ul style="list-style-type: none"> HOSPITAL NURSING AND CONVALESCENT HOMES <ul style="list-style-type: none"> - 1 SPACE PER 2 BEDS PLUS 1 SPACE PER STAFF DOCTOR ON DUTY GENERAL OFFICES <ul style="list-style-type: none"> - 1 SPACE PER 200 SQ. FT. OF NET RENTABLE AREA 	

PROPOSED CONDITIONS	
AFTER THE RENOVATION THE PARKING COUNT WILL BE AS FOLLOWS:	
HOSPITAL NURSING AND CONVALESCENT HOMES: <ul style="list-style-type: none"> 8 PATIENT BEDS 4 SPACES 2 STAFF DOCTORS ON DUTY 2 SPACES 	
GENERAL OFFICES: <ul style="list-style-type: none"> BUILDING A 1,819 SQ. FT. / 200 SQ. FT. 9 SPACES BUILDING B 1,480 SQ. FT. / 200 SQ. FT. 8 SPACES 	
TOTAL PARKING REQUIRED	23 SPACES
TOTAL PARKING PROPOSED	25 SPACES



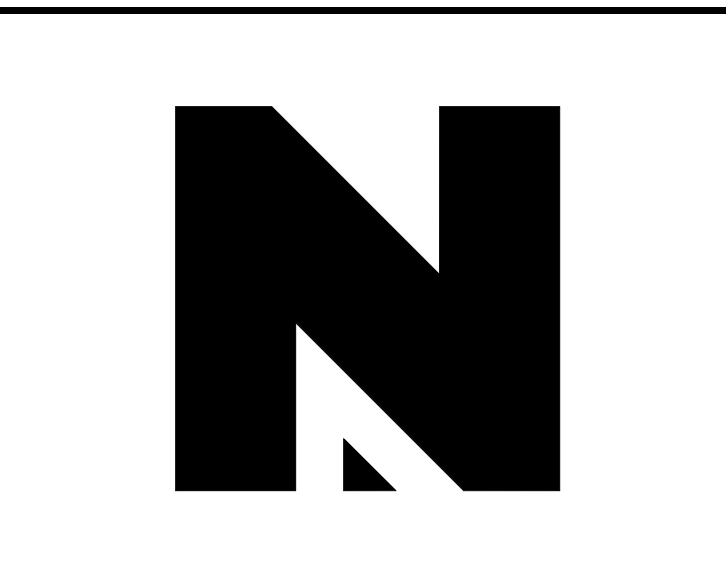
#	Issued	Date
PROJECT NUMBER	20-183	
SHEET NAME	ARCHITECTURAL SITE PLAN - PROPOSED	

1 ARCHITECTURAL SITE PLAN - PROPOSED - AERIAL PHOTO OVERLAY
1" = 60'-0"

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SITE LEGEND	
[Symbol]	EXISTING BUILDINGS
[Symbol]	EXISTING ASPHALT
[Symbol]	PROPOSED ASPHALT
[Symbol]	MAIN ROAD
[Symbol]	EXISTING PERVIOUS ROAD
[Symbol]	PROPOSED PERVIOUS ROAD
[Symbol]	EXISTING SIDEWALK
[Symbol]	PROPOSED SIDEWALK
[Symbol]	LANDSCAPE BUFFER
[Symbol]	EXISTING GRASS
[Symbol]	PROPOSED GRASS
[Symbol]	STORMWATER POND
[Symbol]	DECIDUOUS TREE
[Symbol]	CONIFEROUS TREE
[Symbol]	BRUSHLINE
[Symbol]	ACCESSIBLE PARKING STALL
[Symbol]	55' CONTOUR LINE
[Symbol]	PROPOSED SECURITY BARRIER
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING FENCE
[Symbol]	OWNER PROPERTY LINE
[Symbol]	OTHER PROPERTY LINE
[Symbol]	SETBACK LINE
[Symbol]	MANHOLE
[Symbol]	FS FIRE SERVICE LINE
[Symbol]	SW STORM WATER LINE (UNDERGROUND)
[Symbol]	S SANITARY LINE (UNDERGROUND)
[Symbol]	W WATER LINE (UNDERGROUND)
[Symbol]	G GAS LINE (UNDERGROUND)
[Symbol]	OH OVERHEAD WIRES
[Symbol]	E ELECTRICAL CABLE (UNDERGROUND)
[Symbol]	T TELEPHONE LINE
[Symbol]	FO FIBEROPTICS LINE
[Symbol]	SWALE



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WS-IV PA WATERSHED AREA	
BUILT UPON AREA	
PARCEL AREA:	+/- 276,446 SQ. FT.
EXISTING BUILT UPON AREA:	+/- 43,339 SQ. FT. = 15.7%
PROPOSED DEMOLISHED AREA:	+/- 12,702 SQ. FT.
PROPOSED BUILT UPON AREA:	+/- 26,309 SQ. FT.
TOTAL BUILT UPON AREA:	+/- 56,946 SQ. FT. = 20.6%
36% MAXIMUM BUILT UPON AREA ALLOWED BY CODE	

OFF-STREET PARKING REQUIREMENTS CALCULATIONS	
OFF-STREET PARKING REQUIREMENTS ARE:	
<ul style="list-style-type: none"> HOSPITAL NURSING AND CONVALESCENT HOMES <ul style="list-style-type: none"> 1 SPACE PER 2 BEDS PLUS 1 SPACE PER STAFF DOCTOR ON DUTY GENERAL OFFICES <ul style="list-style-type: none"> 1 SPACE PER 200 SQ. FT. OF NET RENTABLE AREA 	

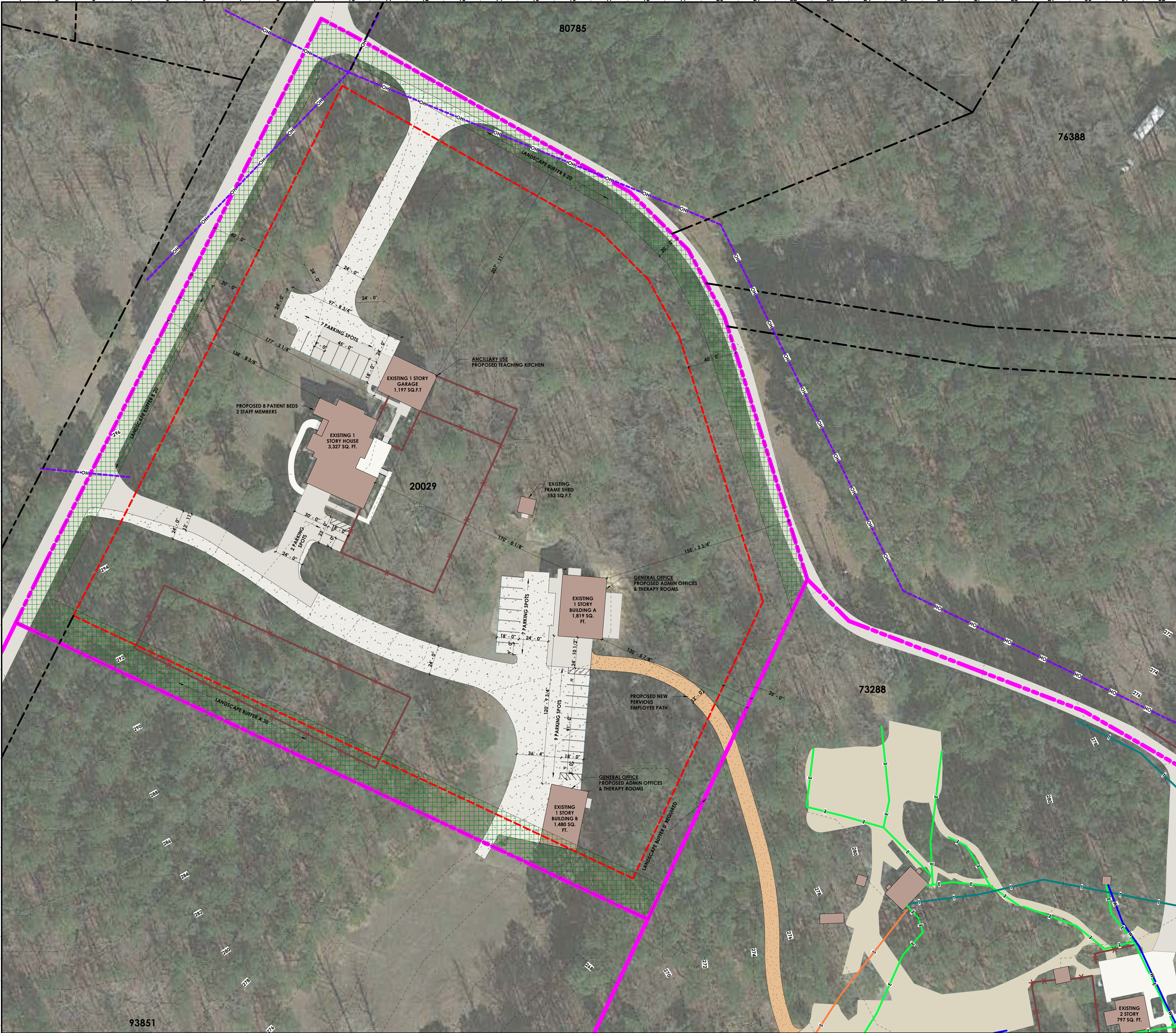
PROPOSED CONDITIONS	
AFTER THE RENOVATION THE PARKING COUNT WILL BE AS FOLLOWS:	
HOSPITAL NURSING AND CONVALESCENT HOMES: <ul style="list-style-type: none"> 8 PATIENT BEDS 4 SPACES 2 STAFF DOCTORS ON DUTY 2 SPACES 	
GENERAL OFFICES: <ul style="list-style-type: none"> BUILDING A 1,819 SQ. FT. / 200 SQ. FT. 9 SPACES BUILDING B 1,480 SQ. FT. / 200 SQ. FT. 8 SPACES 	
TOTAL PARKING REQUIRED	23 SPACES
TOTAL PARKING PROPOSED	25 SPACES



#	Issued	Date
PROJECT NUMBER	20-183	
SHEET NAME	ARCHITECTURAL SITE PLAN - PROPOSED	

1 ARCHITECTURAL SITE PLAN - PROPOSED
1" = 60'-0"

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SITE LEGEND	
[Symbol]	EXISTING BUILDINGS
[Symbol]	EXISTING ASPHALT
[Symbol]	PROPOSED ASPHALT
[Symbol]	MAIN ROAD
[Symbol]	EXISTING PAVEMENT ROAD
[Symbol]	PROPOSED PAVEMENT ROAD
[Symbol]	EXISTING SIDEWALK
[Symbol]	PROPOSED SIDEWALK
[Symbol]	LANDSCAPE BUFFER
[Symbol]	EXISTING GRASS
[Symbol]	PROPOSED GRASS
[Symbol]	STORMWATER POND
[Symbol]	DECIDUOUS TREE
[Symbol]	CONIFEROUS TREE
[Symbol]	BRUSHLINE
[Symbol]	ACCESSIBLE PARKING STALL
[Symbol]	55' CONTOUR LINE
[Symbol]	PROPOSED SECURITY BARRIER
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING FENCE
[Symbol]	OWNER PROPERTY LINE
[Symbol]	OTHER PROPERTY LINE
[Symbol]	SETBACK LINE
[Symbol]	MANHOLE
[Symbol]	FS FIRE SERVICE LINE
[Symbol]	SW STORM WATER LINE (UNDERGROUND)
[Symbol]	S SANITARY LINE (UNDERGROUND)
[Symbol]	W WATER LINE (UNDERGROUND)
[Symbol]	G GAS LINE (UNDERGROUND)
[Symbol]	OH OVERHEAD WIRES
[Symbol]	E ELECTRICAL CABLE (UNDERGROUND)
[Symbol]	T TELEPHONE LINE
[Symbol]	FO FIBEROPTICS LINE
[Symbol]	SWALE

WS-IV PA WATERSHED AREA	
PARCEL AREA:	+/- 276,446 SQ. FT.
EXISTING BUILT UPON AREA:	+/- 43,339 SQ. FT. = 15.7%
PROPOSED DEMOLISHED AREA:	+/- 12,702 SQ. FT.
PROPOSED BUILT UPON AREA:	+/- 26,309 SQ. FT.
TOTAL BUILT UPON AREA:	+/- 56,946 SQ. FT. = 20.6%
36% MAXIMUM BUILT UPON AREA ALLOWED BY CODE	

OFF-STREET PARKING REQUIREMENTS CALCULATIONS	
OFF-STREET PARKING REQUIREMENTS ARE:	
• HOSPITAL NURSING AND CONVALESCENT HOMES - 1 SPACE PER 2 BEDS PLUS 1 SPACE PER STAFF DOCTOR ON DUTY	
• GENERAL OFFICES - 1 SPACE PER 200 SQ. FT. OF NET RENTABLE AREA	
PROPOSED CONDITIONS	
AFTER THE RENOVATION THE PARKING COUNT WILL BE AS FOLLOWS:	
HOSPITAL NURSING AND CONVALESCENT HOMES:	
• 8 PATIENT BEDS	4 SPACES
• 2 STAFF DOCTORS ON DUTY	2 SPACES
GENERAL OFFICES:	
• BUILDING A 1,819 SQ. FT. / 200 SQ. FT.	9 SPACES
• BUILDING B 1,480 SQ. FT. / 200 SQ. FT.	8 SPACES
TOTAL PARKING REQUIRED	23 SPACES
TOTAL PARKING PROPOSED	25 SPACES

#	Issued	Date
PROJECT NUMBER	20-183	
SHEET NAME	ARCHITECTURAL SITE PLAN - PROPOSED - ENLARGED	
SHEET NUMBER	G-105	



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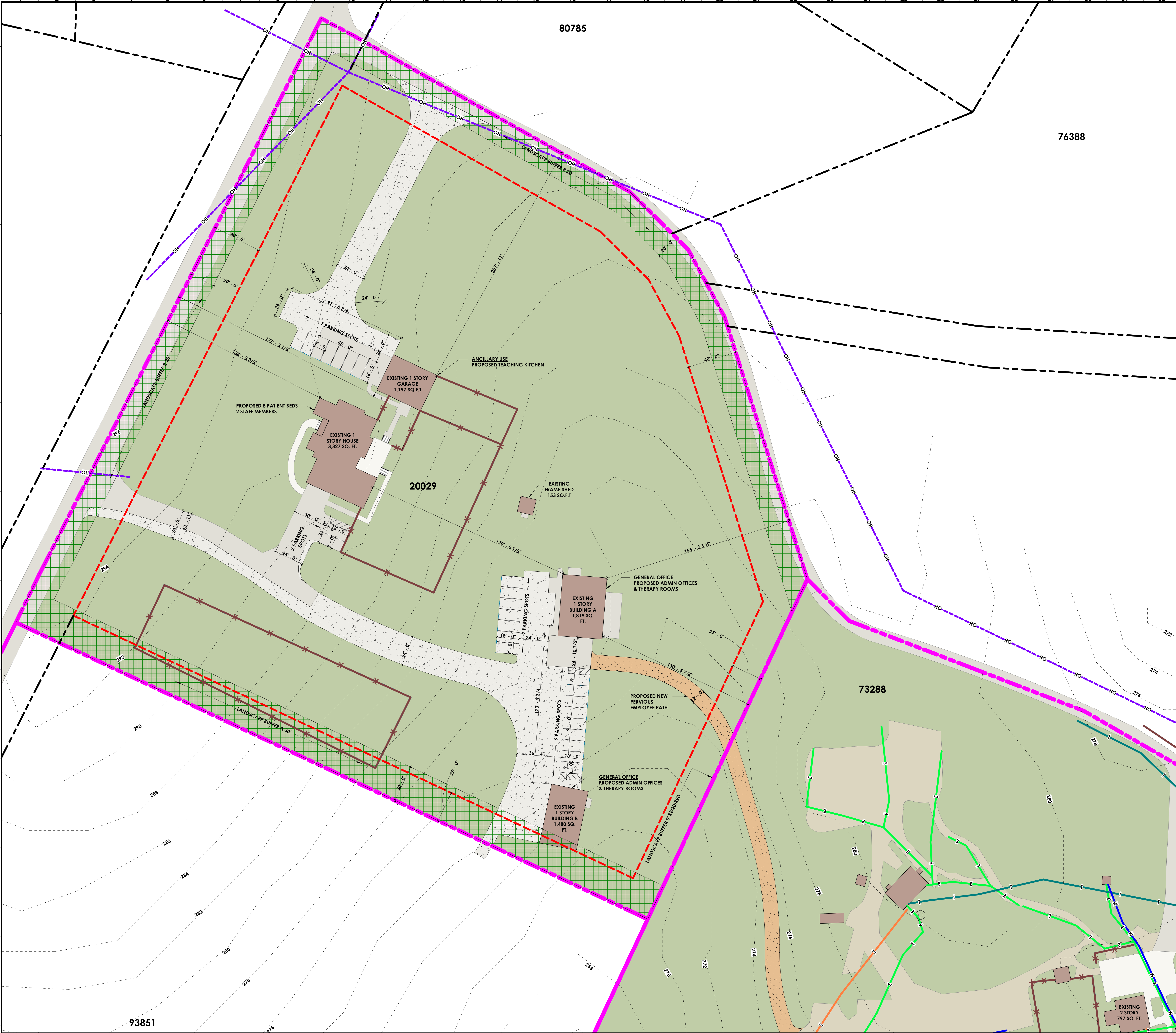
Interior Renovation

Issued for Planning and Zoning Review 2020-09-15



1 ARCHITECTURAL SITE PLAN - PROPOSED - ENLARGED - AERIAL PHOTO OVERLAY
1" = 30'-0"

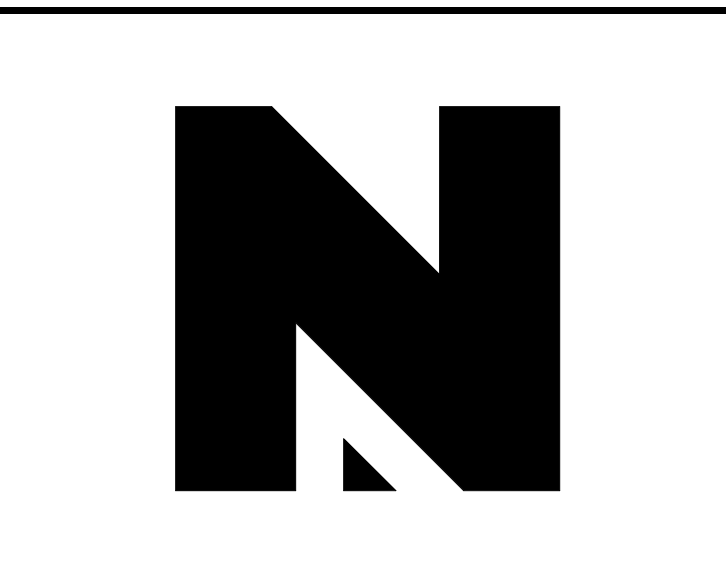
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SITE LEGEND	
[Symbol]	EXISTING BUILDINGS
[Symbol]	EXISTING ASPHALT
[Symbol]	PROPOSED ASPHALT
[Symbol]	MAIN ROAD
[Symbol]	EXISTING PERVIOUS ROAD
[Symbol]	PROPOSED PERVIOUS ROAD
[Symbol]	EXISTING SIDEWALK
[Symbol]	PROPOSED SIDEWALK
[Symbol]	LANDSCAPE BUFFER
[Symbol]	EXISTING GRASS
[Symbol]	PROPOSED GRASS
[Symbol]	STORMWATER POND
[Symbol]	DECIDUOUS TREE
[Symbol]	CONIFEROUS TREE
[Symbol]	BRUSHLINE
[Symbol]	ACCESSIBLE PARKING STALL
[Symbol]	55' CONTOUR LINE
[Symbol]	PROPOSED SECURITY BARRIER
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING FENCE
[Symbol]	OWNER PROPERTY LINE
[Symbol]	OTHER PROPERTY LINE
[Symbol]	SETBACK LINE
[Symbol]	MANHOLE
[Symbol]	FS - FIRE SERVICE LINE
[Symbol]	SW - STORM WATER LINE (UNDERGROUND)
[Symbol]	S - SANITARY LINE (UNDERGROUND)
[Symbol]	W - WATER LINE (UNDERGROUND)
[Symbol]	G - GAS LINE (UNDERGROUND)
[Symbol]	OH - OVERHEAD WIRES
[Symbol]	E - ELECTRICAL CABLE (UNDERGROUND)
[Symbol]	T - TELEPHONE LINE
[Symbol]	FO - FIBEROPTICS LINE
[Symbol]	SWALE

WS-IV PA WATERSHED AREA	
BUILT UPON AREA	
PARCEL AREA:	+/- 276,446 SQ. FT.
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TOTAL BUILT UPON AREA:	+/- 56,946 SQ. FT. = 20.6%
36% MAXIMUM BUILT UPON AREA ALLOWED BY CODE	

OFF-STREET PARKING REQUIREMENTS	
CALCULATIONS	
OFF-STREET PARKING REQUIREMENTS ARE:	
<ul style="list-style-type: none"> HOSPITAL NURSING AND CONVALESCENT HOMES <ul style="list-style-type: none"> 1 SPACE PER 2 BEDS PLUS 1 SPACE PER STAFF DOCTOR ON DUTY GENERAL OFFICES <ul style="list-style-type: none"> 1 SPACE PER 200 SQ. FT. OF NET RENTABLE AREA 	
PROPOSED CONDITIONS AFTER THE RENOVATION THE PARKING COUNT WILL BE AS FOLLOWS:	
HOSPITAL NURSING AND CONVALESCENT HOMES: <ul style="list-style-type: none"> 8 PATIENT BEDS 4 SPACES 2 STAFF DOCTORS ON DUTY 2 SPACES 	
GENERAL OFFICES: <ul style="list-style-type: none"> BUILDING A 1,819 SQ. FT. / 200 SQ. FT. 9 SPACES BUILDING B 1,480 SQ. FT. / 200 SQ. FT. 8 SPACES 	
TOTAL PARKING REQUIRED	23 SPACES
TOTAL PARKING PROPOSED	25 SPACES



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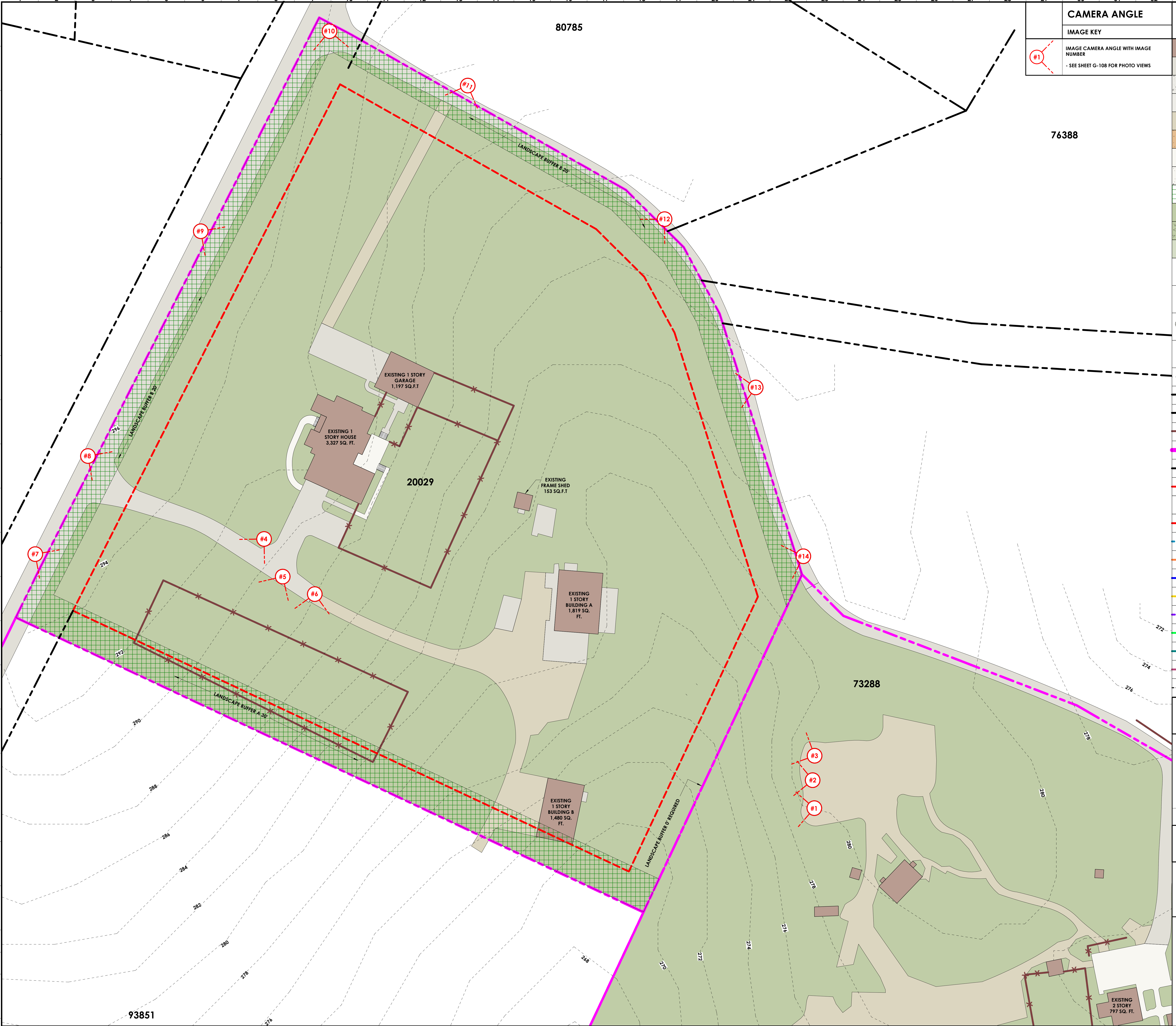
#	Issued	Date
PROJECT NUMBER	20-183	
SHEET NAME		

ARCHITECTURAL SITE PLAN - PROPOSED - ENLARGED

G-106

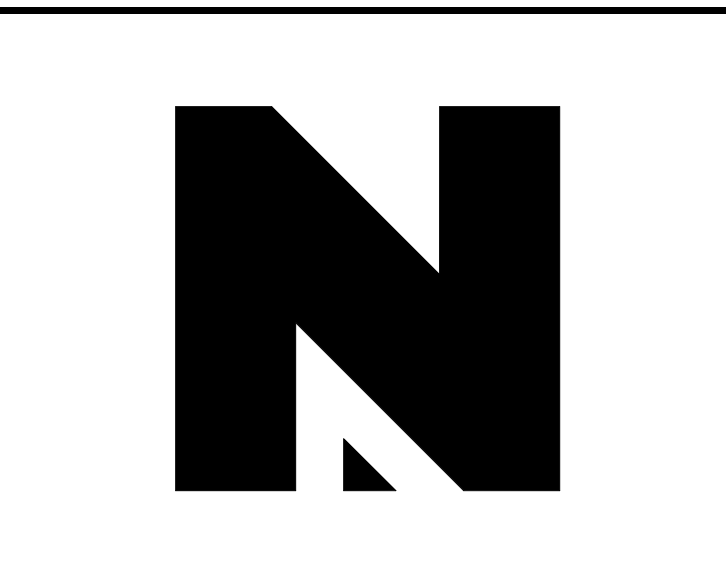
1 ARCHITECTURAL SITE PLAN - PROPOSED - ENLARGED
 1" = 30'-0"

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CAMERA ANGLE	
IMAGE KEY	
#1	IMAGE CAMERA ANGLE WITH IMAGE NUMBER
- SEE SHEET G-108 FOR PHOTO VIEWS	

SITE	
LEGEND	
[Symbol]	EXISTING BUILDINGS
[Symbol]	EXISTING ASPHALT
[Symbol]	PROPOSED ASPHALT
[Symbol]	MAIN ROAD
[Symbol]	EXISTING PAVEMENT ROAD
[Symbol]	PROPOSED PAVEMENT ROAD
[Symbol]	EXISTING SIDEWALK
[Symbol]	PROPOSED SIDEWALK
[Symbol]	LANDSCAPE BUFFER
[Symbol]	EXISTING GRASS
[Symbol]	PROPOSED GRASS
[Symbol]	STORMWATER POND
[Symbol]	DECIDUOUS TREE
[Symbol]	CONIFEROUS TREE
[Symbol]	BRUSHLINE
[Symbol]	ACCESSIBLE PARKING STALL
[Symbol]	55' CONTOUR LINE
[Symbol]	PROPOSED SECURITY BARRIER
[Symbol]	PROPOSED FENCE
[Symbol]	EXISTING FENCE
[Symbol]	OWNER PROPERTY LINE
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[Symbol]	GAS LINE (UNDERGROUND)
[Symbol]	OVERHEAD WIRES
[Symbol]	ELECTRICAL CABLE (UNDERGROUND)
[Symbol]	TELEPHONE LINE
[Symbol]	FIBEROPTICS LINE
[Symbol]	SWALE



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WS-IV PA WATERSHED AREA	
BUILT UPON AREA	
PARCEL AREA:	+/- 276,446 SQ. FT.
EXISTING BUILT UPON AREA:	+/- 43,339 SQ. FT. = 15.7%
PROPOSED DEMOLISHED AREA:	+/- 12,702 SQ. FT.
PROPOSED BUILT UPON AREA:	+/- 26,309 SQ. FT.
TOTAL BUILT UPON AREA:	+/- 56,946 SQ. FT. = 20.6%
36% MAXIMUM BUILT UPON AREA ALLOWED BY CODE	

OFF-STREET PARKING REQUIREMENTS	
CALCULATIONS	
OFF-STREET PARKING REQUIREMENTS ARE:	
<ul style="list-style-type: none"> HOSPITAL NURSING AND CONVALESCENT HOMES <ul style="list-style-type: none"> - 1 SPACE PER 2 BEDS PLUS 1 SPACE PER STAFF DOCTOR ON DUTY GENERAL OFFICES <ul style="list-style-type: none"> - 1 SPACE PER 200 SQ. FT. OF NET RENTABLE AREA 	

PROPOSED CONDITIONS	
AFTER THE RENOVATION THE PARKING COUNT WILL BE AS FOLLOWS:	
HOSPITAL NURSING AND CONVALESCENT HOMES: <ul style="list-style-type: none"> 8 PATIENT BEDS 4 SPACES 2 STAFF DOCTORS ON DUTY 2 SPACES 	
GENERAL OFFICES: <ul style="list-style-type: none"> BUILDING A 1,819 SQ. FT. / 200 SQ. FT. 9 SPACES BUILDING B 1,480 SQ. FT. / 200 SQ. FT. 8 SPACES 	
TOTAL PARKING REQUIRED	23 SPACES
TOTAL PARKING PROPOSED	25 SPACES



#	Issued	Date
PROJECT NUMBER	20-183	
SHEET NAME	ARCHITECTURAL SITE PLAN - EXISTING - PICTURE KEY PLAN	
SHEET NUMBER	G-107	

1 ARCHITECTURAL SITE PLAN - EXISTING - PICTURE KEY PLAN
 1" = 30'-0"

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PHOTO VIEW # 14



PHOTO VIEW # 10

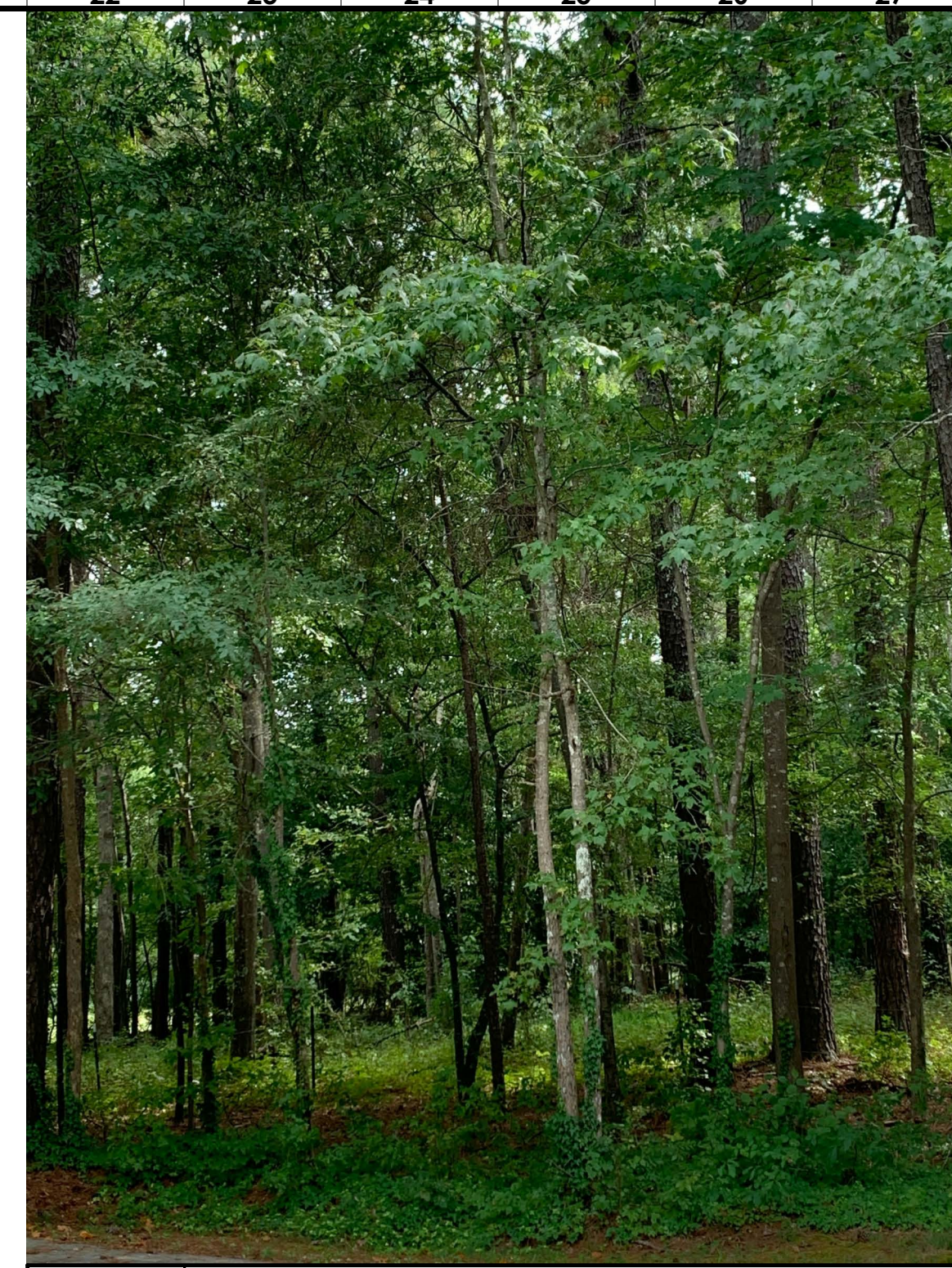


PHOTO VIEW # 6

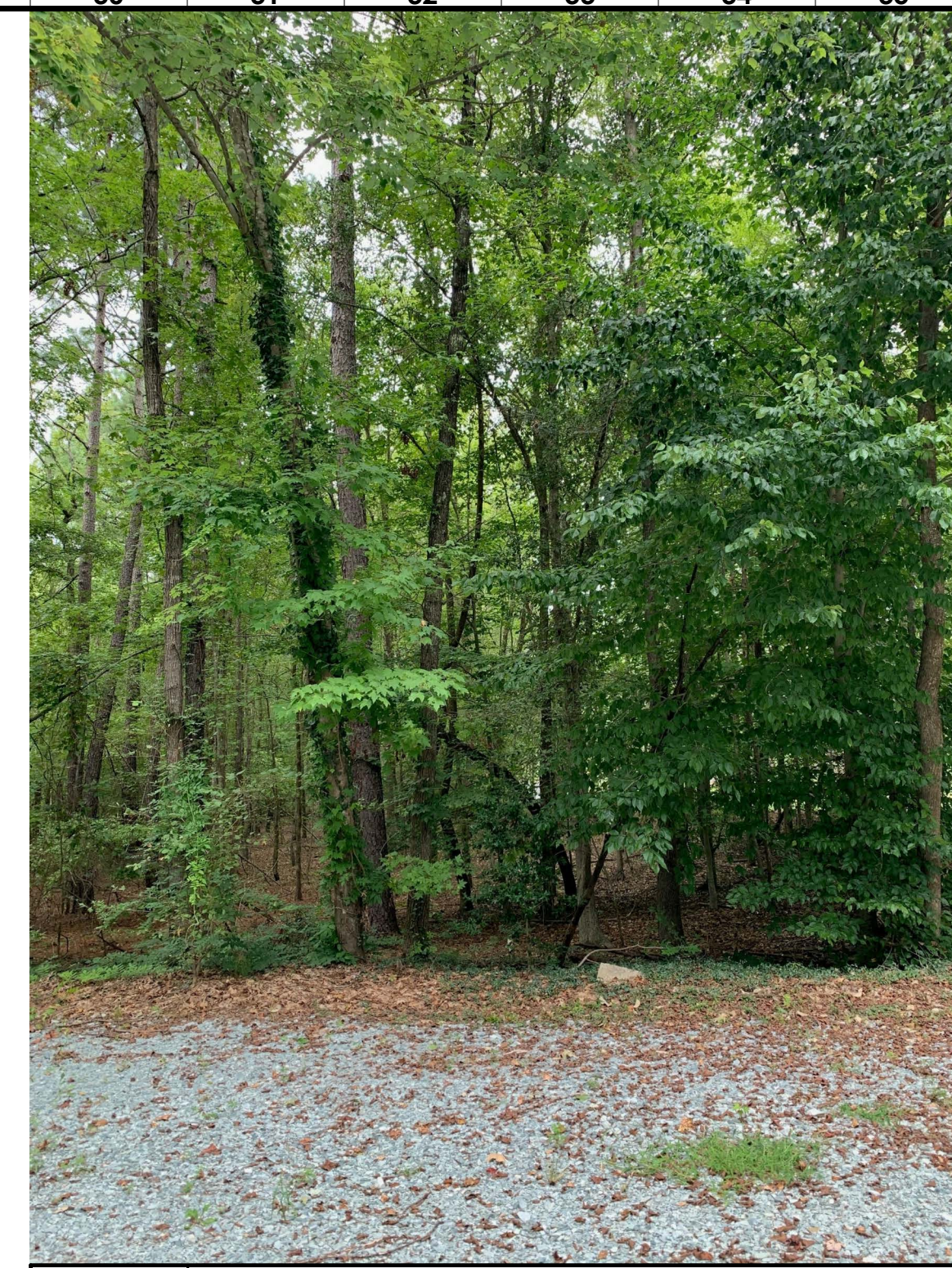


PHOTO VIEW # 3



PHOTO VIEW # 13



PHOTO VIEW # 9



PHOTO VIEW # 5



PHOTO VIEW # 2

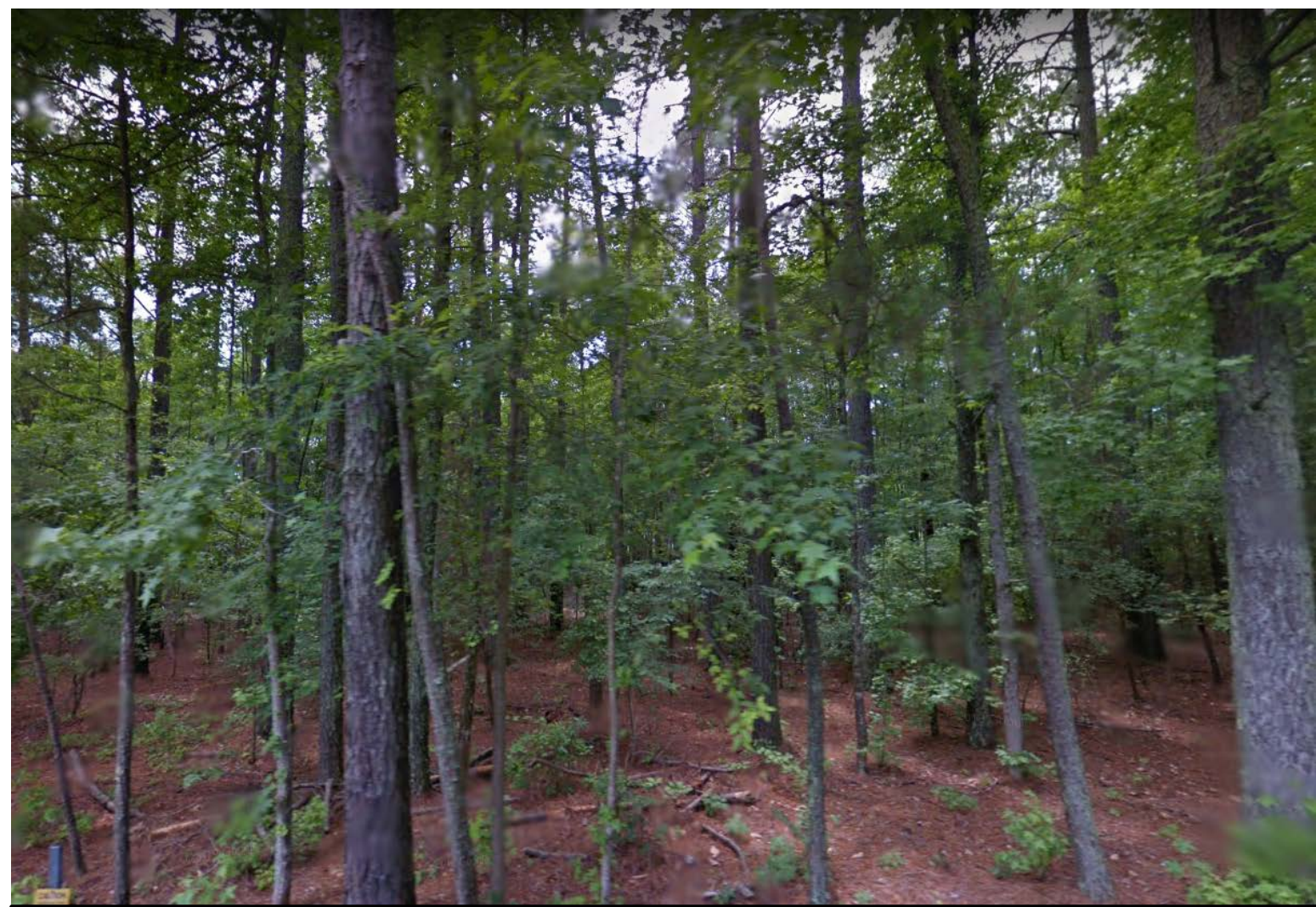


PHOTO VIEW # 12

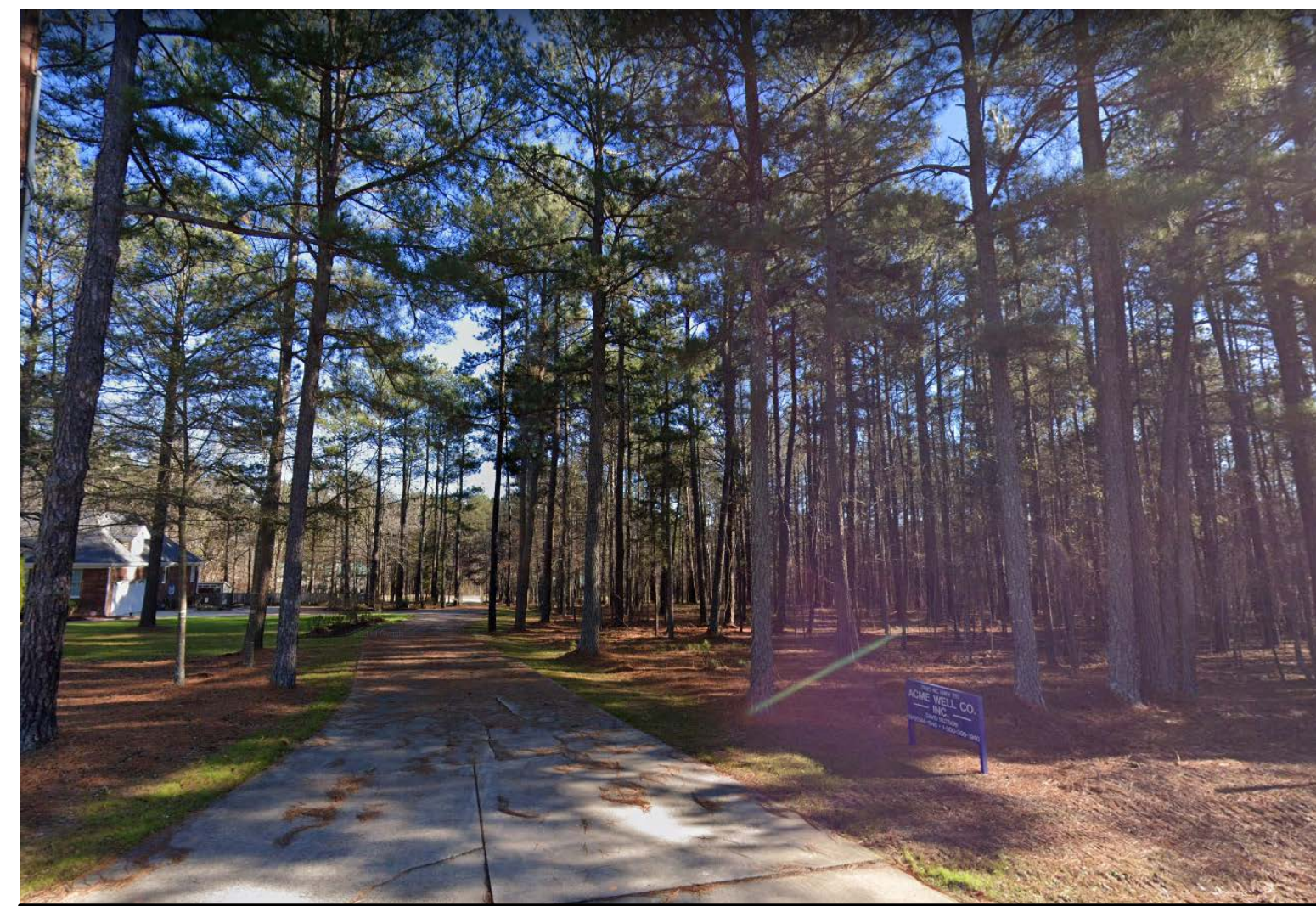


PHOTO VIEW # 8



PHOTO VIEW # 4



PHOTO VIEW # 1



PHOTO VIEW # 11

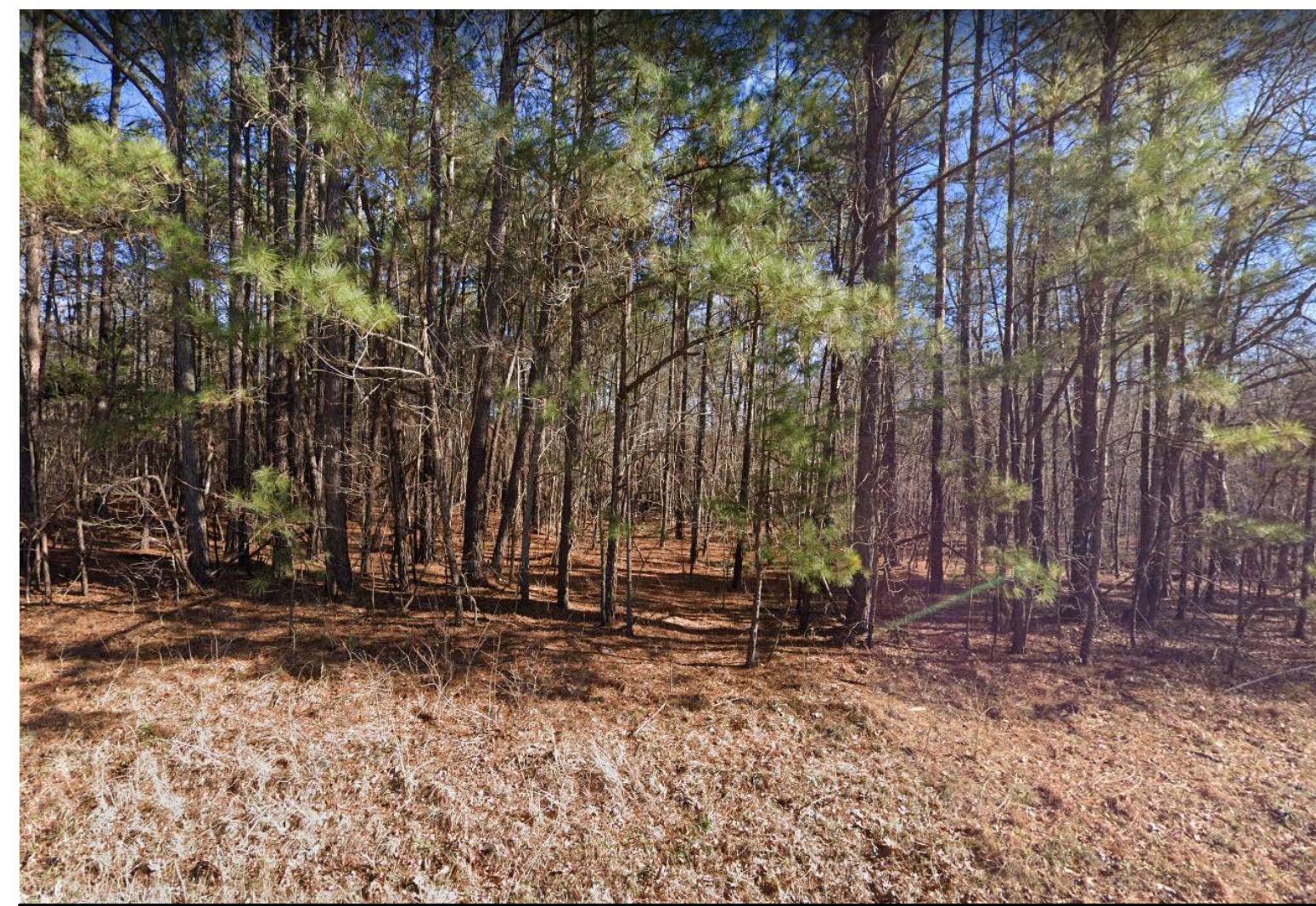


PHOTO VIEW # 7



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Carolina House
7990 NC Hwy 751 – Durham, NC
Interior Renovation

Issued for Planning and Zoning Review 2020-09-15



#	Issued	Date

PROJECT NUMBER
20-183

SHEET NAME
PHOTO VIEWS - EXHIBIT A

SHEET NUMBER

G-108