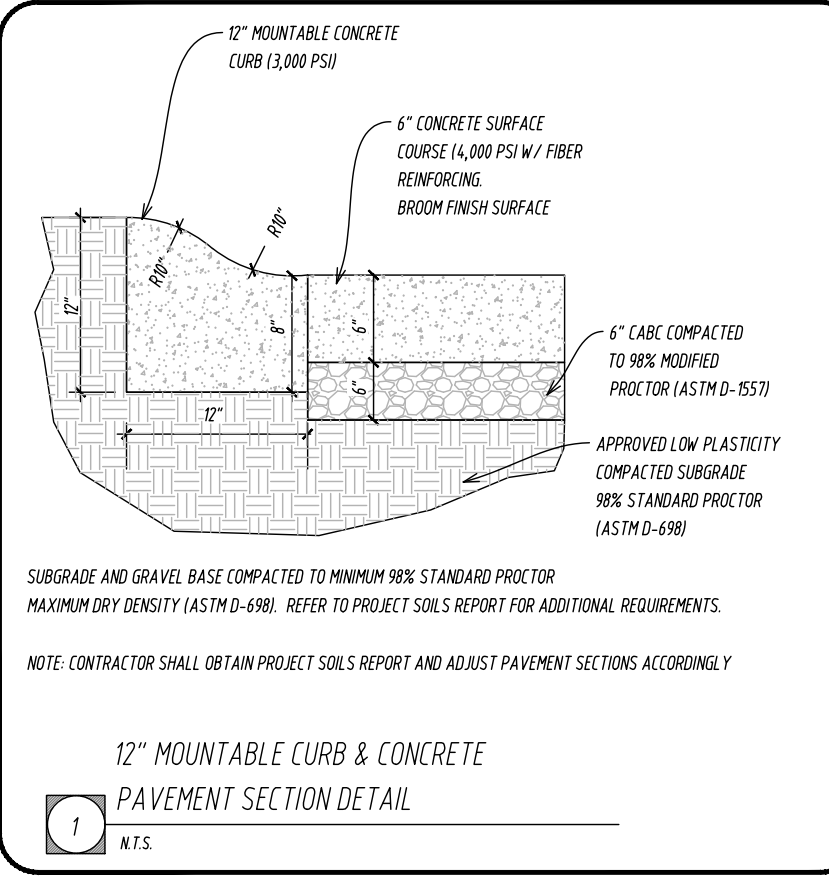


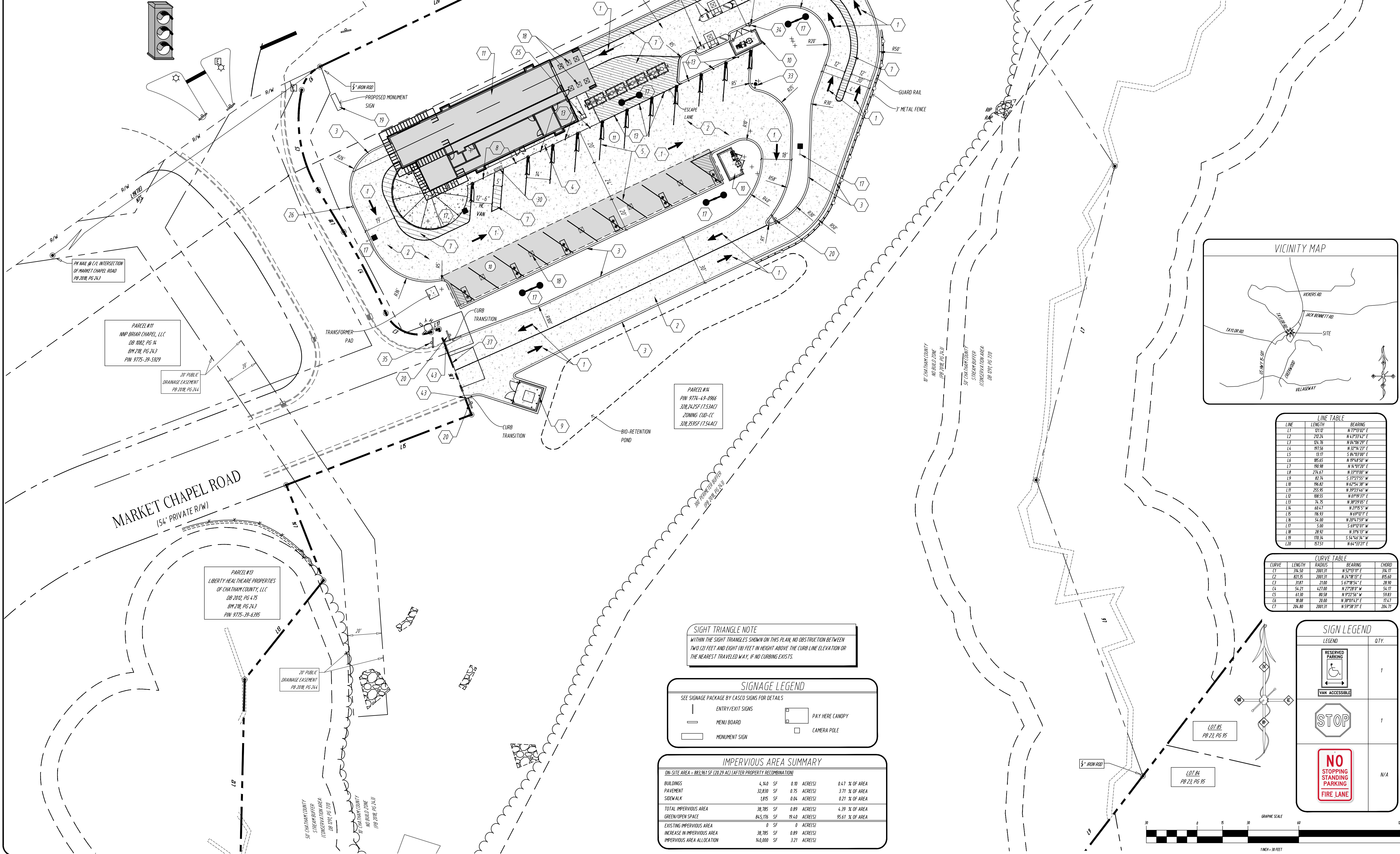
### DEVELOPMENT DATA

**DEVELOPMENT NAME:** SAM'S XPRESS CAR WASH  
**STREET ADDRESS:** MARKET CHAPEL ROAD  
**CITY/TOWN/COUNTY:** CHATHAM COUNTY, NORTH CAROLINA  
**ZIP:** 27513  
**PARCEL ID:** 9796 & 9797  
**DEED BOOK/PAGE:** 20080243 & 20080244  
**PLAT BOOK/PAGE:** (0)-CC (COMPACT COMPANY)  
**OVERLAY DISTRICT:** HWY RIVER/JORDAN LAKE/WS-IV HIGH PA WATERSEED  
**TOTAL SITE ACRES:** 88.961 SF (0.29 AC) (PROPOSED PARCEL AFTER RECOMBINATION)  
**TOTAL DISTURBED AREA:** 177 AC  
**INSIDE TOWN LIMITS:** NO  
**EXISTING USE:** VACANT  
**PROPOSED BUILDING USE:** CAR WASH  
**CAR WASH BUILDING:** 4,500 SF (20'-4" HEIGHT)  
**FLOOR AREA RATIO:** 0.50 %  
**MAX. BUILDING FLOOR AREA:** N/A  
**MIN. LOT AREA:** N/A  
**MIN. LOT WIDTH:** N/A  
**FRONT SETBACK:** N/A  
**REAR SETBACK:** N/A  
**SIDE SETBACK:** N/A  
**STREET FRONT BUFFER:** 50 FT (MINIMUM BUFFER US-15/541 FRONTAGE)  
**INTERIOR BUFFER:** 300 FT (MINIMUM BUFFER ADJACENT TO RESIDENTIAL)  
**IMPERVIOUS AREA ALLOCATION:** 14,000 SF (12.24% (LOTS 4 & 5))  
**OFF-STREET PARKING:** 1 PER 2 EMPLOYEES  
**TOTAL PROVIDED:** 10/2 = 5 SPACES REQUIRED  
**ACCESSIBLE SPACES PROVIDED:** 2 PARKING SPACES  
**BIKE/PARKING SPACES:** NO REQUIREMENT  
**PARKING SPACE DIMENSIONS:** 9' x 18' MIN



### PROPOSED VACUUM SPACE SUMMARY

#	TYPE	WIDTH (FT)	LENGTH (FT)	ANGLE
1	HE-VACUUM	19	20	60°
0	VACUUM	19	20	60°
20	VACUUM	14	20	60°
21	TOTAL SPACES			



**SIGHT TRIANGLE NOTE**  
 WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

### SIGNAGE LEGEND

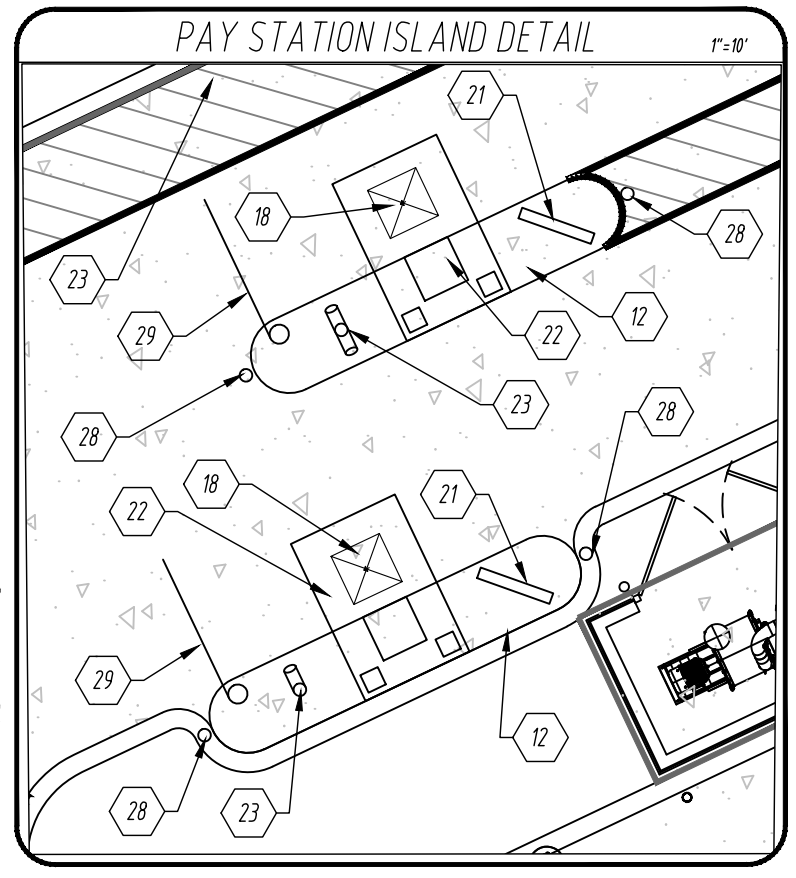
SEE SIGNAGE PACKAGE BY CASCO SIGNS FOR DETAILS

ENTRY/EXIT SIGNS	PAY HERE CANOPY
MENU BOARD	CAMERA POLE
MONUMENT SIGN	

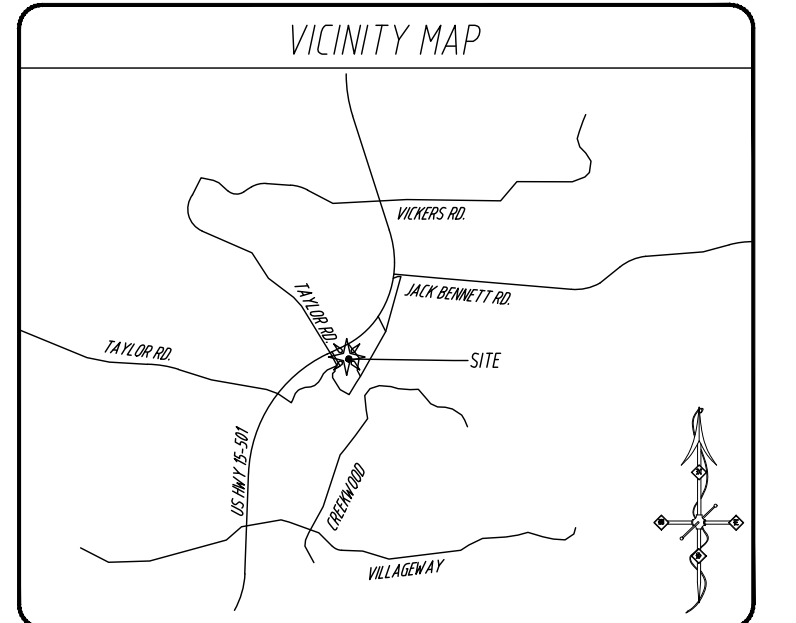
### IMPERVIOUS AREA SUMMARY

ON-SITE AREA = 88,961 SF (0.29 AC) (LATER PROPERTY RECOMBINATION)

BUILDINGS	4,500 SF	0.01 ACRES	0.47 % OF AREA
PAVEMENT	32,830 SF	0.75 ACRES	3.71 % OF AREA
SIDEWALK	1,815 SF	0.04 ACRES	0.21 % OF AREA
<b>TOTAL IMPERVIOUS AREA</b>	<b>38,785 SF</b>	<b>0.89 ACRES</b>	<b>4.39 % OF AREA</b>
OPEN/OPEN SPACE	84,176 SF	19.10 ACRES	95.61 % OF AREA
EXISTING IMPERVIOUS AREA	0 SF	0 ACRES	0 % OF AREA
INCREASE IMPERVIOUS AREA	38,785 SF	0.89 ACRES	4.39 % OF AREA
IMPERVIOUS AREA ALLOCATION	14,000 SF	0.32 ACRES	1.57 % OF AREA



- ### GENERAL NOTES
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF THE PROJECT AND THE ADJACENT PROPERTIES. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
  - THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
  - APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
  - COORDINATE ALL CURB AND STREET GRADES AT INTERSECTIONS WITH INSPECTOR.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION" AND APPLICABLE CHATHAM COUNTY CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
  - THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
  - THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
  - THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
  - ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, PRECAST DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - ALL PAINT STOPPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
  - CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEPOSITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CHATHAM COUNTY PUBLIC UTILITIES DEPARTMENTS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.



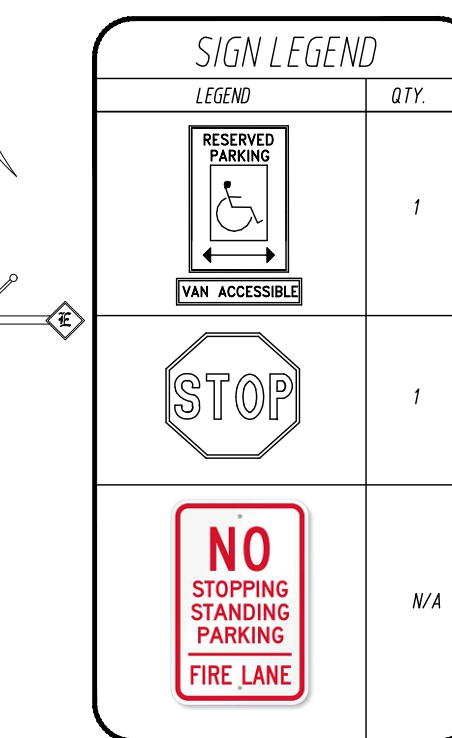
- ### KEYNOTES
- PAINT WHITE TRAFFIC ARROWS PER DETAIL SHEET
  - CONSTRUCT PAVEMENT (SEE DETAIL THIS SHEET)
  - CONSTRUCT 12" MOUNTABLE CURB (SEE DETAIL ON THIS SHEET)
  - CONSTRUCT CONCRETE WALK PER DETAIL SHEET
  - PAINT 4" WIDE STOPPED PARKING @ 60°, WHITE
  - PAINT 4" WIDE STOPPING, WHITE
  - PAINT 4" WIDE STRIPES, WHITE @ 45° 2" - 0" O.C.
  - INSTALL CONCRETE BOLLARD/ACCESSIBLE H.C. SIGN PER DETAIL
  - CONSTRUCT DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS & DIMENSIONS) NOTE: DUMPSTER ENCLOSURE TO MATCH BUILDING
  - CONSTRUCT VACUUM EQUIPMENT ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS & DIMENSIONS) NOTE: ENCLOSURE TO MATCH BUILDING
  - CONSTRUCT CAR WASH BUILDING (SEE ARCHITECTURAL PLANS FOR DETAILS)
  - CONSTRUCT RAISED CONCRETE ISLAND FOR PAY STATION
  - BOLLARD
  - PROPOSED VACUUM CANOPY (SEE ARCHITECTURAL PLANS FOR DETAILS)
  - CONSTRUCT 2" WIDE CONCRETE SPLASH PAD FOR CANOPY (NOT USED)
  - CONCRETE FLORE - SEE DETAIL
  - PROPOSED PEDESTRIAN SCALE LIGHT POLE
  - CANOPY MOUNTED LIGHT - SEE PLAN BY OTHERS
  - PROPOSED MONUMENT SIGN - FOR REFERENCE ONLY (EXACT LOCATION TO BE COORDINATED WITH CONSTRUCTION MANAGER, SIGNAGE TO BE PERMITTED SEPARATELY BY OTHERS)
  - PROPOSED ENTRY/EXIT SIGNS - FOR REFERENCE ONLY (EXACT LOCATION TO BE COORDINATED WITH CONSTRUCTION MANAGER, SIGNAGE TO BE PERMITTED SEPARATELY BY OTHERS)
  - PROPOSED MENU BOARD (EXACT LOCATION TO BE COORDINATED WITH CONSTRUCTION MANAGER, SIGNAGE TO BE PERMITTED SEPARATELY BY OTHERS)
  - PROPOSED PAY HERE (EXACT LOCATION TO BE COORDINATED WITH CONSTRUCTION MANAGER, SIGNAGE TO BE PERMITTED SEPARATELY BY OTHERS)
  - PROPOSED CAMERA POLES (EXACT LOCATION TO BE COORDINATED WITH CONSTRUCTION MANAGER, SIGNAGE TO BE PERMITTED SEPARATELY BY OTHERS)
  - PROPOSED VACUUM CANOPY FOUNDATION LOCATION (SEE STRUCTURAL PLANS FOR FOUNDATION DETAILS - INSTALL CORNER GUARDS PER ARCHITECTURAL PLANS)
  - PROPOSED MAT CLEANER LOCATION (SEE ELECTRICAL/PLUMBING PLANS FOR CONNECTIONS)
  - PROPOSED STOP LIGHT LOCATION (SEE ELECTRICAL SITE PLAN FOR CONNECTIONS). MOUNT ON 7'-6" TALL CONCRETE PAD FLUSH WITH TOP OF CURB
  - PROPOSED FENCE
  - PROPOSED 6" CONCRETE BOLLARD (SHALL NOT BLOCK VIEW OF MENU BOARD)
  - PROPOSED TRAFFIC GATE
  - ADA COMPLIANT TACTILE WARNING SURFACE
  - ASPHALT/CONCRETE TRANSITION, SEE DETAIL
  - NOSE DOWN CURB, SEE DETAIL
  - FIRE AIR STATION WITH 4 BOLLARDS
  - INSTALL 6" x 6" CONCRETE PAD FLUSH WITH TOP OF CURB FOR CAMERA POLE
  - "STOP" SIGN PER CITY AND MUTED STANDARDS
  - 24" SOLID WHITE STOP BAR
  - MATCH EXISTING PAVEMENT
  - GAS STATION CANOPY AND PUMP ISLANDS WITH BOLLARDS (SEE ARCHITECTURAL PLANS TO VERIFY DIMENSIONS) (NOT USED)
  - EMERGENCY PHONE AND EMERGENCY SHUTOFF, SEE PLAN BY OTHERS (NOT USED)
  - UNDERGROUND STORAGE TANKS, SEE PLANS BY OTHERS (NOT USED)
  - RETAINING WALL LESS THAN 30" HEIGHT, DESIGN BY OTHERS (NOT USED)
  - HEAVY-DUTY ASPHALT PAVEMENT, REFER TO PROJECT GEOTECHNICAL REPORT
  - MATCH EXISTING CURB AND GUTTER
  - REMOVE TREE RISERS AND HOOP BOLLARD. SEE PLANS BY OTHERS (NOT USED)

### LINE TABLE

LINE	LENGTH	BEARING
L1	0112	N79°00'00"E
L2	2024	N53°00'00"E
L3	1828	N30°00'00"E
L4	9756	N37°22'00"E
L5	1070	S30°00'00"E
L6	10045	N0°00'00"W
L7	78630	N16°00'00"E
L8	27437	N33°00'00"W
L9	6274	S37°00'00"W
L10	10882	N62°00'00"W
L11	20585	N0°00'00"W
L12	10855	N0°00'00"E
L13	7625	N30°00'00"E
L14	10447	N0°00'00"W
L15	10859	N0°00'00"E
L16	5440	N0°00'00"W
L17	530	S0°00'00"W
L18	2892	N37°00'00"W
L19	10836	S53°00'00"W
L20	6153	N64°00'00"E

### CURVE TABLE

CURVE	LENGTH	CHORD	BEARING
C1	2450	2000.31	N52°00'00"E
C2	10120	7000.00	N62°00'00"E
C3	1187	2100	S67°00'00"E
C4	5420	4200.00	N77°00'00"W
C5	1430	800.00	N70°00'00"W
C6	1040	200.00	N38°00'00"E
C7	2440	2000.31	N52°00'00"E



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 (919)553-6570  
 mlowder@trianglesitedesign.com  
 NC LICENSE #P-3619

**PRELIMINARY**  
 DO NOT USE FOR  
 CONSTRUCTION

**OWNER/DEVELOPER:**  
 SXCW Properties II, LLC  
 Attn: Chris Morgan  
 7932 Council Place, Suite 102  
 Matthews, NC 28105  
 704-940-3612  
 cmorgan@samsxpress.com

**SAM'S XPRESS CAR WASH**  
 Market Chapel Road  
 Chatham County, NC

This document, together with the concepts and designs presented herein, is an instrument of services, is intended only for the specific purpose and client for which it was prepared. Review of and approval hereon on this document without written authorization and adaptation by Triangle Site Design, PLLC shall be without liability to Triangle Site Design, PLLC.

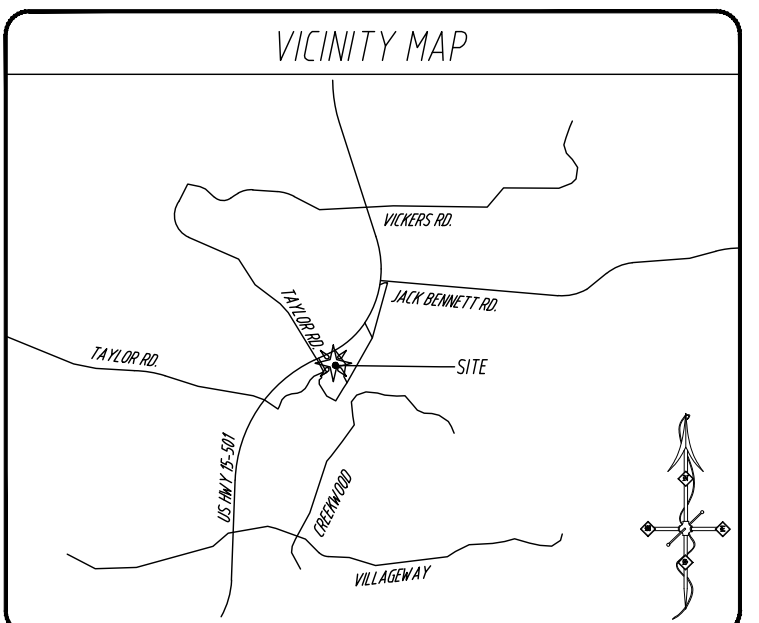
Drawn	
Checked	
Approved	
Project No.	046013
Date	August 17, 2020

**SITE PLAN**

Sheet No. **C1.0**



**SOD/IRRIGATION NOTE**  
 OPEN AREAS NOT NOTED FOR SHRUBS OR TREES TO BE SODDED WITH PERMIA SOD. IRRIGATION TO EXTEND TO ALL OPEN AREAS OF THE SITE THAT CONTAIN LANDSCAPE MATERIAL. CONTRACTOR TO PROVIDE DESIGN/INSTALL DRAWINGS OF THE IRRIGATION SYSTEM FOR APPROVAL PRIOR TO INSTALLATION.



**LINE TABLE**

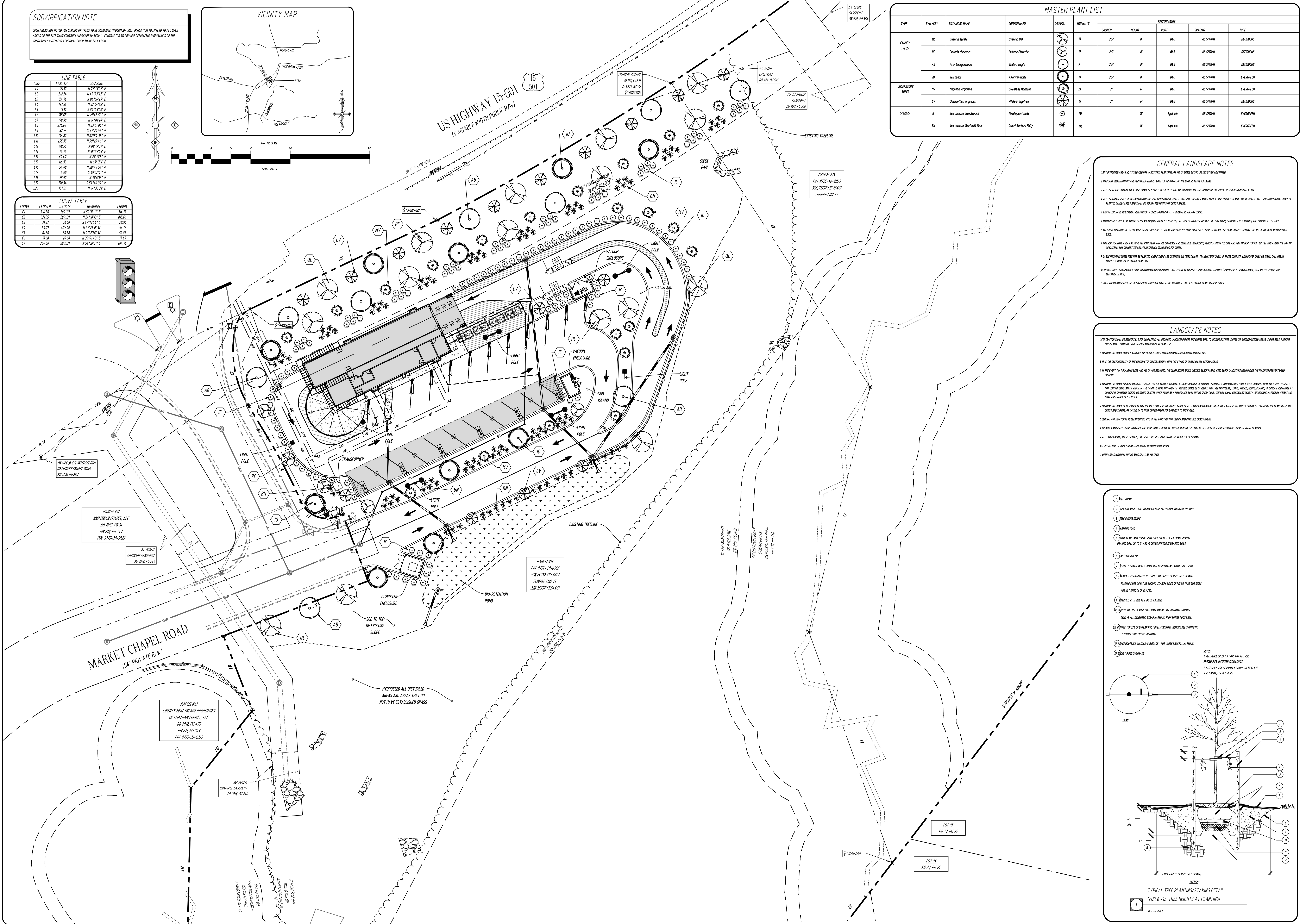
LINE	LENGTH	BEARING
L1	210.00	N 37°49'31" E
L2	210.00	N 43°39'42" E
L3	206.76	N 60°16'39" E
L4	197.56	N 30°17'31" E
L5	131.17	S 84°52'30" E
L6	388.65	N 79°48'59" W
L7	788.80	N 32°52'30" E
L8	276.67	N 37°11'00" W
L9	82.74	S 37°23'35" W
L10	196.82	N 67°54'30" W
L11	253.95	N 39°21'45" W
L12	308.55	N 69°19'37" E
L13	74.75	N 38°19'35" E
L14	684.87	N 37°05'15" W
L15	186.93	N 69°19'37" E
L16	54.00	N 29°47'59" W
L17	1.00	S 89°12'30" W
L18	28.92	N 37°15'37" W
L19	170.34	S 54°14'34" W
L20	157.51	N 64°53'27" E

**CURVE TABLE**

CURVE	LENGTH	RADIUS	BEARING	ENDORD
C1	34.50	2001.37	N 52°42'11" E	34.50
C2	83.55	2001.37	N 24°16'33" E	83.55
C3	31.67	2100	S 67°38'34" E	28.92
C4	54.21	427.00	N 27°28'08" W	54.17
C5	61.20	80.50	N 82°25'38" W	59.83
C6	18.88	2100	N 38°18'42" E	17.47
C7	204.80	2001.37	N 59°58'31" E	204.71

**MASTER PLANT LIST**

TYPE	SYMBOL	BOTANICAL NAME	COMMON NAME	SYMBOL	QUANTITY	SPECIFICATION					TYPE
						CALIPER	HEIGHT	ROOT	SPACING		
CANOPY TREES	QL	Quercus lyrata	Overcup Oak	⊗	10	25"	8'	B&B	AS SHOWN	DECIDUOUS	
	PC	Platanus chinensis	Chinese Platane	⊗	12	25"	8'	B&B	AS SHOWN	DECIDUOUS	
	AB	Acer buergerianum	Trident Maple	⊗	9	25"	8'	B&B	AS SHOWN	DECIDUOUS	
UNDERSTORY TREES	MD	Malus sp.	American Malus	⊗	10	25"	8'	B&B	AS SHOWN	EVERGREEN	
	MV	Magnolia virginiana	Sweetbay Magnolia	⊗	21	2"	6"	B&B	AS SHOWN	EVERGREEN	
	CV	Chionodoxa virginica	White Flowering Dogwood	⊗	16	2"	6"	B&B	AS SHOWN	DECIDUOUS	
SHRUBS	K	Rosa carolina 'New Dawn'	New Dawn Rose	⊗	108	8"	18"	1 gal min	AS SHOWN	EVERGREEN	
	BN	Rosa carolina 'Barford Rose'	Barford Rose	⊗	108	8"	18"	1 gal min	AS SHOWN	EVERGREEN	

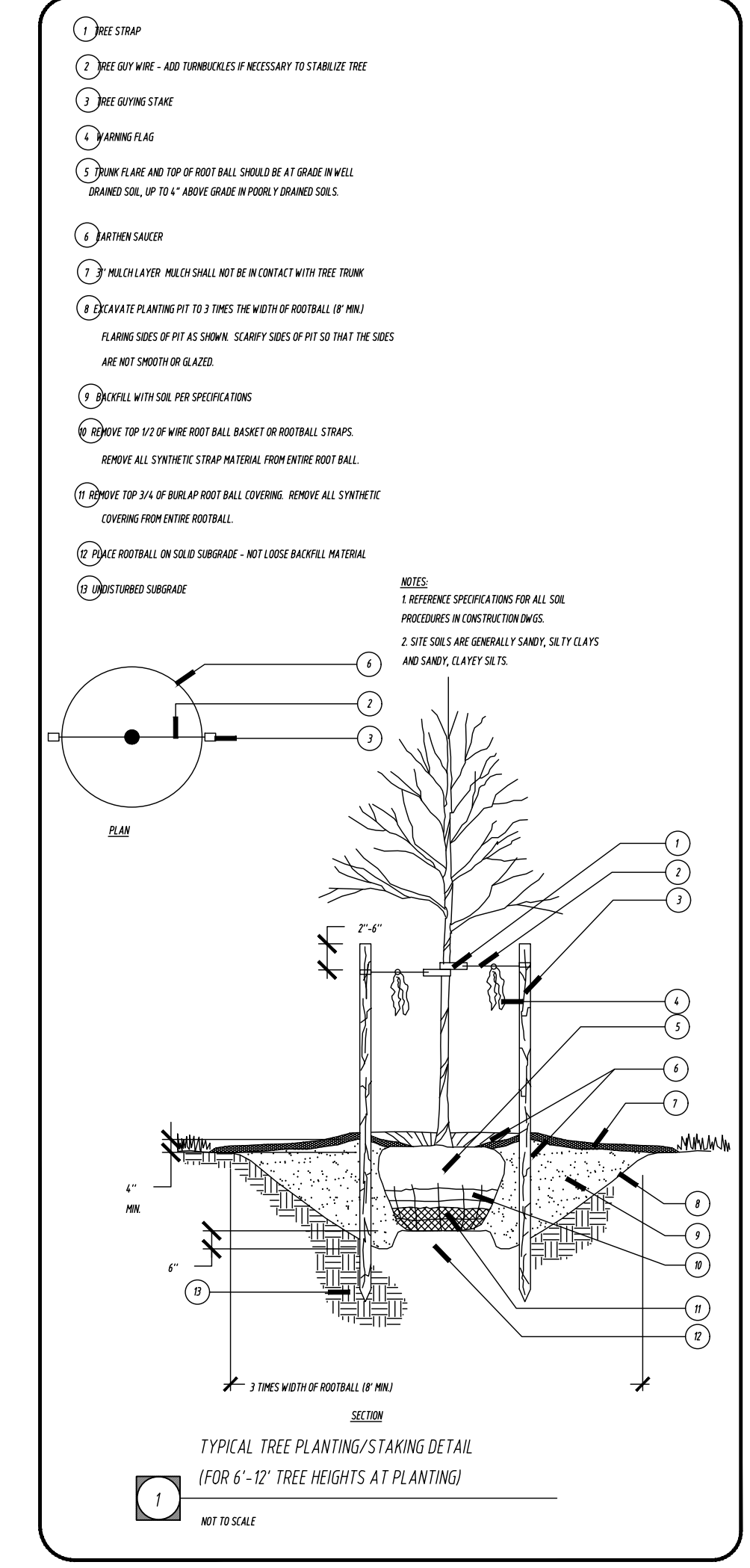


**GENERAL LANDSCAPE NOTES**

1. ALL DISTURBED AREAS NOT SPECIFIED FOR HARDSCAPE, PLANTING, OR PAVEMENT SHALL BE SODDED WITH PERMIA SOD.
2. NO PLANT OR BED LINE LOCATIONS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
3. ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS FOR BOTH AND TYPE OF MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BASKETS AND SHALL BE SEPARATED FROM FIRM GRASS AREAS.
4. ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS FOR BOTH AND TYPE OF MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BASKETS AND SHALL BE SEPARATED FROM FIRM GRASS AREAS.
5. GRASS COVERED TO EXTENDING FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND/OR CURBS.
6. MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER FOR SMALLER TREES. ALL MULCH-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3' TO 5' TALL, AND MINIMUM 4 FEET TALL.
7. ALL STRIPPING AND TOP 2" OF WARE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
8. FOR NEW PLANTING AREAS REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS, REMOVE COMPACTED SOIL AND ADD 6" NEW TOPSOIL OR TILL AND MOW THE TOP 1" OF EXISTING SOIL TO MEET TOPSOIL PLANTING STANDARDS FOR TREES.
9. LARGE PLANTING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES COME IN CONTACT WITH POWER LINES OR CABLES, CALL URS CORP. FOR FURTHER INFORMATION.
10. ALL PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 10' FROM ALL UNDERGROUND UTILITIES EXCEPT FOR WATER, GAS, WATER MAIN, AND ELECTRICAL LINES.
11. AT EXISTING LANDSCAPE AREAS WITHIN 5' OF ANY SIDE, POWER LINE, OR OTHER COMPLETE BARRIER, REMOVE EXISTING TREES.

**LANDSCAPE NOTES**

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING LANDSCAPE FOR THE ENTIRE SITE, TO INCLUDE BUT NOT LIMITED TO SODDED AREAS, SHRUBS, PLANTING, LOT GRADING, WEEDS, GRASS SEEDS AND MAINTENANCE PLANTINGS.
2. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPE.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAB OF GRASS ON ALL SODDED AREAS.
4. IN THE EVENT THAT PLANTING BIDS AND MULCH ARE REQUIRED, THE CONTRACTOR SHALL INSTALL BLACK FABRIC WEED BARRIER MESH UNDER THE MULCH TO PREVENT WEED GROWTH.
5. CONTRACTOR SHALL PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FINE-TEXTURED, FREE OF STONES, AND OBTAINED FROM A WELL-DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN HAZARDOUS MATERIALS OR BE CONTAMINATED BY PESTICIDES, FERTILIZERS, OR OTHER TOXIC SUBSTANCES. TOPSOIL SHALL BE COVERED AND PROTECTED FROM EROSION AND SOIL LOSS. TOPSOIL SHALL BE COVERED WITH A 2" LAYER OF MULCH TO PREVENT SOIL LOSS AND MAINTAIN MOISTURE. MULCH SHALL BE COVERED WITH A 2" LAYER OF MULCH TO PREVENT SOIL LOSS AND MAINTAIN MOISTURE. MULCH SHALL BE COVERED WITH A 2" LAYER OF MULCH TO PREVENT SOIL LOSS AND MAINTAIN MOISTURE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF 140 THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE TREES AND SHRUBS, OR TO THE DATE THAT OWNER OPERATES FOR BUSINESS OF THE PUBLIC.
7. GENERAL CONTRACTOR IS TO CLEAN UP SITE OF ALL CONSTRUCTION DEBRIS AND MAKE ALL AREAS GREEN.
8. PROVIDE LANDSCAPE PLANS TO OWNER AND AS REQUIRED BY LOCAL JURISDICTION TO THE BLUE COPY FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
9. ALL LANDSCAPE TREES, SHRUBS, ETC. SHALL NOT INTERFERE WITH THE VISIBILITY OF SIGNAGE.
10. CONTRACTOR TO VERIFY QUANTITIES PRIOR TO COMMENCING WORK.
11. OPEN AREAS WITHIN PLANTING BIDS SHALL BE MULCHED.



**TRIANGLE SITE DESIGN**

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 NC LICENSE #06-3619

**PRELIMINARY DO NOT USE FOR CONSTRUCTION**

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 cmorgan@sansxpress.com

**SAM'S X-SPRESS CAR WASH**  
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Drawn: [ ]  
 Checked: [ ]  
 Approved: [ ]  
 Project No.: 046013  
 Date: August 17, 2020  
 Title: LANDSCAPE PLAN  
 Sheet No.: C1.6