

**SURVEY NOTES:**

1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET (UNLESS OTHERWISE STATED).
2. NO NC GRID MONUMENT IS WITHIN 2,000' OF SURVEYED TRACT.
3. ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 1983/NSRS 2007).
4. THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS SURVEY IS SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
5. A PORTION OF THIS PROPERTY IS LOCATED IN FLOOD HAZARD AREA ZONE X, AS SHOWN ON FEMA FIRM MAP PANELS #3710977500K AND #3710976500K WITH AN EFFECTIVE DATE OF NOVEMBER 17, 2017.
6. PROJECT AREA INCLUDES A PORTION OF PARCEL AKPAR 89624. A COMPLETE BOUNDARY SURVEY OF THIS PARCEL WAS NOT PERFORMED IN THE COURSE OF THIS SURVEY.
7. THE LINES SHOWN TO PUBLIC AND PRIVATE DRAINAGE EASEMENTS ARE CHORD DISTANCES.
8. SIDEWALK EASEMENTS (SWE) SHOWN WILL BE BOUNDED BY PUBLIC RIGHT-OF-WAY AND BY LINES ONE FOOT BEYOND THE ACCESSIBLE RAMPS AS CONSTRUCTED.

**ADDITIONAL NOTES:**

1. ALL LOTS SHOWN HEREON WILL BE CONVEYED SUBJECT TO RESTRICTIONS, CONDITIONS, COVENANTS AND PROVISIONS FOR SETBACKS, USE MAINTENANCE, EASEMENTS, ASSESSMENTS AND OTHER MATTERS CONTAINED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR BRIAR CHAPEL, RECORDED AT BOOK 1370, PAGE 1020, AND RE-RECORDED AT BOOK 1372, PAGE 884, AS AMENDED AND SUPPLEMENTED (THE "DECLARATION").
2. THE DESIGNATIONS AND CONDITIONS OF USAGE OF COMMON AREA/OPEN SPACE ARE AS SET FORTH IN THE DECLARATION.
3. MINIMUM SETBACKS FOR IMPROVEMENTS ON LOTS SHALL BE ESTABLISHED BY THE DECLARATION, THE DECLARANT (OR ITS DESIGNEE) UNDER THE DECLARATION, OR ANY DESIGN GUIDELINES ADOPTED PURSUANT TO THE DECLARATION.
4. LIGHTING SHALL CONFORM WITH THE CHATHAM COUNTY LIGHTING ORDINANCE.
5. THE 4' OR 5' PRIVATE HOA EASEMENTS SHOWN HEREON MAY BE EXERCISED BY NNP-BRIAR CHAPEL, LLC AND/OR BRIAR CHAPEL COMMUNITY ASSOCIATION, INC. FOR THE PURPOSE OF INSTALLATION, MAINTENANCE, REPAIR AND REPLACEMENT OF STREET TREES AND LANDSCAPING AND FOR SUCH PURPOSES AS AUTHORIZED UNDER ARTICLE XI OF THE DECLARATION.
6. IN ADDITION TO ANY AND ALL EASEMENTS RESERVED OR GRANTED IN THE DECLARATION, DECLARANT RESERVES FOR ITSELF AND GRANTS TO THE ASSOCIATION (AS DEFINED IN THE DECLARATION) AND ALL UTILITY PROVIDERS (AS DEFINED IN THE DECLARATION), PERPETUAL, NON-EXCLUSIVE 8', 9' AND 10' EASEMENTS (AS APPLICABLE) FOR ALL UTILITIES PURPOSES INCLUDED IN THE DECLARATION, INCLUDING, WITHOUT RESERVATION, THE PURPOSES OF ACCESS AND INSTALLING, INSPECTING, MAINTAINING, REPAIRING AND REPLACING UTILITIES ALONG ALL LOT FRONTAGE ON PUBLIC AND PRIVATE RIGHTS-OF-WAY. SEE INSET.
7. THE EASEMENTS DESCRIBED ON THIS PLAT ARE IN ADDITION TO AND NOT IN LIMITATION OF ANY EASEMENTS DESCRIBED IN THE DECLARATION.

**STORMWATER NOTE:**

THIS PLAT CONTAINS STORMWATER MANAGEMENT MEASURES THAT MUST BE MAINTAINED IN ACCORDANCE WITH THE RECORDED COVENANT OR OPERATIONS AND MAINTENANCE AGREEMENT. MAINTENANCE OF THE PRIVATE STORMWATER BMP'S TO BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR BRIAR CHAPEL COMMUNITY ASSOCIATION, INC.

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR CHATHAM COUNTY, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS NOTED IN THE MINUTES OF THE BOARD OF COMMISSIONERS, AND THAT IT HAS BEEN APPROVED BY THE BODY FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER OF DEEDS.

DATE \_\_\_\_\_

CHAIRMAN, CHATHAM COUNTY BOARD OF COMMISSIONERS \_\_\_\_\_

**CERTIFICATION OF OWNERSHIP AND DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, AND DEDICATE ALL RIGHT-OF-WAYS, STREETS, ALLEYS, WALKS, EASEMENTS, PARKS, AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

OWNERS OR AUTHORIZED AGENT \_\_\_\_\_ DATE \_\_\_\_\_  
 NNP-BRIAR CHAPEL, LLC

**CERTIFICATION OF THE APPROVAL OF UTILITIES**

I HEREBY CERTIFY THAT THE \_\_\_\_\_ IMPROVEMENTS HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THE SPECIFICATIONS OF THE CHATHAM COUNTY UTILITY POLICY AND/OR THE CHATHAM COUNTY SUBDIVISION REGULATIONS, EXCEPT AS NOTED HEREON; OR PROPER PROVISIONS HAVE BEEN MADE FOR THEIR INSTALLATION.

DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ TITLE \_\_\_\_\_  
 BY NNP-BRIAR CHAPEL, LLC

**REVIEW OFFICER CERTIFICATION**

STATE OF NORTH CAROLINA, COUNTY OF CHATHAM

I, \_\_\_\_\_, REVIEW OFFICER FOR CHATHAM COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

BY \_\_\_\_\_ TITLE \_\_\_\_\_

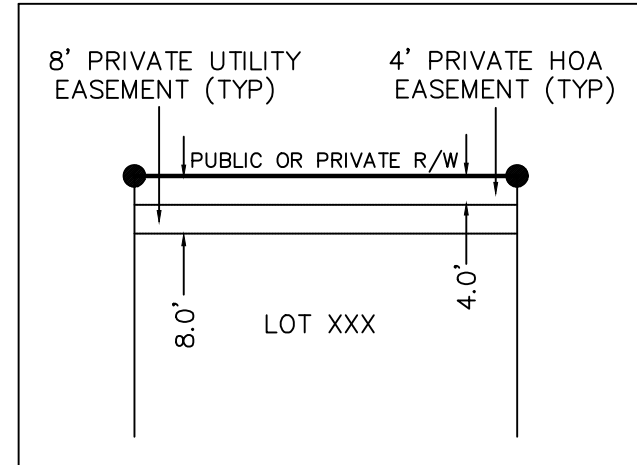
DEPARTMENT OF TRANSPORTATION  
 DIVISION OF HIGHWAYS

PROPOSED SUBDIVISION ROAD  
 CONSTRUCTION STANDARDS CERTIFICATION

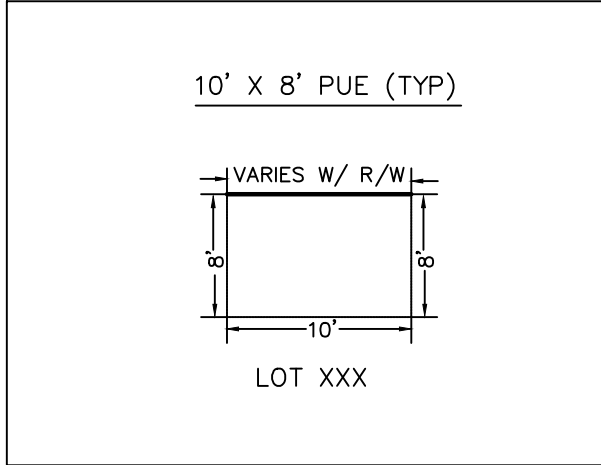
APPROVED \_\_\_\_\_  
 DISTRICT ENGINEER

DATE \_\_\_\_\_

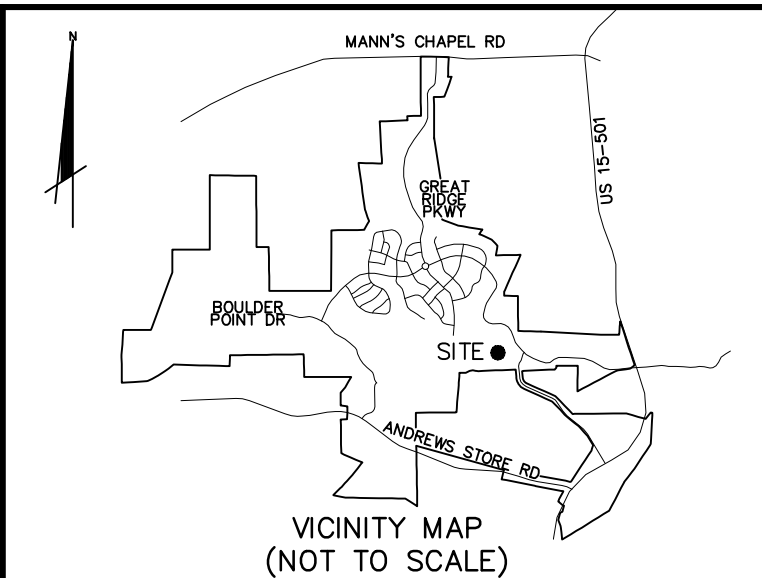
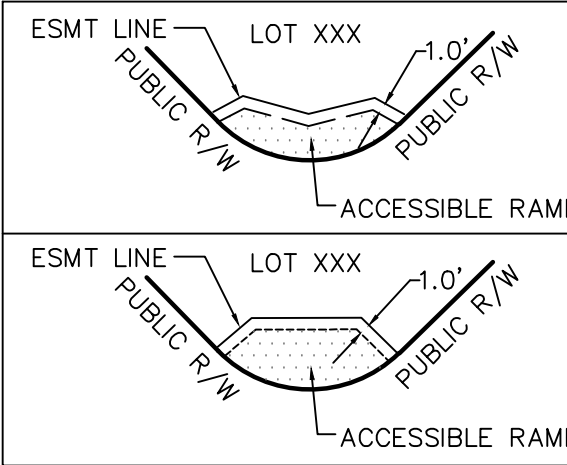
**PRIVATE EASEMENT DETAIL**



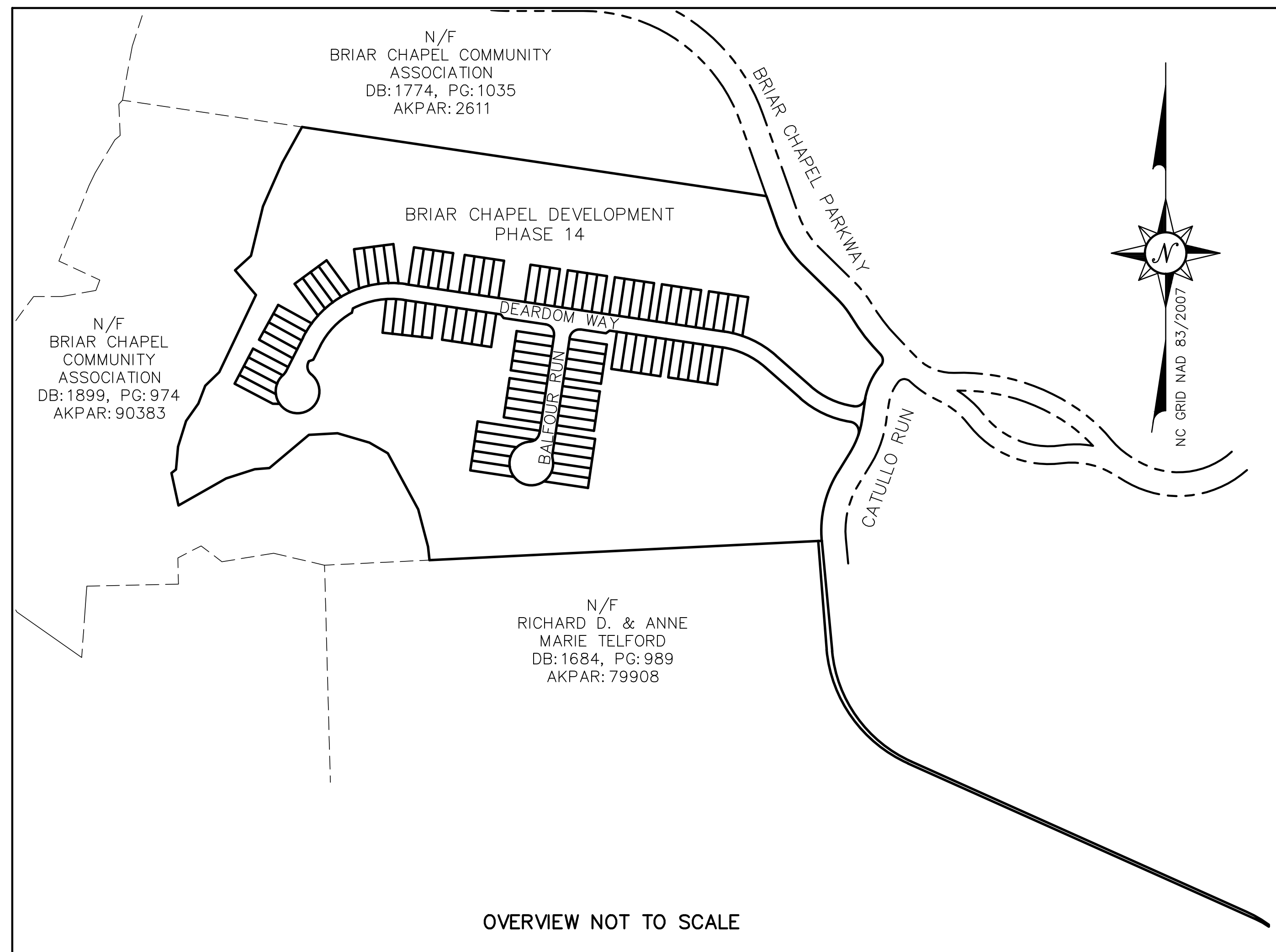
**TYPICAL PUBLIC UTILITY EASEMENT DETAIL (TO BE CENTERED ON APPURTENANCE)**



**TYPICAL SIDEWALK EASEMENT DETAIL (EASEMENT TO EXTEND 1' BEYOND ACCESSIBLE RAMPS AS CONSTRUCTED)**



SITE DATA		OWNER INFORMATION:	
ZONING: CONDITIONAL USE DISTRICT - COMPACT COMMUNITY	APPROXIMATE LINEAR FOOTAGE OF PUBLIC STREETS: 2,111 LF	NNP-BRIAR CHAPEL, LLC	C/O NEWLAND COMMUNITIES
TOTAL NUMBER OF LOTS: 89	TOTAL AREA OF LOTS: 4,902 ACRES	13777 BALLANTYNE CORP PL SUITE 250	CHARLOTTE, NC 28777
TOTAL AREA OF LOTS: 213,539 SQUARE FEET	TOTAL PUBLIC RIGHT-OF-WAY: 2,280 ACRES	AKPAR 89624:	DB:198, PG:510
TOTAL COMMON AREAS: 24,272 ACRES	TOTAL COMMON AREAS: 99,307 SQUARE FEET	DB:2012, PG:266	
TOTAL PROJECT AREA: 31,453 ACRES	TOTAL PROJECT AREA: 1,370,136 SQUARE FEET		



OVERVIEW NOT TO SCALE

**PRELIMINARY PLAT**  
 NOT FOR RECORDATION, CONVEYANCE, OR SALES

DATE	REVISION	INITIAL

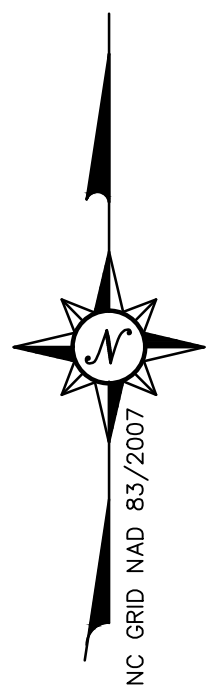
**MCKIM & CREED**  
 1730 Varsity Drive Suite 500  
 Raleigh, North Carolina 27606  
 Phone: (919)233-8091, Fax: (919)233-8031  
 NC FIRM # F-1222  
 Internet Site: <http://www.mckimcreed.com>

DATE: \_\_\_\_\_

FINAL SUBDIVISION, EASEMENT AND RIGHT-OF-WAY DEDICATION PLAT  
 OF  
**BRIAR CHAPEL DEVELOPMENT PHASE 14**  
 FOR  
**NNP BRIAR CHAPEL, LLC**  
 DATE: 07/23/2020 SCALE: NOT TO SCALE  
 BALDWIN TOWNSHIP CHATHAM COUNTY NORTH CAROLINA

PROJECT # : 027350248  
 PROJ. SVYR : DSC  
 DRAWN BY : JRC  
 FIELD BK. :  
 COMP. FILE : VB01\_27350248\_BC-PH-14  
 SHEET # : 1 OF 3  
 DWG. # :

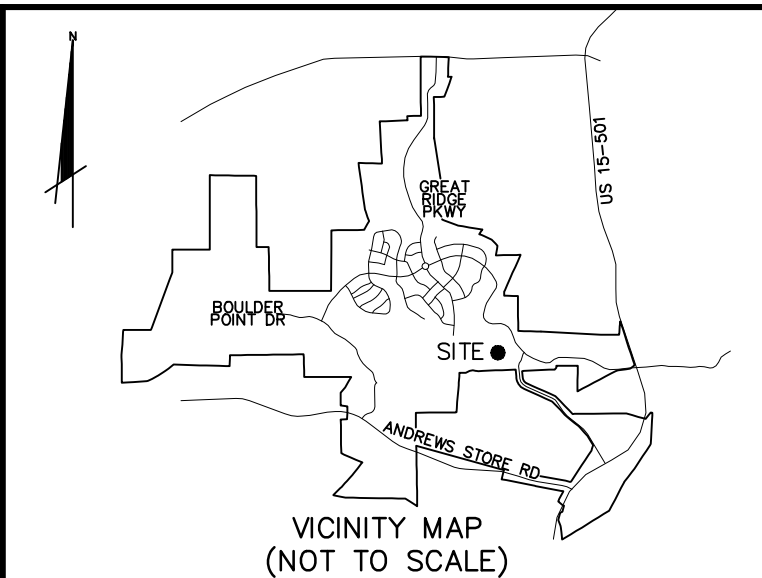
SEE SHEET 2 FOR LINE TABLES  
 SEE SHEET 3 FOR CURVE TABLES



N/F  
BRIAR CHAPEL COMMUNITY  
ASSOCIATION  
DB: 1774, PG: 1035  
AKPAR: 2811

# PRELIMINARY PLAT

NOT FOR RECORDATION, CONVEYANCE, OR SALES



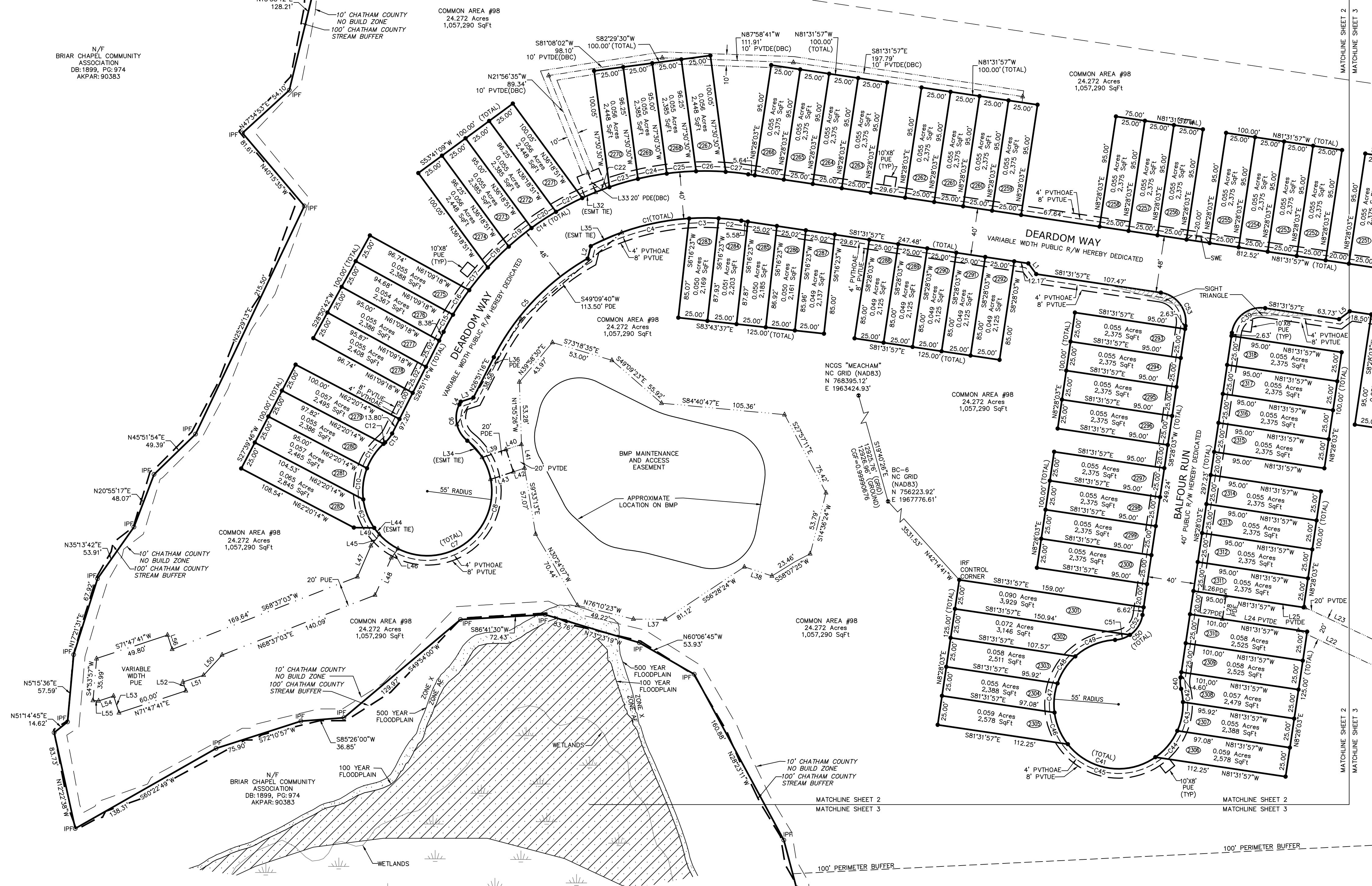
N/F  
BRIAR CHAPEL COMMUNITY  
ASSOCIATION  
DB: 1899, PG: 974  
AKPAR: 90383

10' CHATHAM COUNTY  
NO BUILD ZONE  
100' CHATHAM COUNTY  
STREAM BUFFER

COMMON AREA #98  
24.272 Acres  
1,057,290 SqFt

EXISTING 200' DUKE POWER  
RIGHT-OF-WAY  
DB: 394, PG: 216

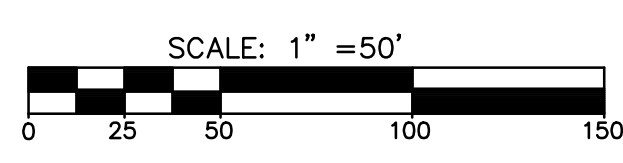
COMMON AREA #98  
24.272 Acres  
1,057,290 SqFt



Line #	Direction	Length
L1	S36°31'57"E	11.31'
L2	N14°12'47"E	10.92'
L3	N71°51'16"E	11.31'
L4	N26°51'16"E	2.66'
L5	N53°28'03"E	11.31'
L6	N69°07'38"W	2.20'
L7	N20°52'22"E	18.00'
L8	N08°28'03"E	83.05'
L9	S70°05'43"E	8.45'
L10	S50°33'05"E	17.26'
L11	N15°25'45"E	53.20'
L12	N80°33'37"W	5.09'
L13	S08°39'28"W	28.13'
L14	S81°20'32"E	20.00'
L15	S08°39'28"W	14.11'
L16	N81°36'38"E	21.11'
L17	S55°16'48"E	66.47'
L18	S15°25'45"W	45.07'
L19	S74°34'15"E	20.00'
L20	N15°25'45"E	38.07'
L21	S55°16'48"E	45.76'
L22	S64°51'00"E	76.17'
L23	S64°51'00"E	73.87'
L24	S81°31'57"E	65.53'
L25	S81°31'57"E	68.47'
L26	N81°31'57"W	20.00'
L27	S81°31'57"E	20.00'
L28	N08°28'03"E	20.00'
L29	S10°30'19"W	20.67'
L30	N65°03'06"W	20.34'

Line #	Direction	Length
L31	S43°33'04"E	20.76'
L32	S66°39'20"W	12.50'
L33	S21°54'41"E	18.00'
L34	N41°37'22"W	19.07'
L35	S66°16'27"W	28.89'
L36	S31°23'43"W	104.92'
L37	N89°24'26"W	27.02'
L38	N71°45'18"W	24.73'
L39	S71°38'24"W	19.83'
L40	N71°38'24"E	13.90'
L41	N07°25'16"W	20.37'
L42	N71°38'24"E	10.03'
L43	N71°38'24"E	20.17'
L44	N38°23'38"W	7.28'
L45	S37°20'04"W	11.98'
L46	N37°20'04"E	9.56'
L47	S23°30'51"W	28.91'
L48	N23°30'51"E	34.79'
L49	N89°09'35"W	17.34'
L50	N42°21'29"E	23.35'
L51	N71°47'41"E	18.57'
L52	N18°12'19"W	7.88'
L53	S18°12'19"E	15.00'
L54	N71°47'41"E	13.39'
L55	S85°06'03"E	4.83'
L56	N18°12'19"W	12.78'
L57	N81°21'30"W	2.51'
L59	S86°53'46"E	10.10'

- LEGEND**
- IRF IRON ROD FOUND
  - IPF IRON PIPE FOUND
  - NF NAIL FOUND
  - EX EXISTING
  - N/F NOW OR FORMERLY
  - DB DEED BOOK
  - PB PLAT BOOK
  - PC PAGE
  - PVTE PRIVATE UTILITY EASEMENT
  - PVTE PRIVATE DRAINAGE EASEMENT
  - PVHOAE PRIVATE HOMEOWNERS ASSOCIATION EASEMENT
  - LSE LANDSCAPE EASEMENT
  - PUE PUBLIC UTILITY EASEMENT
  - PDE PUBLIC DRAINAGE EASEMENT
  - SDE SIDEWALK EASEMENT
  - R/W RIGHT-OF-WAY
  - sq. ft. SQUARE FEET
  - CP COMPUTED POINT
  - PROP PROPERTY
  - ESMT EASEMENT
  - CMF CONCRETE MONUMENT FOUND
  - DBC DESCRIBED BY CENTERLINE
  - ECM EXISTING CONCRETE MONUMENT
  - SDE STORM DRAINAGE EASEMENT
  - RWE RETAINING WALL EASEMENT
  - IRON ROD SET
  - ▲ EASEMENT POINT
  - XXX LOT NUMBER
  - [Hatched Box] 500 YEAR FLOODPLAIN
  - [Dotted Box] 100 YEAR FLOODPLAIN
  - [Wavy Box] WETLANDS



DATE	REVISION	INITIAL

**MCKIM & CREED**  
 1730 Varsity Drive Suite 500  
 Raleigh, North Carolina 27606  
 Phone: (919)233-8091, Fax: (919)233-8031  
 NC FIRM # F-1222  
 Internet Site: <http://www.mckimcreed.com>

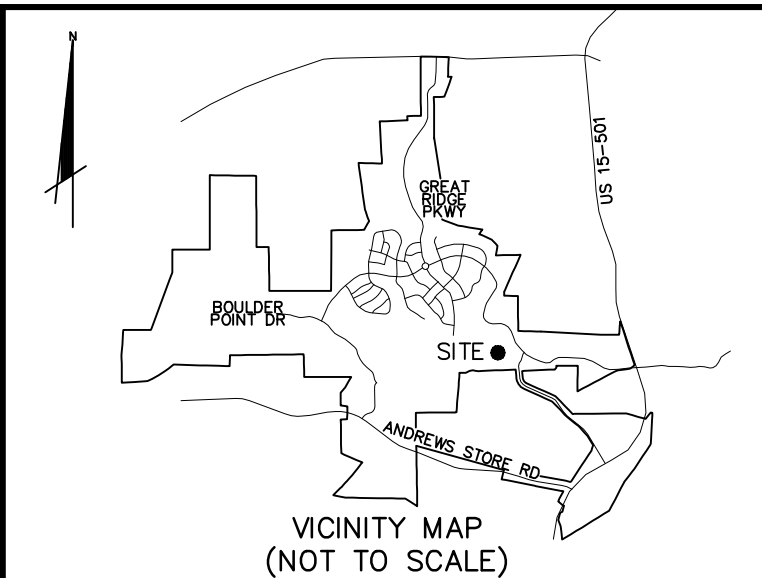
DATE: \_\_\_\_\_

FINAL SUBDIVISION, EASEMENT AND RIGHT-OF-WAY DEDICATION PLAT  
 OF  
**BRIAR CHAPEL DEVELOPMENT PHASE 14**  
 FOR  
**NNP BRIAR CHAPEL, LLC**  
 DATE: 07/23/2020 SCALE: 1" = 50'  
 BALDWIN TOWNSHIP CHATHAM COUNTY NORTH CAROLINA

PROJECT #: 027350248  
 PROJ. SVYR: DSC  
 DRAWN BY: JRC  
 FIELD BK.:  
 COMP. FILE: VB01\_27350248\_BC-PP-14  
 SHEET #: 2 OF 3  
 DWG. #:

SEE SHEET 1 FOR NOTES, CERTIFICATIONS  
SEE SHEET 3 FOR CURVE TABLES

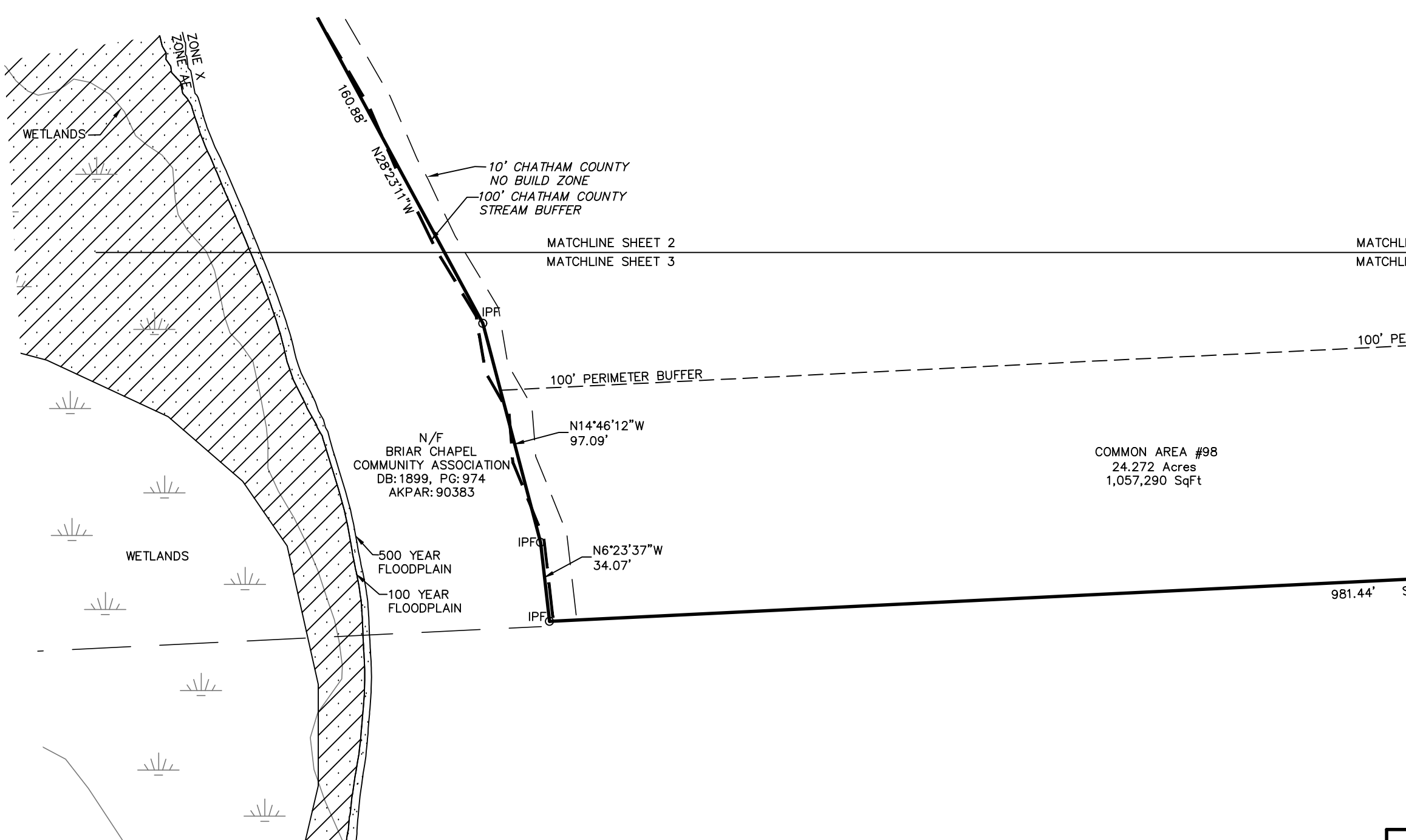
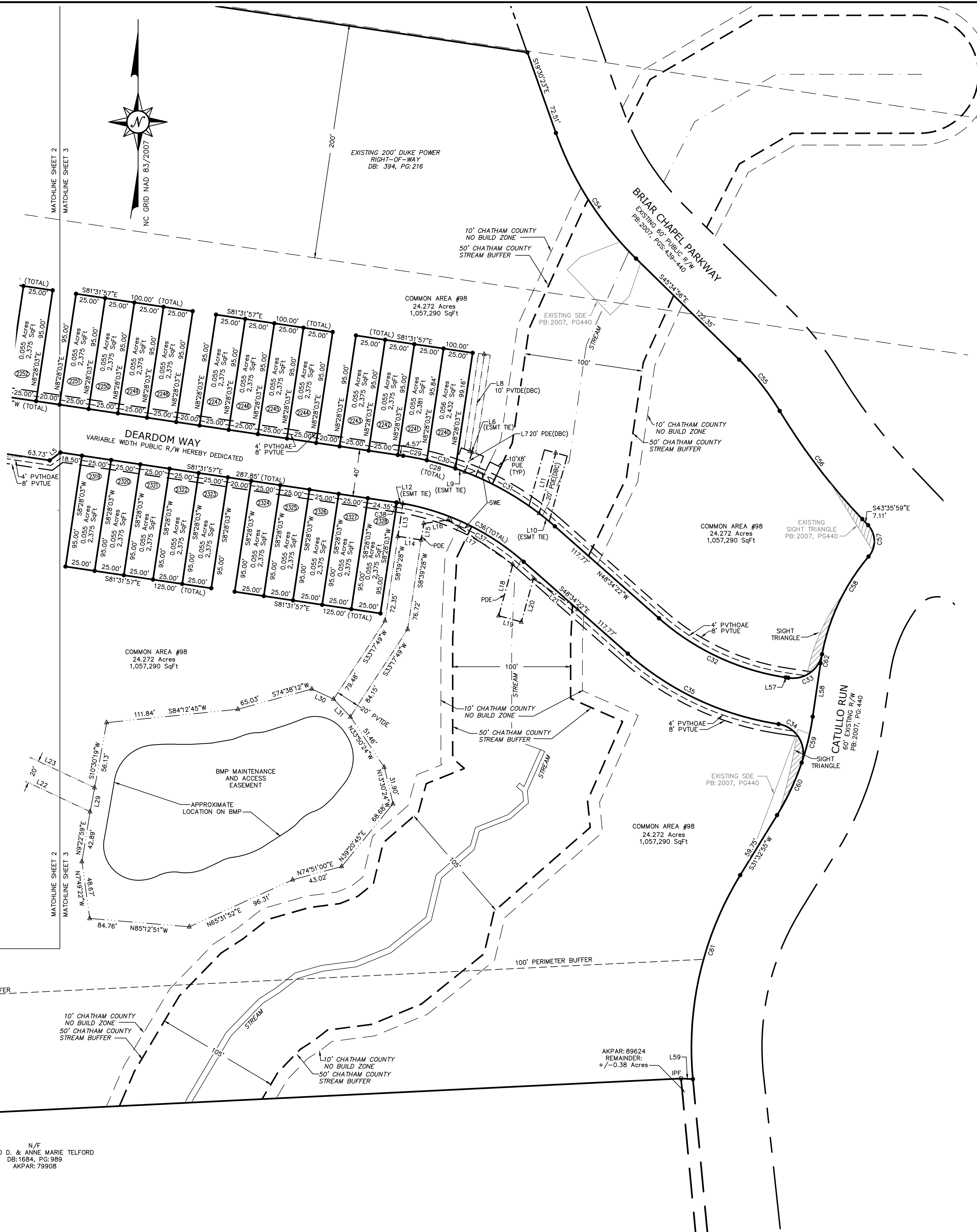




**PRELIMINARY PLAT**  
NOT FOR RECORDATION, CONVEYANCE, OR SALES

Curve #	Radius	Length	Tangent	Chord Bearing	Ch. Length	Delta
C1	210.00'	132.45'	68.51'	S80°23'55"W	130.27'	036°08'16"
C2	210.00'	19.43'	9.72'	N84°10'58"W	19.42'	005°18'01"
C3	210.00'	25.18'	12.60'	S89°43'56"W	25.16'	006°52'11"
C4	210.00'	87.85'	44.57'	S74°18'49"W	87.21'	023°58'03"
C5	202.00'	117.78'	60.62'	S43°33'28"W	116.12'	033°24'24"
C6	25.00'	34.24'	20.41'	S12°22'38"E	31.62'	078°27'47"
C7	55.00'	269.54'	45.50'	N88°47'19"E	70.12'	280°47'41"
C8	55.00'	189.12'	36.77'	N46°53'49"E	108.79'	197°00'39"
C9	55.00'	26.22'	13.36'	S20°56'22"E	25.97'	027°18'59"
C10	55.00'	27.03'	13.79'	S6°47'44"W	26.75'	028°09'15"
C11	55.00'	25.38'	12.92'	S34°05'38"W	25.16'	026°26'33"
C12	55.00'	1.80'	0.90'	S48°15'02"W	1.80'	001°52'15"
C13	25.00'	9.74'	4.93'	N38°01'13"E	9.68'	022°19'54"
C14	250.00'	312.47'	180.35'	S62°39'39"W	292.52'	071°36'47"
C15	250.00'	16.63'	8.32'	S28°45'36"W	16.63'	003°48'40"
C16	250.00'	25.09'	12.56'	S33°32'28"W	25.08'	005°45'05"
C17	250.00'	25.01'	12.52'	S39°16'58"W	25.00'	005°43'55"
C18	250.00'	25.30'	12.66'	S45°02'52"W	25.29'	005°47'52"
C19	250.00'	25.04'	12.53'	S50°48'58"W	25.03'	005°44'21"
C20	250.00'	25.04'	12.53'	S56°33'19"W	25.03'	005°44'21"
C21	250.00'	25.30'	12.66'	S62°19'26"W	25.29'	005°47'52"
C22	250.00'	25.01'	12.52'	S68°05'19"W	25.00'	005°43'55"
C23	250.00'	25.30'	12.66'	S73°51'13"W	25.29'	005°47'52"
C24	250.00'	25.04'	12.53'	S79°37'19"W	25.03'	005°44'21"
C25	250.00'	25.04'	12.53'	S85°21'40"W	25.03'	005°44'21"
C26	250.00'	25.30'	12.66'	N88°52'13"W	25.29'	005°47'52"
C27	250.00'	19.37'	9.69'	N83°45'07"W	19.36'	004°26'20"
C28	250.00'	143.81'	73.96'	N65°03'10"W	141.84'	032°57'35"
C29	250.00'	20.45'	10.23'	N79°11'22"W	20.44'	004°41'11"
C30	250.00'	25.23'	12.63'	N73°57'18"W	25.22'	005°46'57"
C31	250.00'	98.13'	49.71'	N59°49'06"W	97.51'	022°29'27"

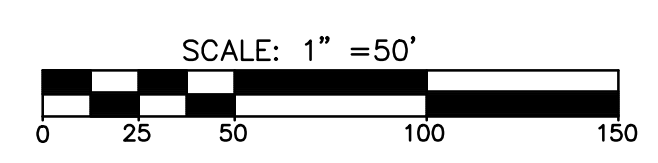
Curve #	Radius	Length	Tangent	Chord Bearing	Ch. Length	Delta
C32	210.00'	120.17'	61.78'	S64°57'56"E	118.53'	032°47'08"
C35	250.00'	142.74'	73.38'	S64°55'48"E	140.81'	032°42'53"
C36	210.00'	120.80'	62.12'	N65°03'10"W	119.15'	032°57'35"
C37	210.00'	120.15'	61.77'	N64°57'50"W	118.52'	032°46'56"
C38	210.00'	0.65'	0.33'	N81°26'38"W	0.65'	000°10'39"
C39	25.00'	39.27'	25.00'	S53°28'03"W	35.36'	090°00'00"
C40	25.00'	9.74'	4.93'	S2°41'54"E	9.68'	022°19'54"
C41	55.00'	269.54'	45.50'	S53°28'01"E	70.12'	280°47'41"
C42	55.00'	11.38'	5.71'	N7°56'11"W	11.36'	011°51'21"
C43	55.00'	25.25'	12.85'	N11°08'34"E	25.03'	026°18'08"
C44	55.00'	29.60'	15.17'	N39°42'35"E	29.24'	030°49'54"
C45	55.00'	83.21'	51.91'	S81°31'57"E	75.50'	086°41'01"
C46	55.00'	29.60'	15.17'	S22°46'30"E	29.24'	030°49'54"
C47	55.00'	25.25'	12.85'	S5°47'31"W	25.03'	026°18'08"
C48	55.00'	27.88'	14.25'	S33°27'57"W	27.58'	029°02'44"
C49	55.00'	37.38'	19.45'	S67°27'34"W	36.67'	038°56'31"
C50	25.00'	34.24'	20.41'	N47°41'56"E	31.62'	078°27'47"
C51	25.00'	13.58'	6.96'	N71°22'02"E	13.42'	031°07'35"
C52	25.00'	20.65'	10.96'	N32°08'08"E	20.07'	047°20'12"
C53	25.00'	39.27'	25.00'	N36°31'57"W	35.36'	090°00'00"



**LEGEND**

- IRF IRON ROD FOUND
- IPF IRON PIPE FOUND
- NF NAIL FOUND
- EX. EXISTING
- N/F NOW OR FORMERLY
- DB DEED BOOK
- PB PLAT BOOK
- PG PAGE
- PVTUE PRIVATE UTILITY EASEMENT
- PVTDE PRIVATE DRAINAGE EASEMENT
- PWHOE PRIVATE HOMEOWNERS ASSOCIATION EASEMENT
- LSE LANDSCAPE EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- PDE PUBLIC DRAINAGE EASEMENT
- SWE SIDEWALK EASEMENT
- R/W RIGHT-OF-WAY
- sq. ft. SQUARE FEET
- CP COMPUTED POINT
- PROP PROPERTY
- ESMT EASEMENT
- CMF CONCRETE MONUMENT FOUND
- DBC DESCRIBED BY CENTERLINE
- ECM EXISTING CONCRETE MONUMENT
- SDE STORM DRAINAGE EASEMENT
- RWE RETAINING WALL EASEMENT
- IRON ROD SET
- ▲ EASEMENT POINT
- XXX LOT NUMBER
- 500 YEAR FLOODPLAIN
- 100 YEAR FLOODPLAIN
- WETLANDS

SEE SHEET 1 FOR NOTES, CERTIFICATIONS  
SEE SHEET 2 FOR LINE TABLES



DATE	REVISION	INITIAL

**MCKIM & CREED**  
1730 Varsity Drive Suite 500  
Raleigh, North Carolina 27606  
Phone: (919)233-8091, Fax: (919)233-8031  
NC FIRM # F-1222  
Internet Site: <http://www.mckimcreed.com>

DATE: \_\_\_\_\_

FINAL SUBDIVISION, EASEMENT AND RIGHT-OF-WAY DEDICATION PLAT  
OF  
**BRIAR CHAPEL DEVELOPMENT PHASE 14**  
FOR  
**NNP BRIAR CHAPEL, LLC**  
DATE: 07/23/2020 SCALE: 1" = 50'  
BALDWIN TOWNSHIP CHATHAM COUNTY NORTH CAROLINA

PROJECT #: 027350248  
PROJ. SVYR: DSC  
DRAWN BY: JRC  
FIELD BK.:  
COMP. FILE: VB01\_27350248\_BC-PH-14  
SHEET #: 3 OF 3  
DWG. #: