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BOOK 02032
START PAGE 0691
END PAGE 0694
INSTRUMENT # 01955
EXCISE TAX \$1,300.00

This instrument prepared by: Kennon Craver, PLLC (without benefit of title examination)
Mail after recording to: Grantee

Excise Tax: \$1,300.00

**NORTH CAROLINA
SPECIAL WARRANTY DEED**

STATE OF NORTH CAROLINA
COUNTY OF CHATHAM

THIS DEED is made this 25 day of February, 2019, by and between:

GRANTOR: 781 MT. CARMEL LLC,
a North Carolina limited liability company
721 Mt Carmel Church Road
Chapel Hill, NC 27517

and

GRANTEE: ANTOINETTE LOIS VAN-RIEL
1410 Millgate Drive, Suite A
Winston-Salem, NC 27103

(The designation of Grantor and Grantees as used herein shall include said parties, their heirs, successors and assigns, and shall include the singular, plural, masculine, feminine or neuter as required by the context.)

THE GRANTOR, has and by these presents does grant, bargain, sell and convey unto Grantee, in fee simple, all that certain real property lying and being in Chatham County, North Carolina, and more particularly described as follows (and being hereinafter referred to as the "Property"):

See Exhibit A attached hereto and incorporated herein by reference.

submitted electronically by "Moree Law, PLLC"
in compliance with North Carolina statutes governing recordable documents
and the terms of the submitter agreement with the Chatham County Register of Deeds.

TO HAVE AND TO HOLD, the aforesaid Property and all privileges and appurtenances thereto belonging to Grantee in fee simple.

AND THE GRANTOR covenants with Grantee that Grantor has done nothing to impair such title as Grantor received, and Grantor will warrant and defend the title against the lawful claims of all persons whomsoever claiming by, under or through Grantor, except for the following exceptions: 2019 ad valorem taxes and easements, restrictions, and rights of way of record, and tenants in possession.

All or a portion of the property herein conveyed does NOT include the primary residence of the Grantor.

IN WITNESS WHEREOF, Grantor has executed this document under seal the day and year first above written.

SEE ATTACHED SIGNATURE PAGE

SIGNATURE PAGE FOR SPECIAL WARRANTY DEED

GRANTOR:

781 Mt. Carmel LLC
a North Carolina limited liability company (SEAL)

By: Kairys Group, Inc., a North Carolina
corporation, Manager

By: *[Signature]*
Theodore Kairys, President

STATE OF NORTH CAROLINA

COUNTY OF Wake

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that he or she signed the foregoing document: Theodore Kairys
(name of person signing in blank)

Date: 2/25/2019

[Signature]
Notary Public

Print Name: NATALYA A. MIKHAYLINA

My Commission Expires: 7/29/2023

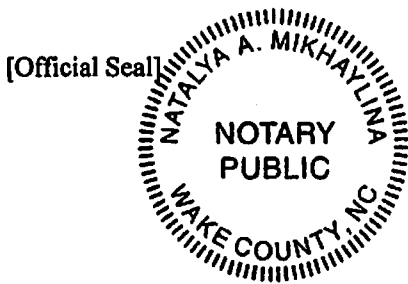


Exhibit A

TRACT I:

BEGINNING at an iron stake located in the West right-of-way line of the Fearrington to Chapel Hill road, said beginning point being South 2° West 370 feet from a point in said right-of-way line where the South line of the Cheek land intersects the West right-of-way of said highway, and running thence from said beginning point North 85° West 315 feet to an iron stake; thence North 2° East 370 feet to an iron stake in the South line of the Cheek land; thence along and with the Cheek land South 85° East (and crossing the Chapel Hill-Fearrington Road) 387 feet to an iron stake on the East side of the Chapel Hill-Fearrington Road, said iron stake being 12 feet from the East right-of-way line; thence South 3° West 370 feet to an iron stake; thence North 85° West (crossing the Fearrington-Chapel Hill Highway) 70 feet to the point and place of **BEGINNING**, and containing 2.75 acres more or less.

AND BEING the same property conveyed to Wesley B. Upchurch and wife, Edna H. Upchurch by H. Carl Merritt and Eleanor H. Merritt in that deed recorded in Book 333, Page 328, Chatham County Registry.

TRACT II:

BEGINNING at an iron pipe on the Eastern margin of State Road 1008 (Fearrington Road), the Southeast corner of that certain tract conveyed to Wesley B. Upchurch, et ux, by Deed recorded in Book 333, Page 328, Chatham County Registry, and running thence along and with the line of Upchurch, North 83° 47' 43" West 314.93 feet to a stake, the Southwest corner of Upchurch and the Southeast corner of Russell; thence South 05° 52' 29" West 34.60 feet to a point; thence South 83° 47' 43" East 315.14 feet to a point in the Western margin of State Road 1008; running thence along and with the Western margin of said Road North 05° 31' 56" East 34.60 feet to the point and place of **BEGINNING**, being a strip of land approximately 34.6 feet wide running along and with the Southern margin of the Upchurch tract.