

# Morgan Ridge Subdivision

## Chatham County, NC Construction Drawings

### SITE INVESTIGATION:

- Property DOES NOT contain areas designated by FEMA as 100-year floodplains.
- Locations of utilities shown on these plans are based on available information and are approximate. Contractor shall be responsible for locating and/or relocating all existing utilities in coordination with the appropriate utility, agency or company prior to commencement of construction. Contractor shall contact North Carolina "OneCall" at 1-800-632-4949, or current phone number, for assistance in locating existing utilities at least 48 hours prior to any digging and is responsible for contacting any non-subscribing utilities.
- Any discrepancy in this plan and actual field conditions shall be reported to the Owner prior to start of construction. General Contractor + Grading Contractor shall be responsible for verification of all setbacks, easements and dimensions shown hereon before beginning construction.
- General Contractor + Grading Contractor shall contact all Owners of Easements, rights-of-Ways, Public or private, prior to working in these areas.
- General Contractor + Grading Contractor shall be responsible for verifying that all required permits and approvals have been obtained prior to starting construction. No construction or fabrication of any item shall begin until Contractor has received all plans and other documentation from all of the permitting and other regulatory authorities. Failure of the Contractor to follow this procedure shall cause the Contractor to assume full responsibility for any subsequent modification of the work mandated by any regulatory authority.

### CONSTRUCTION:

- Contractor shall maintain the site so that workers and the Public shall be protected from injury and adjoining property protected from damage.
- Contractor is responsible for damage to any existing item and/or material due to construction operations. All street surfaces, driveways, culverts, curb and gutters, roadside drainage ditches and other structures that are disturbed or damaged in any manner as a result of construction shall be replaced or repaired in accordance with specifications.
- All construction must be performed in accordance with current regulatory specifications and details.
- If departures from the specifications or drawings are deemed necessary by the Contractor, details of such departures and the reasons thereof shall be submitted to the Owner for review. No departures from the contract documents shall be made without written permission of the Owner.
- Any and all quantities shown or implied on these plans are for estimation purposes only.
- Equipment and products other than those specified may be used provided prior approval has been obtained in writing from the owner prior to additional cost related to the substitution of alternate equipment.
- Site shall be stabilized and seeded prior to issuance of a Certificate of Occupancy.
- General Contractor + Grading Contractor shall remove all trash and debris from site at least once a week during construction and upon completion of the project.

### GRADING:

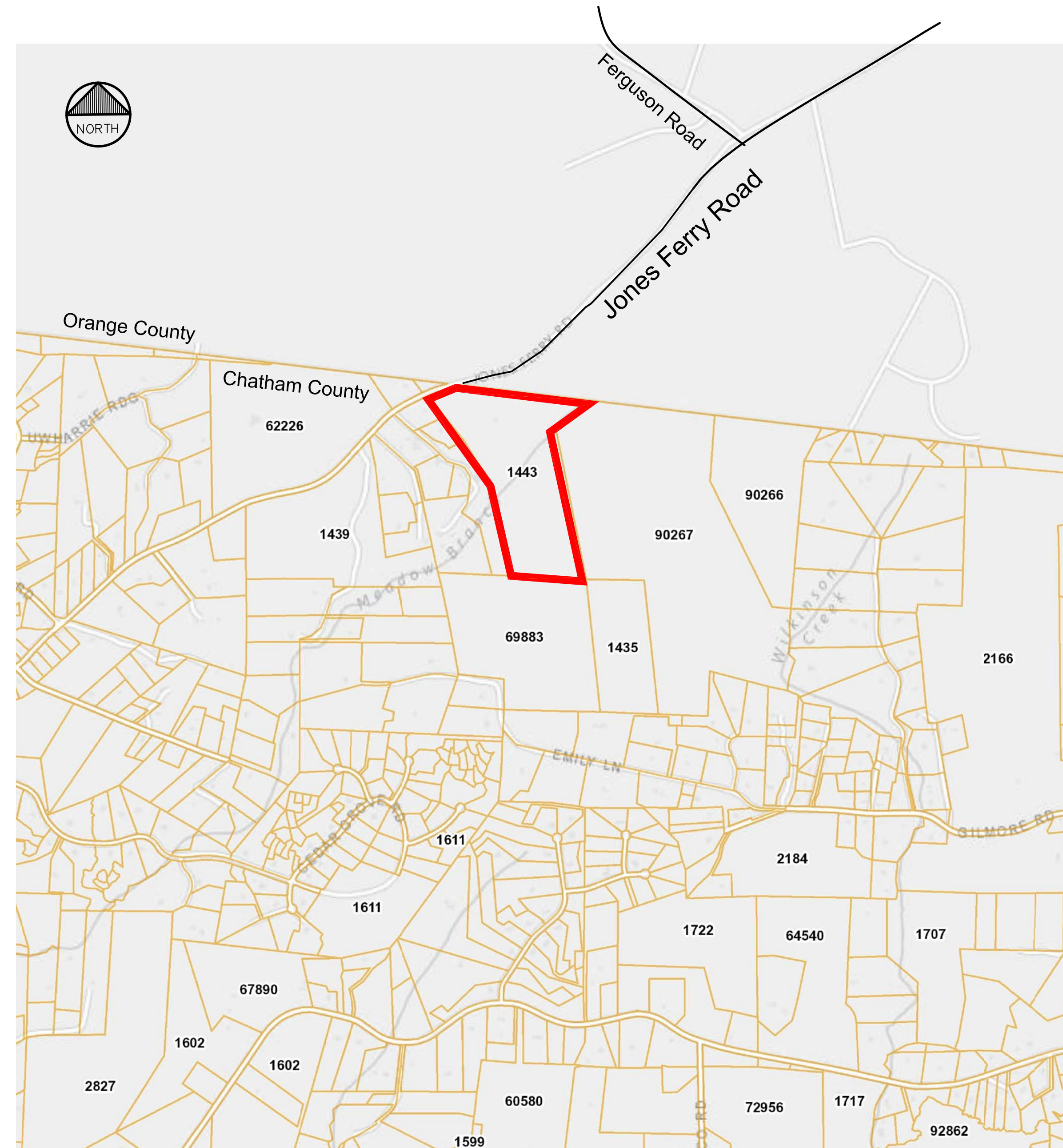
- Compaction and maintenance of proper moisture content of the soil under buildings and paved areas shall be accomplished to achieve 98 of Standard Proctor Maximum Dry Density or as recommended in the soil report or by on-site geotechnical engineer (if available).
- All areas shall be stabilized within 14 days of inactivity and slopes stabilized within 7 days of inactivity.

### GENERAL NOTES:

- Boundary and 1' contour data provided by: RS Jones Surveyors.
- Lots will be served using individual wells and septic systems
- A public water system is not presently available to the subdivision.
- A non-discharge permit for a land application waste disposal system will not be needed / necessary.
- A permit for a subsurface wastewater disposal system of 3000 gallons /day or larger is not needed / necessary.
- A 404 permit / 401 certification is necessary / required.
- Total impervious area will be 24% maximum
- Private utilities shall be located off of the proposed right of way.

**NOTE A** When burying around the end of a drainage structure, the utility shall be located a minimum of 5 feet from the nearest part of the structure.

Private PVC SDR forcemain shall be installed in a 4" steel/DIP casing when crossing a Permanent Drainage Easement (PDE). Casing shall extend a minimum of 2 feet past the edge of the PDE.



Vicinity Map

### Site Information

OWNER: JONES FERRY PROPERTIES, LLC  
227 Opus Way  
Chapel Hill, NC 27516

PROPERTY ADDRESS: 4074 JONES FERRY ROAD  
CHAPEL HILL, NC 27516

AKPAR 1443  
DB:1748 PG:0757  
PB:2014 PG:0138  
PIN:9757-30-5510 (CHATHAM)  
CURRENT ZONING: R-1  
WATERSHED: WS-IV PA / JLBA

SITE AREA: +/- 52.20 ACRES  
TOTAL LOTS: +/- 16 LOTS  
AVG LOT SIZE +/- 3.0 ACRES  
MINIMUM LOT SIZE 1.5 ACRES  
LENGTH OF ROAD +/-2500 LF  
COMMUNITY / HOA PROPERTY  
CHATHAM COUNTY: 0.11 ACRES  
ORANGE COUNTY: 0.31 ACRES

### Orange County Site Data

DB:1748 PG:0757  
PB:116 PG:162  
PIN:9757-30-2873 (ORANGE)  
TOWNSHIP: BINGHAM

EX. TRACT AREA (NET): 0.40 ACRES  
EX. TRACT AREA WITH J.F.R. R/W 0.65 ACRES  
LENGTH OF ROAD +/-89 LF

ZONING: AR  
WATERSHED: HAW RIVER PROTECTED

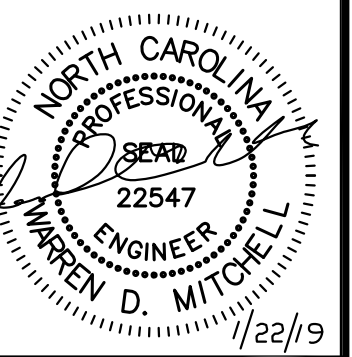
PROP. M.R.W. R/W: 0.09 ACRES  
PROP. HOA PROPERTY: 0.31 ACRES

### Drawing Index

- C1 Site Plan
- C2 Erosion Control Plan - Phase 1
- C3 Erosion Control Plan - Phase 2
- C4 Plan and Profile 0+00 - 12+50
- C5 Plan and Profile 12+50 - 25+00
- C6 Bioretention Pond
- C7 Constructed Stormwater Wetlands
- C8 Road Cross Sections
- C9 Road Cross Sections
- C10 Road Cross Sections
- C11 Details
- C12 Details
- C13 Details
- C14 Culvert Construction Details
- C15 Details

LOT IMPERVIOUS AREA LIMITS			
LOT	GROSS AREA(+/-)	MAX IMPERVIOUS	PERCENTAGE %
#1	1.95 ac.	0.39 ac (17,000 sf)	20 %
#2	1.70 ac.	0.39 ac (17,000 sf)	22.9%
#3	2.39 ac.	0.39 ac (17,000 sf)	16.3%
#4	2.55 ac.	0.39 ac (17,000 sf)	15.3%
#5	5.50 ac.	0.39 ac (17,000 sf)	7.1%
#6	3.45 ac.	0.39 ac (17,000 sf)	11.3%
#7	9.10 ac.	0.39 ac (17,000 sf)	4.28%
#8	3.20 ac.	0.39 ac (17,000 sf)	12.1%
#9	2.10 ac.	0.39 ac (17,000 sf)	18.6%
#10	1.65 ac.	0.39 ac (17,000 sf)	23.6%
#11	2.40 ac.	0.39 ac (17,000 sf)	16.3%
#12	1.56 ac.	0.39 ac (17,000 sf)	25 %
#13	2.05 ac.	0.39 ac (17,000 sf)	19%
#14	1.87 ac.	0.39 ac (17,000 sf)	20.9%
#15	2.30 ac.	0.39 ac (17,000 sf)	16.9%
#16	3.85 ac.	0.39 ac (17,000 sf)	9.87%
Public R/W	4.10 ac.	1.52 ac.	37 %
Common Area	0.48 ac.	0.04 ac.	8.3 %
TOTAL	52.20 ac.	7.80 ac.	15 %

Warren D. Mitchell, PE  
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CHAPEL HILL, NORTH CAROLINA 27516  
warrenmitchellpe@gmail.com  
P (919) 992-1916



REVISIONS	DATE	DESCRIPTION
1.	11/15/18	NCDOT comments
2.	12/15/18	EC and Stormwater
3.	12/19/18	EC and Stormwater
4.	1/22/19	EC and Stormwater

MORGAN RIDGE SUBDIVISION  
Construction Drawings  
Chatham County, North Carolina

August 20, 2018

COVER

# MORGAN RIDGE SUBDIVISION

## Construction Plat

CHATHAM COUNTY, NC  
August 20, 2018  
REVISED February 4, 2019



### CHATHAM COUNTY SITE DATA

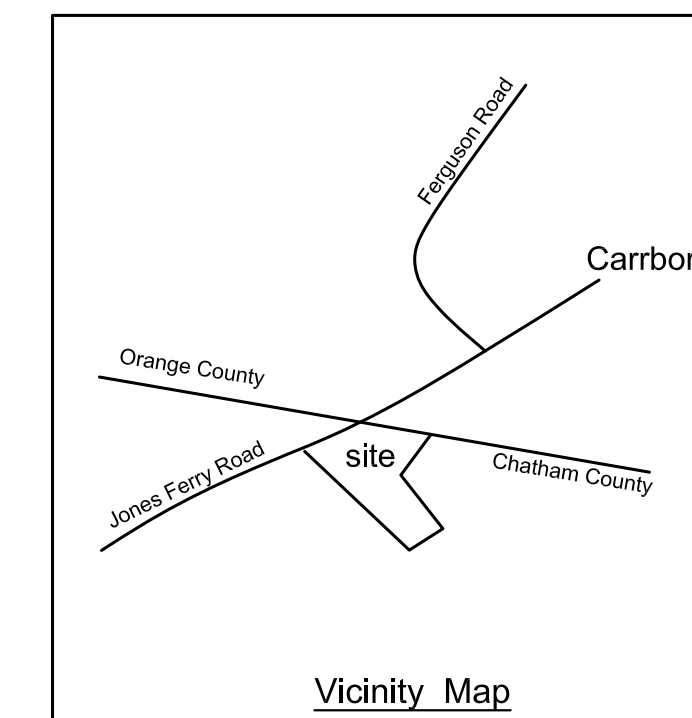
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PB:2014 PG:0138  
PIN:9757-30-5510 (CHATHAM)  
CURRENT ZONING: R-1  
WATERSHED: WS-IV PA / JLBA

SITE AREA: +/- 52.20 ACRES  
Total Wetlands +/- 90,314 SF ( 2.07 AC)  
Length of streams +/- 3283 feet  
TOTAL LOTS: 16 LOTS  
AVG LOT SIZE +/- 3.0 ACRES  
MINIMUM LOT SIZE 1.5 ACRES  
LENGTH OF ROAD +/-2500 LF  
COMMUNITY / HOA PROPERTY  
CHATHAM COUNTY: 0.11 ACRES  
ORANGE COUNTY: 0.37 ACRES

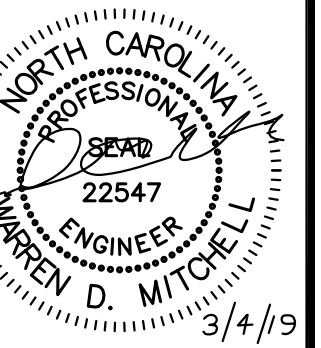
 Represents Stream and Wetland buffers  
 Represents Wetland boundaries



Registered Surveyor:  
R.S. Jones and Associates, Inc.  
201 W. Clay Street  
Mebane NC 27302  
919-563-3623  
Bobbyj@rsjonesandassociates.com

Registered Soil Scientist:  
Central Carolina Soil Consulting, PLLC.  
1900 South Main Street Suite 110  
Wake Forest, NC 27587  
919-569-6704  
jhall@centralcarolinasoil.com

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1.	12/5/18	EC and Stormwater
2.	12/19/18	EC and Stormwater
3.	1/22/19	NCDOT
4.	2/4/19	NCDOT Revisions
5.	3/4/19	Sight triangle Esmt.

## MORGAN RIDGE SUBDIVISION

### Construction Drawings

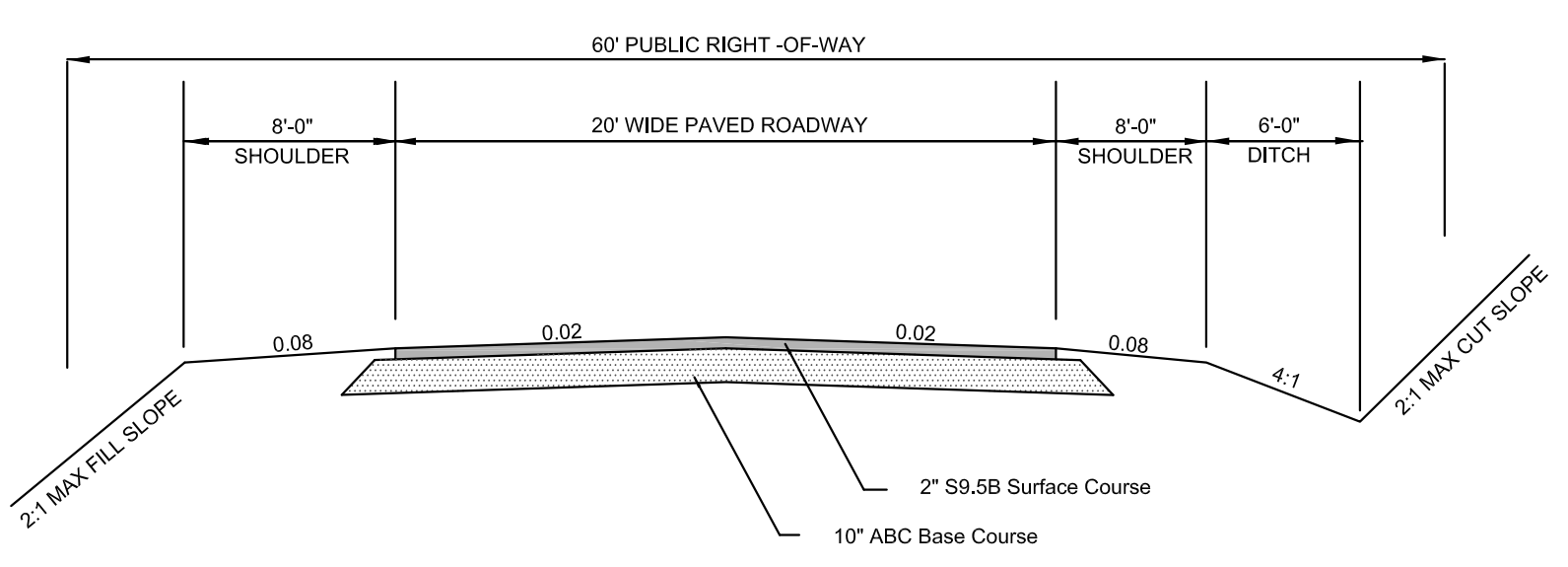
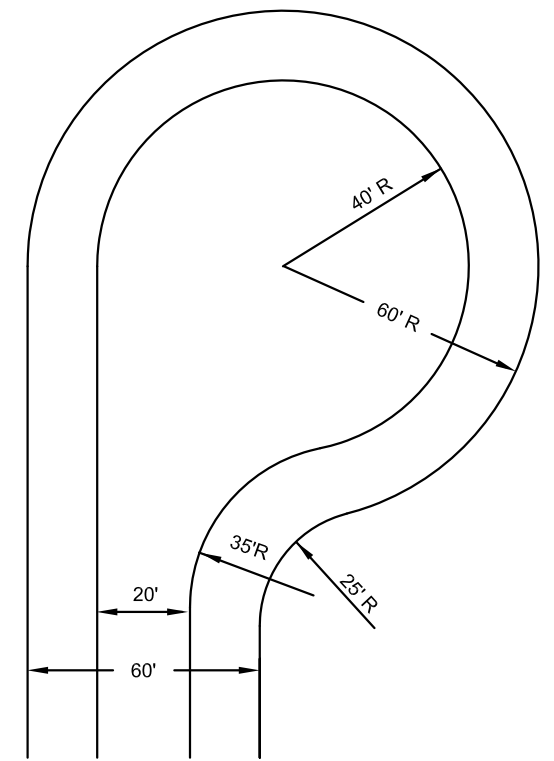
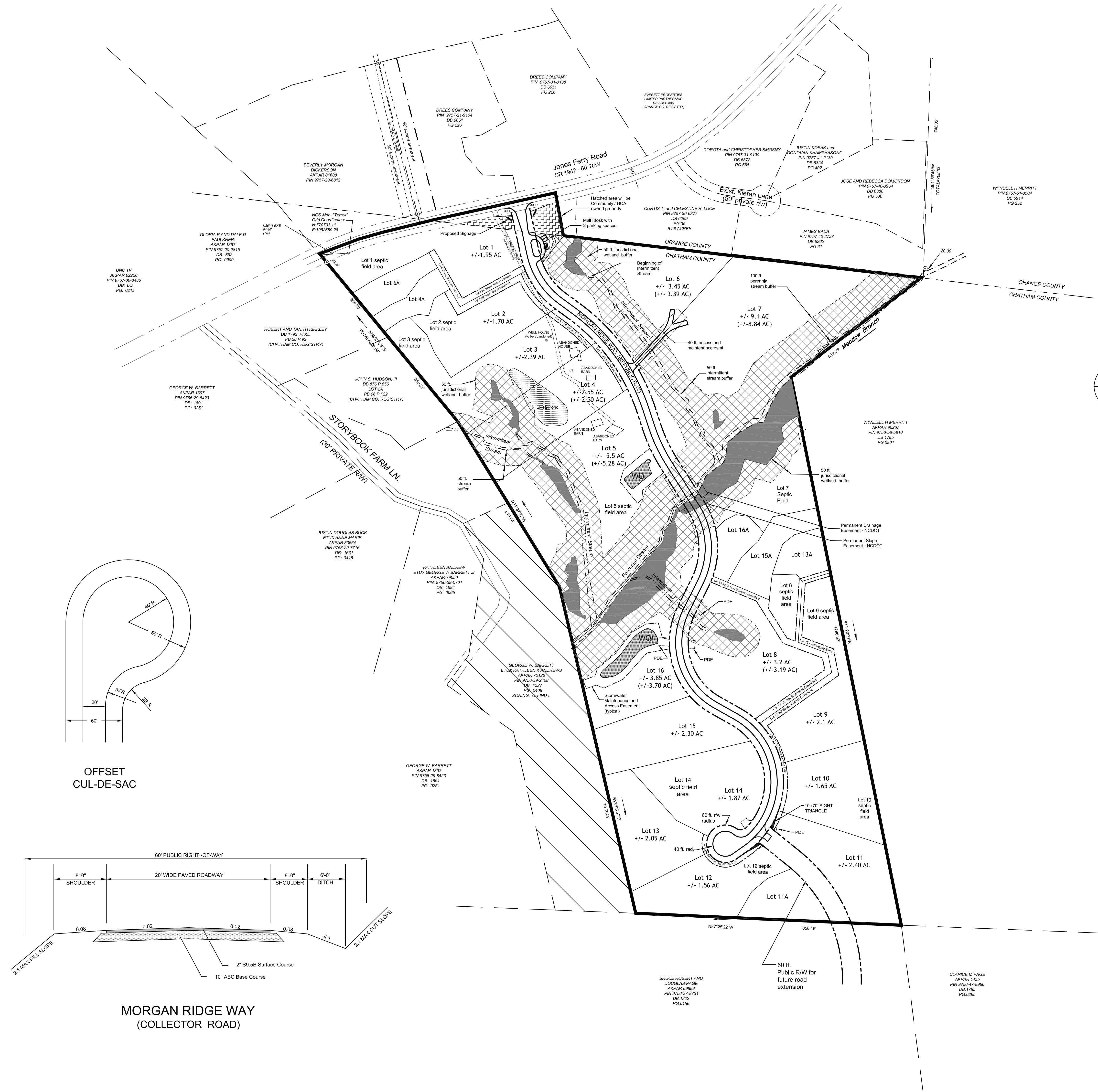
Chatham County, North Carolina

August 20, 2018

Scale: 1"=150'

SITE PLAN LAYOUT

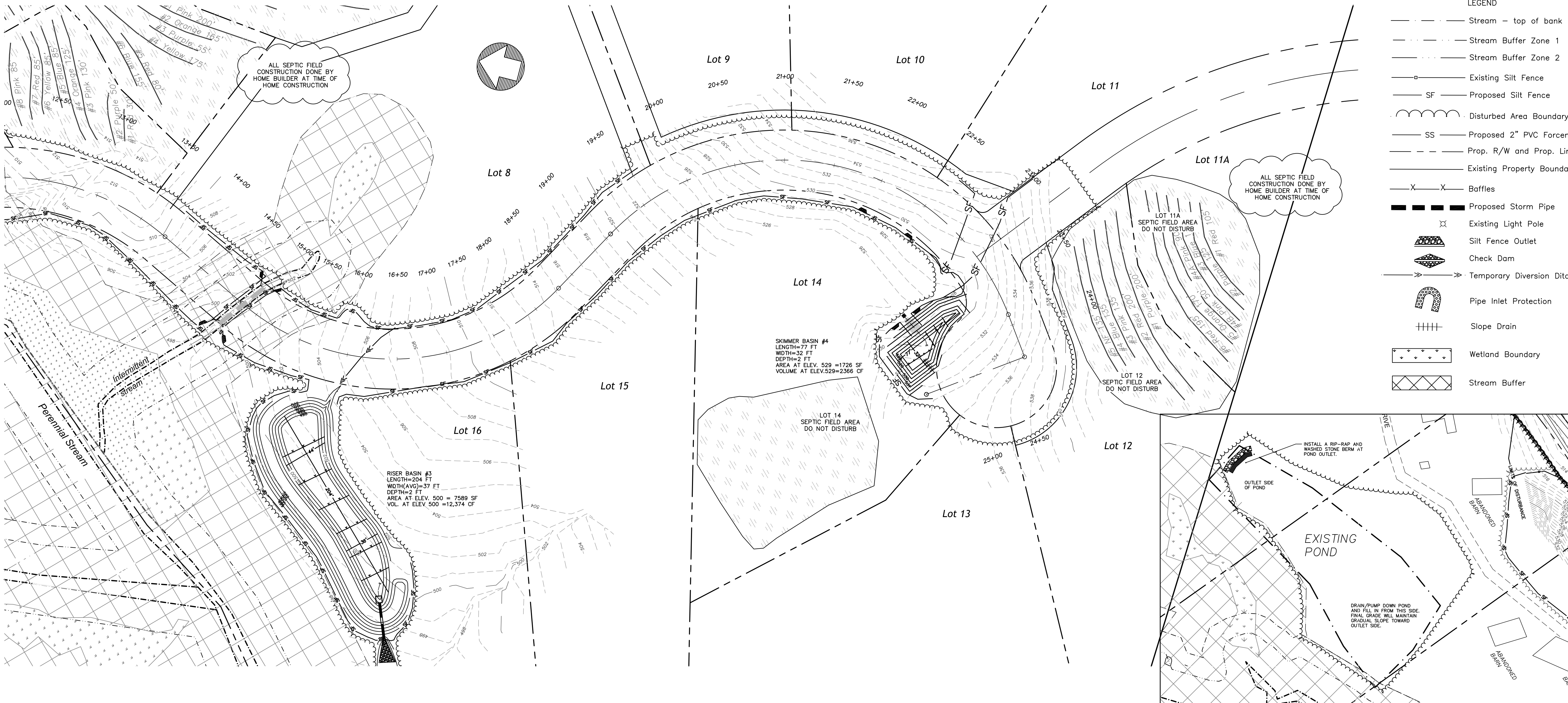
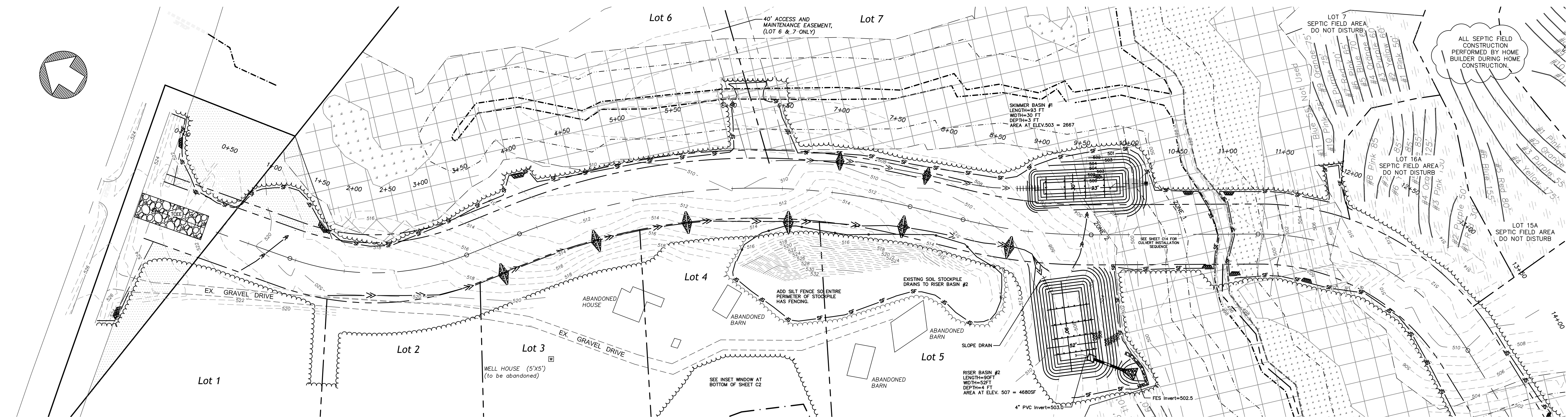
# C1



MORGAN RIDGE WAY (COLLECTOR ROAD)

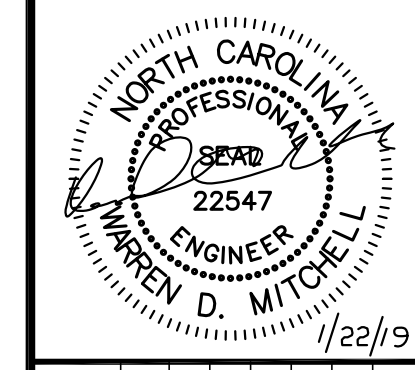
BRUCE ROBERT AND DOUGLAS PAGE  
AKPAR 69853  
PIN 9756-37-8731  
DB 1822  
PG 0156

CLARICE M PAGE  
AKPAR 1435  
PIN 9756-47-8960  
DB 1765  
PG 0295



- LEGEND**
- Stream - top of bank
  - - - Stream Buffer Zone 1
  - - - Stream Buffer Zone 2
  - Existing Silt Fence
  - SF Proposed Silt Fence
  - ⌋ Disturbed Area Boundary
  - SS Proposed 2" PVC Forcemain
  - - - Prop. R/W and Prop. Line
  - - - Existing Property Boundary
  - X X Baffles
  - ▬▬▬ Proposed Storm Pipe
  - ⊗ Existing Light Pole
  - ▒ Silt Fence Outlet
  - ⊕ Check Dam
  - Temporary Diversion Ditch
  - ⌒ Pipe Inlet Protection
  - |||| Slope Drain
  - ▒ Wetland Boundary
  - ▒ Stream Buffer

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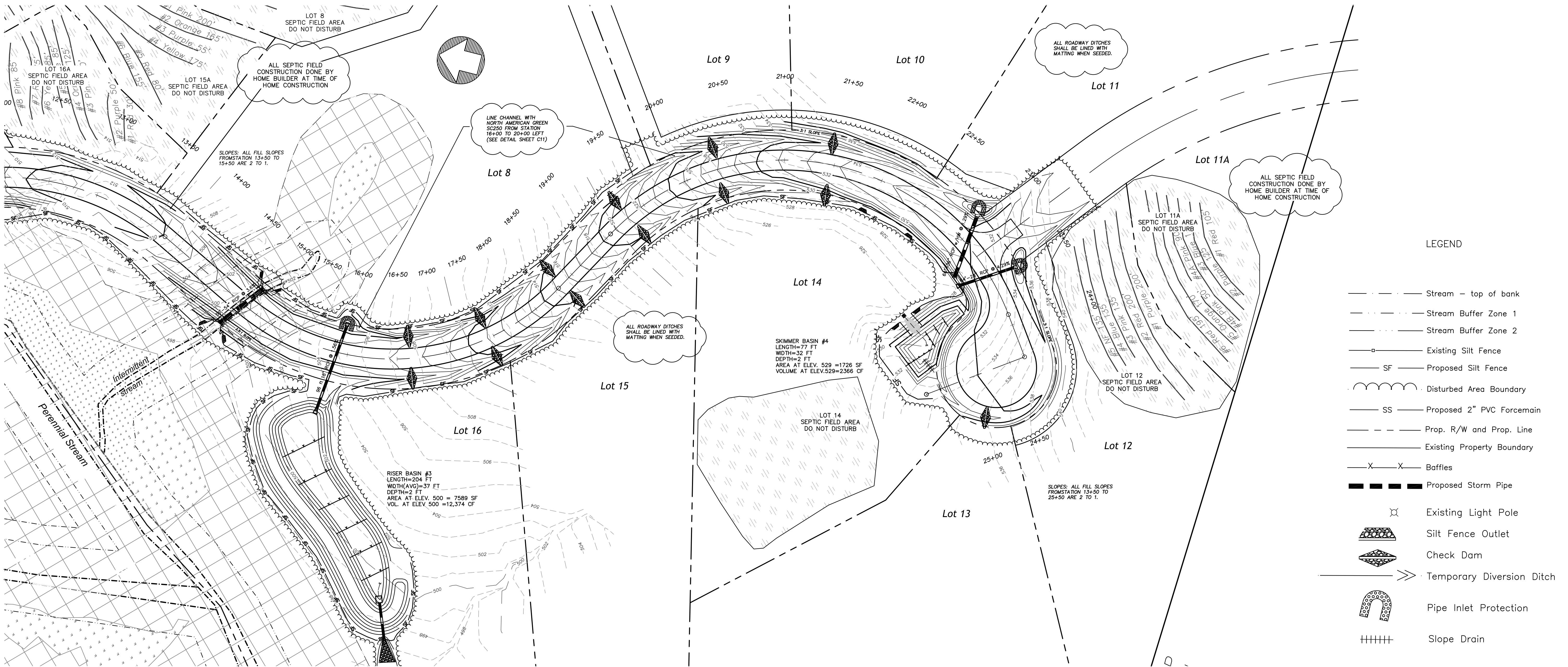
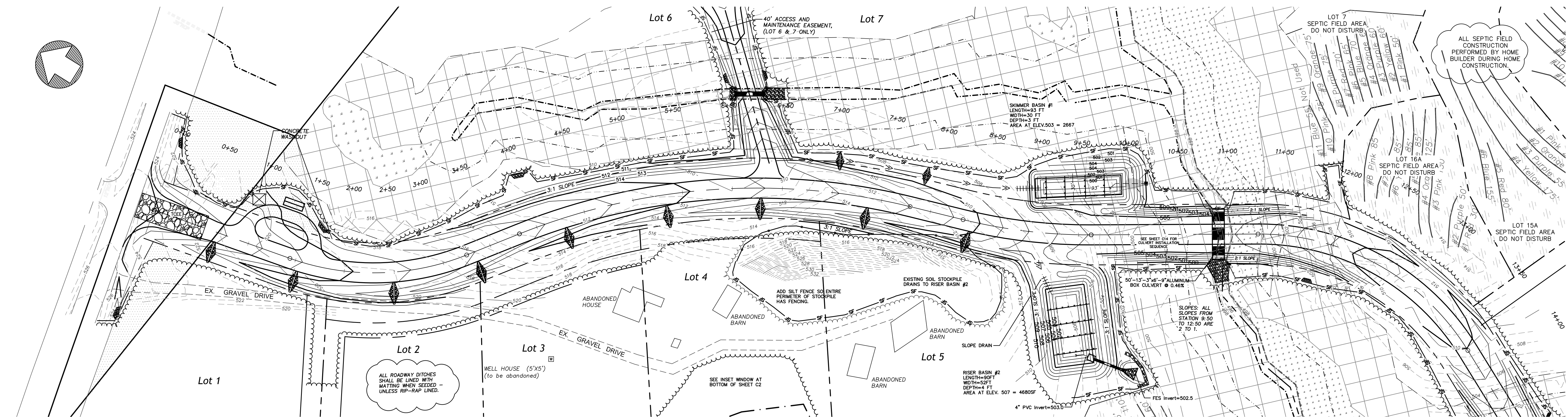


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**MORGAN RIDGE SUBDIVISION**  
**Construction Drawings**  
 Chatham County, North Carolina

August 20, 2018  
 Scale: 1"=50'  
**Erosion Control Plan**  
 phase 1 of construction

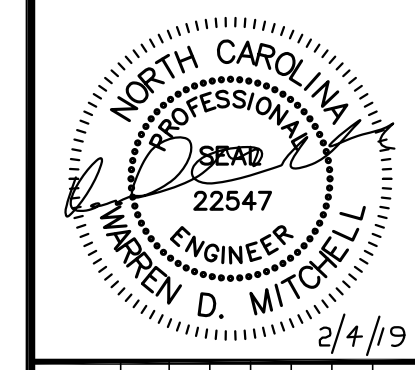
**C2**



LEGEND

- Stream - top of bank
- Stream Buffer Zone 1
- Stream Buffer Zone 2
- Existing Silt Fence
- Proposed Silt Fence
- Disturbed Area Boundary
- Proposed 2" PVC Forcemain
- Prop. R/W and Prop. Line
- Existing Property Boundary
- Baffles
- Proposed Storm Pipe
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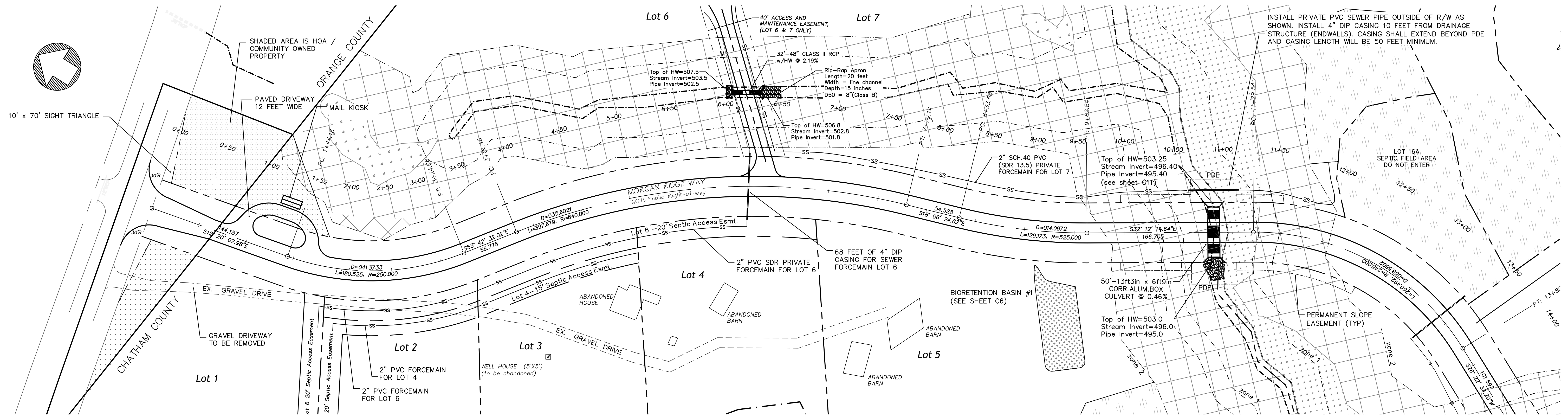
REVISIONS

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4. 1/22/19 EC and Stormwater
5. 2/4/19 NCDOT Revisions

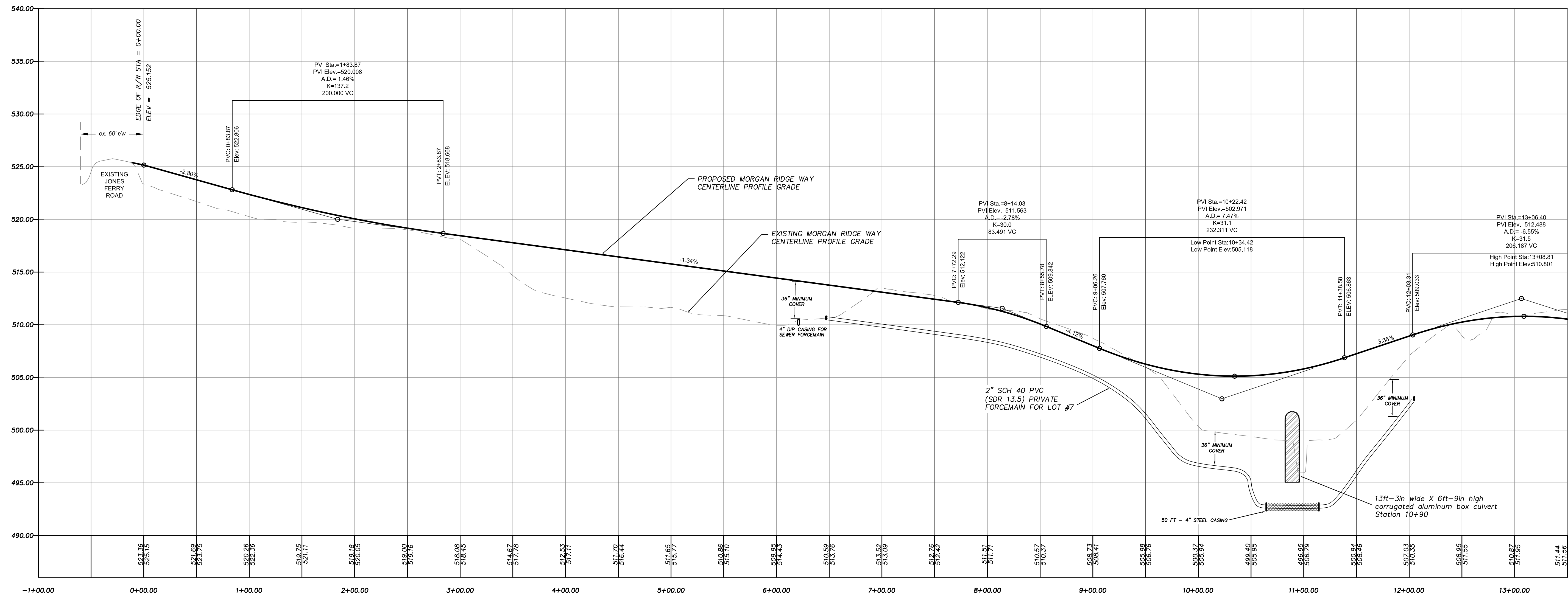
**MORGAN RIDGE SUBDIVISION**  
**Construction Drawings**  
 Chatham County, North Carolina

August 20, 2018  
 Scale: 1"=50'  
**Erosion Control Plan**  
 phase 2 of construction

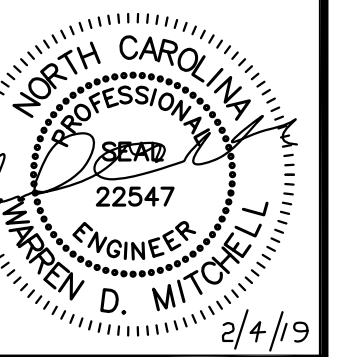
**C3**



SCALE: 1 inch = 50 feet Horizontal  
1 inch = 5 feet Vertical



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MORGAN RIDGE SUBDIVISION  
Construction Drawings  
Chatham County, North Carolina

August 20, 2018

Scale: 1"=50'

Plan and Profile  
Sheet 1 of 2

C4