

CONSTRUCTION PLANS

FOR

THE LEGACY - PHASE 6

BIG WOODS ROAD

CHATHAM COUNTY, NORTH CAROLINA

FEBRUARY 6, 2018
 REVISED: MARCH 15, 2018
 REVISED: APRIL 5, 2018
 REVISED: APRIL 11, 2018
 REVISED: JUNE 18, 2018
 REVISED: AUGUST 2, 2018
 REVISED: AUGUST 13, 2018
 REVISED: DECEMBER 17, 2018
 REVISED: JANUARY 14, 2019
 REVISED: JANUARY 30, 2019

OWNER / DEVELOPER

F-L LEGACY OWNER, LLC.
 500 BOYLSTON STREET, SUITE 2010
 BOSTON, MA 02116
 PHONE: (617) 221-8400
 CONTACT: FRED WARD
 EMAIL: FRW@FREEHOLDCOMMUNITIES.COM

ENGINEER / SURVEYOR

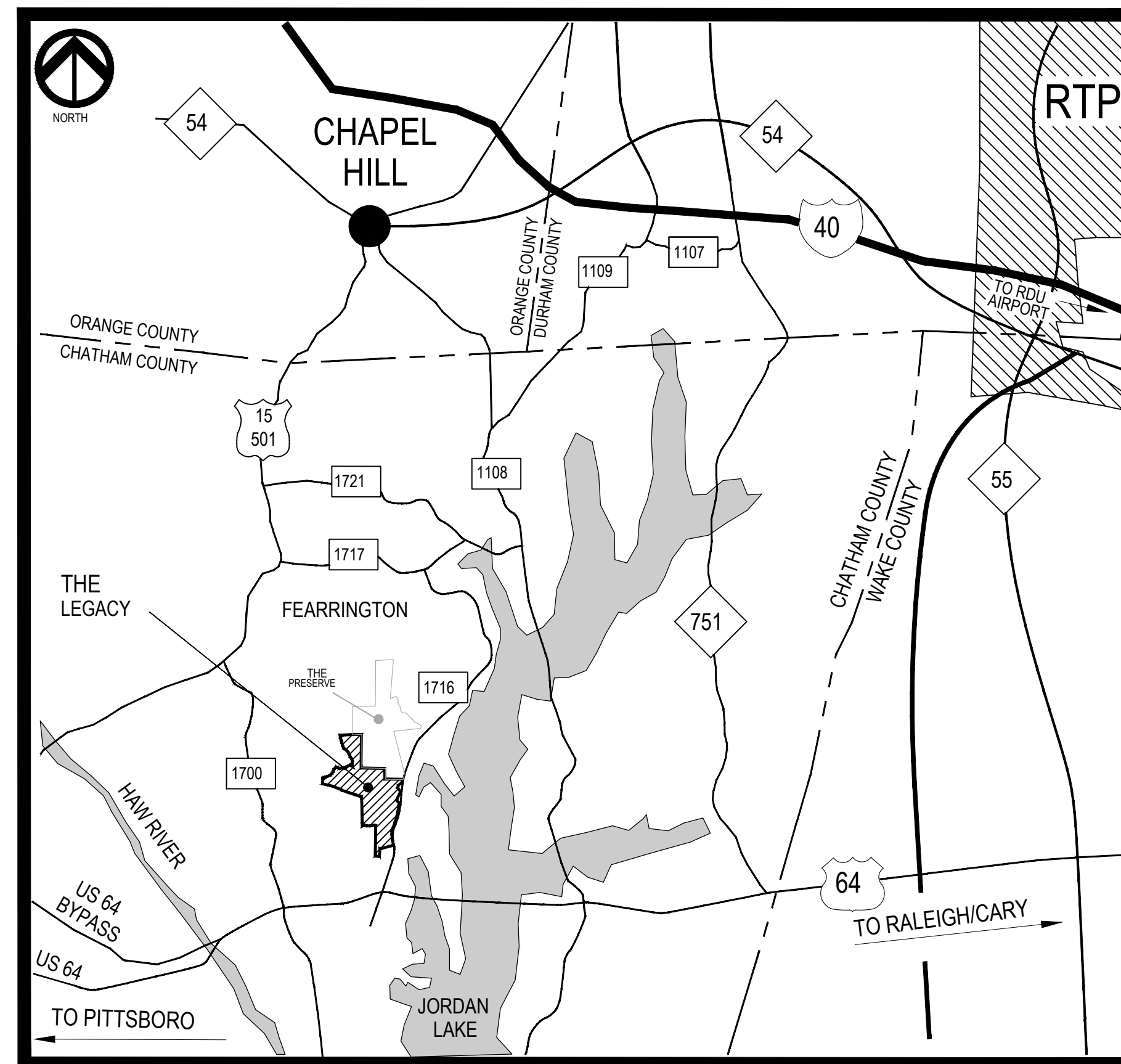
CE GROUP, INC.
 301 GLENWOOD AVENUE, SUITE 220
 RALEIGH, NC 27603
 PHONE: (919) 367-8790 EXT. 108
 CONTACT: MITCH CRAIG, PE
 EMAIL: MITCH@CEGROUPINC.COM

SITE DATA

SITE ADDRESS: COVERED BRIDGE TRAIL
 NC PIN: 9783-00-03-4916
 ZONING DISTRICT: R-1 (RESIDENTIAL)
 MUNICIPALITY: NEW HOPE
 EXISTING USE: VACANT
 PROPOSED USE: RESIDENTIAL
 NUMBER OF PROPOSED LOTS: 54
 FLOOD ZONE: X
 FEMA PANEL NUMBER: 3710978200J & 3710977300J, DATED: 02/02/07
 PROPOSED DISTURBED AREA: 22.52 AC.

GENERAL CONSTRUCTION NOTES

- EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
- ALL WATER UTILITY CONSTRUCTION SHALL CONFORM TO THE CHATHAM COUNTY STANDARDS AND SPECIFICATIONS.
- ALL SANITARY SEWER UTILITY CONSTRUCTION SHALL CONFORM TO LATEST AQUA OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- THE SUBJECT PHASE IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA MAP NUMBERS 3710978200J & 3710977300J, DATED 02/02/07.
- AQUA PERSONNEL SHALL BE NOTIFIED 48 HOURS BEFORE CONSTRUCTION IS TO BEGIN, ANY TESTING IS SCHEDULED, OR BEFORE ANY PIPE IS COVERED.
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- TOPOGRAPHIC INFORMATION PROVIDED BY CE GROUP, INC. RALEIGH, NC. PROFILE DATA FROM FIELD SURVEY BACKGROUND TOPOGRAPHY FROM AERIAL MAPPING.



VICINITY MAP
 1" = 1000'



CE GROUP
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 RALEIGH, NC 27603
 PHONE: 919-367-8790
 www.cegroupinc.com

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- SANITARY SEWER DETAILS
- STORM DRAINAGE DETAILS



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THE LEGACY - PHASE 6
 CONSTRUCTION PLANS
 COVER SHEET

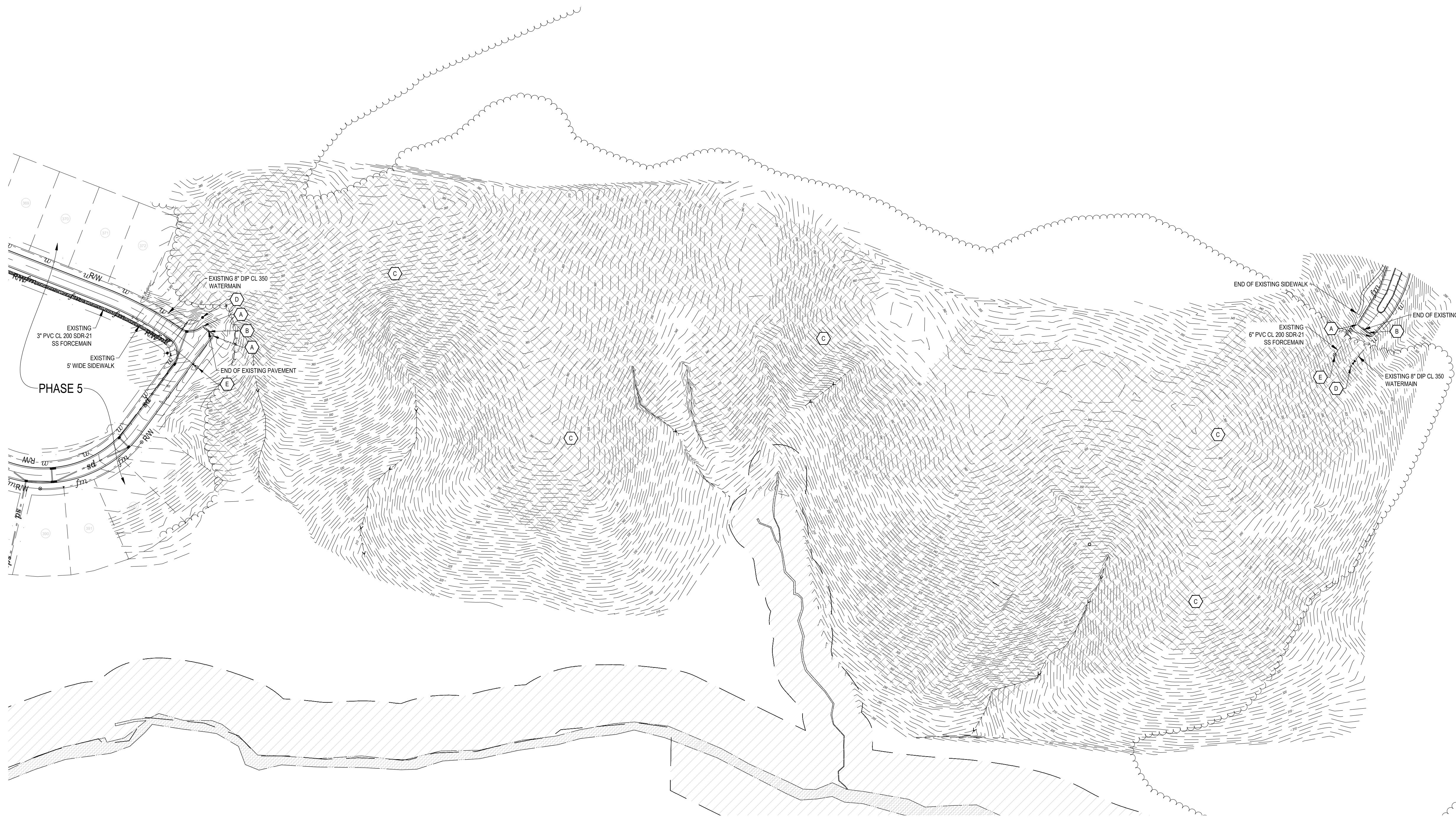
BIG WOODS ROAD
 CHATHAM COUNTY, NORTH CAROLINA

Date:	02/16/2018
Scale:	
Drawn:	JCH
Checked:	JMC
Project No.:	330-12
Computer Dwg. Name:	330-12 1 COVER

Sheet No:
1
 Of 32

P:\330 (Freehold Capital)\330-12 (Legacy Phase 6)\Design\Plans\Construction\Plan\330-12-1 COVER.dwg, PLOTTED: 2/20/2018 10:27 AM, BY: BMUELLER

P: 330 (Embed) Capital/330-12 (Legacy) Phase 6 (Design) Plans/Construction Plans/330-12 EXISTING CONDITIONS.dwg PLOTTED: 2/7/2019 10:28 AM BY: BMUELLER



LEGEND

---	PROPERTY LINE (PL)
---	RIGHT-OF-WAY LINE
---	SETBACK LINE
---	UTILITY EASEMENT
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
-SS-	EXISTING GRAVITY SEWER
-W-	EXISTING WATER LINE
-SD-	EXISTING STORM DRAINAGE PIPE
-G-	EXISTING GAS LINE
-OHE-	EXISTING OVERHEAD ELECTRIC LINE
-UGE-	EXISTING UNDERGROUND ELECTRIC LINE
-FO-	EXISTING FIBER OPTIC LINE
---	EXISTING GUARDRAIL
---	EXISTING FENCE
---	EXISTING TREELINE
○	SURVEY BENCHMARK
○	PROPERTY CORNER/MONUMENT
○	EX IRON PIN
○	EX IRON REBAR
○	STORM CATCH BASIN
○	CATV BOX
○	ELECTRIC SWITCH
○	TRAFFIC SIGNAL HAND HOLE
○	FIRE HYDRANT
○	GLY WIRE
○	LIGHT POLE
○	SANITARY STRUCTURE
○	SANITARY CLEANOUT
○	STREET SIGN
○	ELECTRIC STRUCTURE
○	UTILITY POLE
○	EVERGREEN TREE
○	WATER VALVE
○	REINFORCED CONCRETE PIPE
○	PVC
○	B/C
○	BACK OF CURB
○	EDGE OF PAVEMENT
○	SIDEWALK
○	ASBESTOS CEMENT PIPE

- GENERAL NOTES**
- BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY THE CE GROUP INC.
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN (IF ANY) IS APPROXIMATE ONLY. UTILITIES MAY EXIST WHICH ARE NOT SHOWN. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PUBLIC OR PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE WITHIN THE LIMITS OF ANY GRADING OR EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AT HIS EXPENSE. ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
 - ANY ONSITE UTILITIES DESIGNATED TO BE RELOCATED, AS REQUIRED FOR CONSTRUCTION, WILL BE DONE AT OWNER'S EXPENSE. CONTRACTOR TO CONTACT CITY OF JACKSONVILLE AND ANY APPLICABLE UTILITY COMPANIES PRIOR TO RELOCATION.
 - DAMAGE DONE TO ANY ITEMS NOT SHOWN IN THESE PLANS TO BE REMOVED, ADDED, OR REPLACED SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.
 - EXISTING SOILS INFORMATION BASED ON DATA FROM USDA WEB SOIL SURVEY AND CHATHAM COUNTY GIS.

- DEMOLITION KEYNOTES**
- A REMOVE EXISTING 24" CURB AND GUTTER TO NEAREST JOINT TO ENSURE PROPER CONSTRUCTION WITH NEW CURB AND GUTTER
 - B SAWCUT EXISTING PAVEMENT AT EDGE FOR CLEAN VERTICAL FACE (MIN. 2' FROM EXISTING EDGE OF PAVEMENT) CONTRACTOR TO ENSURE A SMOOTH VERTICAL FACE
 - C EXISTING TREES TO BE REMOVED
 - D REMOVE EXISTING BLOW-OFF AND CONNECT TO EXISTING WATERLINE. (SEE PLAN AND PROFILE FOR MORE DETAILS)
 - E EXISTING SANITARY SEWER CLEANOUT TO REMAIN

NORTH

SCALE: 1" = 100'

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CE GROUP

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THE LEGACY - PHASE 6
CONSTRUCTION PLANS
EXISTING CONDITIONS

BIG WOODS ROAD
CHATHAM COUNTY, NORTH CAROLINA

Date:	02/16/2018
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Drawn:	JCH
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Project No:	330-12
Computer Dwg. Name:	330-12 2 EXISTING CONDITIONS



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	SETBACK LINE
	UTILITY EASEMENT
	PROPOSED FENCE
	PROPOSED METAL GUARDRAIL
	PROPOSED ORNAMENTAL FENCE
	PROPOSED RETAINING WALL
	PROPOSED ROLL CURB
	PARKING COUNT
	LIGHT POLES
	SIGN

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 MUNICIPALITY: NEW HOPE

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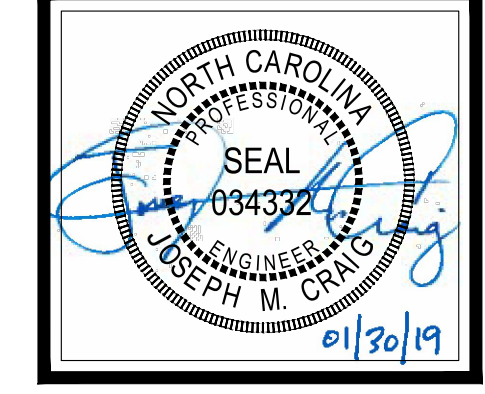
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**THE LEGACY - PHASE 6
 CONSTRUCTION PLANS
 OVERALL LAYOUT PLAN**

BIG WOODS ROAD
 CHATHAM COUNTY, NORTH CAROLINA

Date:	02/16/2018
Scale:	1" = 100'
Drawn:	JCH
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Project No.:	330-12
Computer Dwg. Name:	330-12 3 LAYOUT PLAN - OVERALL
Sheet No.:	3 Of 32

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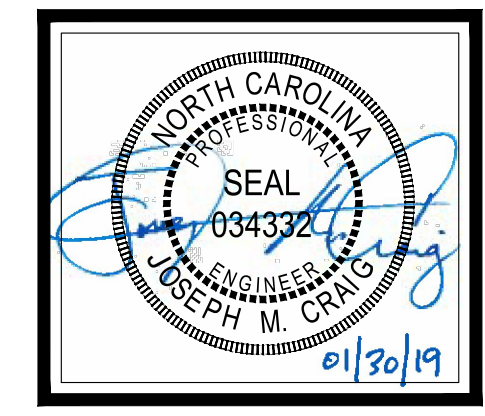
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**THE LEGACY - PHASE 6
CONSTRUCTION PLANS
ENLARGED LAYOUT PLAN 6A1**

BIG WOODS ROAD
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SITE NOTES

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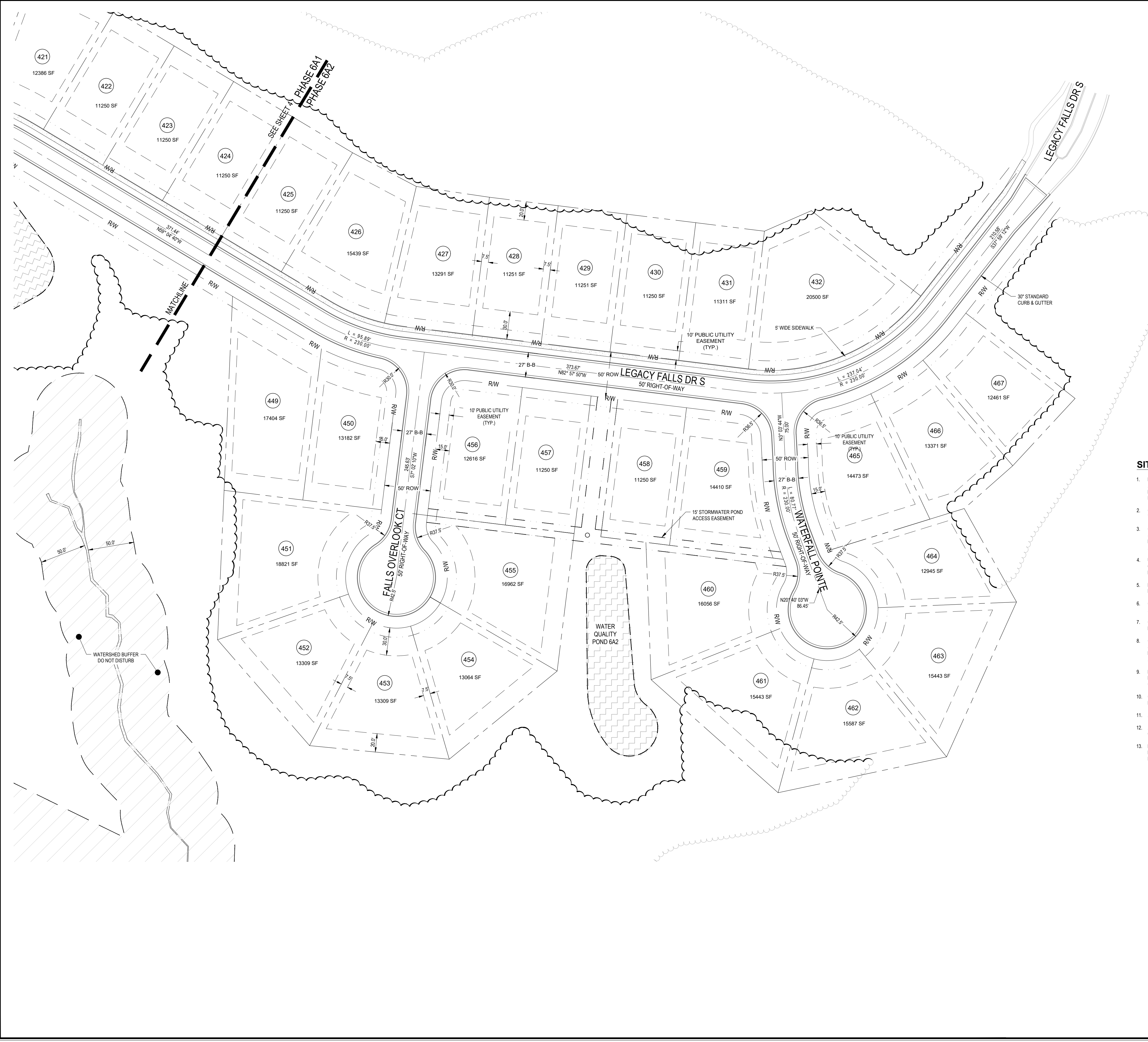
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Sheet No: **4** Of 32

P:\330 (Emberold Capital)\330-12 Legacy Phase 6\Design\Plans\Construction\Plan330-12 4 LAYOUT PLAN - AREA 1.dwg PLOTTED: 2/7/2019 10:28 AM BY: BMUELLER

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 - THE SUBJECT PROPERTY IS LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM PANEL 9773, MAP NUMBER 37109773001, DATED 02/02/07, & FEMA FIRM PANEL 9782, MAP NUMBER 37109782001, DATED 02/02/07.
 - AQUA PERSONNEL SHALL BE NOTIFIED 48 HOURS BEFORE CONSTRUCTION IS TO BEGIN. ANY TESTING IS SCHEDULED, OR BEFORE ANY PIPE IS COVERED.
 - ALL WATER MAINS SHALL HAVE A MINIMUM OF 3.0' OF COVER AS MEASURED FROM FINISHED GRADE AT THE LOCATION WHERE INSTALLED.
 - ALL WATER MAINS SHALL BE OVER THE SEWER MAIN AND SERVICES WITH A MINIMUM OF 18" SEPARATION.
 - ALL WATER MAINS AND FORCE MAINS CROSSING UNDER STORM DRAINAGE PIPING SHALL BE CONSTRUCTED WITH ONE (1) JOINT OF DUCTILE IRON PIPE CENTERED ON THE STORM PIPE CROSSING.
 - INSTREAM WORK SHALL BE PROHIBITED FROM MARCH 15 THROUGH JUNE 30 TO MINIMIZE IMPACTS TO SPAWNING FISH.
 - TOPOGRAPHIC INFORMATION PROVIDED BY CE GROUP, INC. RALEIGH, NC. PROFILE DATA FROM FIELD SURVEY BACKGROUND TOPOGRAPHY FROM AERIAL MAPPING.

- SITE NOTES**
- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
 - CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
 - CONTRACTOR SHALL PUT INTO PLACE SUCH TEMPORARY EROSION CONTROL MEASURES AS INDICATED ON THE PLANS. THESE MEASURES SHALL BE INSPECTED AND EVALUATED DURING CONSTRUCTION OPERATION FOR THEIR EFFECTIVENESS IN PREVENTING EROSION MATERIAL AND SEDIMENT FROM DISCHARGING FROM THE WORK AREA. IF REQUIRED, AND AS DIRECTED BY THE COUNTY INSPECTOR, ADDITIONAL TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTITUTED AND INSTALLED.
 - UNLESS EXPLICITLY SPECIFIED IN THESE PLANS, ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE CHATHAM COUNTY ORDINANCE AND ALL OTHER APPLICABLE REGULATIONS AND GUIDELINES. IN THE EVENT OF A DISCREPANCY BETWEEN THIS APPROVED PLAN AND THE APPLICABLE REGULATIONS OR GUIDELINES, THE MORE STRINGENT SHALL APPLY.
 - PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT A COST TO THE CONTRACTOR.
 - CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
 - CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONE WEEK DURING CONSTRUCTION. DEBRIS SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER. CONTRACTOR IS RESPONSIBLE FOR ANY FEES.
 - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
 - IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE OWNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE OWNER.
 - CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING AND PIPE INVERT ELEVATIONS PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT.
 - ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
 - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION IN WRITING MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - NO SIGHT OBSTRUCTING, OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, SIGN, PARKED VEHICLE, OR OTHER OBJECT BETWEEN THE HEIGHTS OF TWO (2) FEET AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION (OR THE EDGE OF PAVEMENT IF NO CURB EXISTS) SHALL BE PLACED WITHIN A SIGHT TRIANGLE.

NORTH

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SCALE: 1" = 50'

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NO.	REVISIONS	DATE
9	PER NCDEQ - PERCS COMMENTS	2019-01-30
8	PER PERCS & PWSS COMMENTS	2019-01-14
7	PER CHATHAM COUNTY COMMENTS	2018-12-17
6	PER OWNER COMMENTS	2018-08-13
5	PER NCDEQ COMMENTS	2018-08-02
4	PER OWNER COMMENTS	2018-06-16
3	PER EROSION CONTROL COMMENTS	2018-04-11
2	PER EROSION CONTROL COMMENTS	2018-04-09
1	PER CLIENT COMMENTS	2018-03-15

CE GROUP

301 GLENWOOD AVE. 220
RALEIGH, NC 27603
PHONE: 919-367-8790
FAX: 919-322-0032

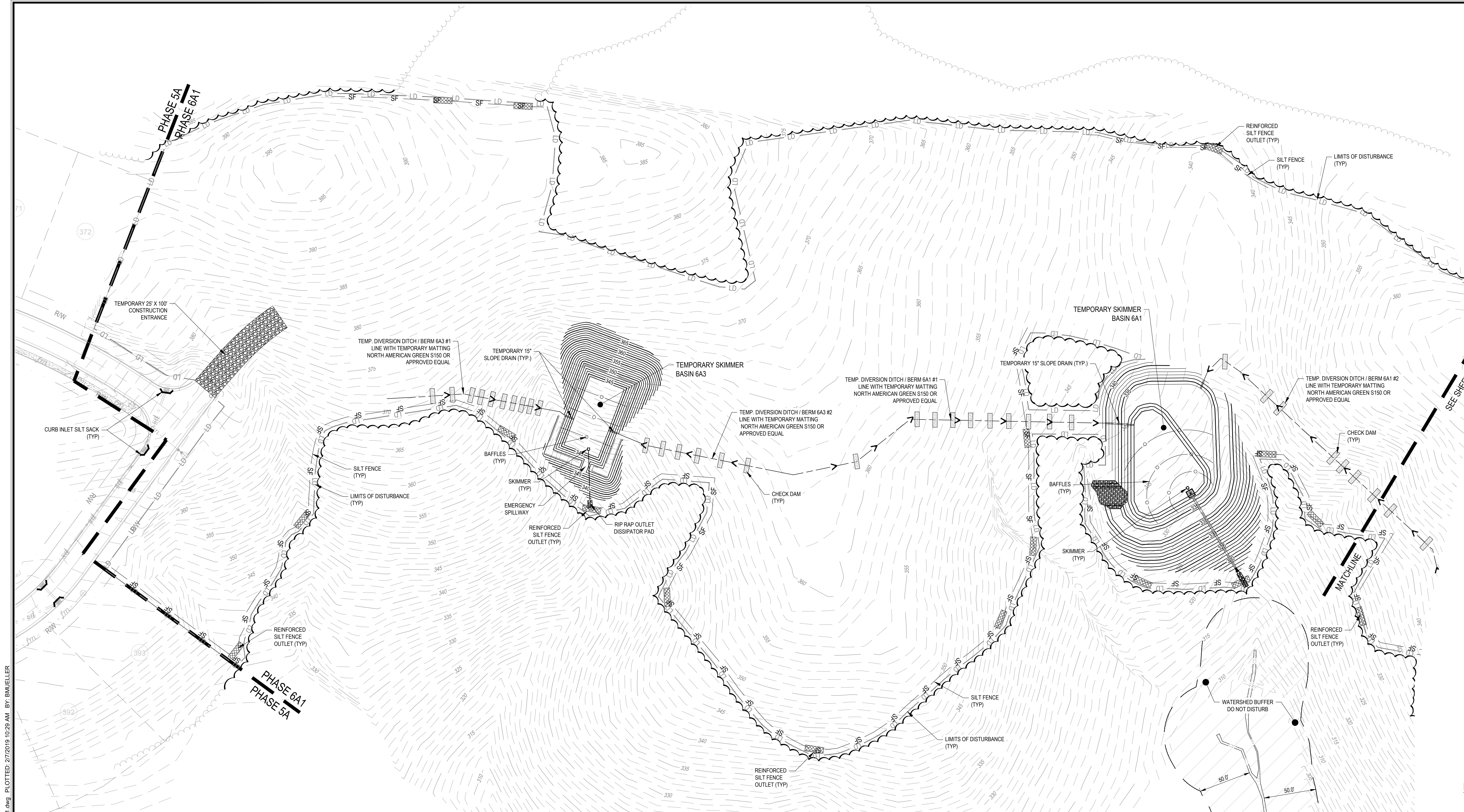
www.cegroupinc.com
License # C-1739

**THE LEGACY - PHASE 6
CONSTRUCTION PLANS
ENLARGED LAYOUT PLAN 6A2**

BIG WOODS ROAD
CHATHAM COUNTY, NORTH CAROLINA

Date:	02/16/2018
Scale:	1" = 50'
Drawn:	JCH
Checked:	JMC
Project No:	330-12
Computer Dwg. Name:	330-12.5 LAYOUT PLAN - AREA 2

Sheet No: **5** Of 32



LEGEND	
— PL	PROPERTY LINE (PL)
— RL	RIGHT-OF-WAY LINE
— SL	SETBACK LINE
— UE	UTILITY EASEMENT
— 140	EXISTING MAJOR CONTOUR
— 130	EXISTING MINOR CONTOUR
— 140	PROPOSED MAJOR CONTOUR
— 130	PROPOSED MINOR CONTOUR
— SF	PROPOSED SILT FENCE
— TP	PROPOSED TREE PROTECTION FENCE
— LD	PROPOSED LIMITS OF DISTURBANCE
—	TEMPORARY DIVERSION DITCH
—	TEMPORARY SKIMMER BASIN
—	TEMPORARY 15' SLOPE DRAIN
—	TEMPORARY 25' X 100' CONSTRUCTION ENTRANCE
—	TEMPORARY STONE CHECK DAM
—	INLET PROTECTION
—	CONCRETE WASHOUT
—	HORSESHOE INLET PROTECTION FILTER
—	SILT FENCE OUTLET
—	RIP-RAP OUTLET DISSIPATOR
—	CURB INLET SILT SOCK
—	CONSTRUCTION ENTRANCE
—	EROSION CONTROL MATTING

NO.	REVISIONS	DATE
9	PER NCDENR - PERC5 COMMENTS	2019-01-30
8	PER PERC5 & PW55 COMMENTS	2019-01-14
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 301 GLENWOOD AVE. 220
 RALEIGH, NC 27603
 PHONE: 919-367-8790
 FAX: 919-322-0032

 www.cegroupinc.com
 License # C-1739

SEAL
 034332
 JOSEPH M. CRAIG
 01/30/19

THE LEGACY - PHASE 6
CONSTRUCTION PLANS
EROSION CONTROL PLAN 6A1
STAGE 1
 BIG WOODS ROAD
 CHATHAM COUNTY, NORTH CAROLINA

EROSION CONTROL SEQUENCE - STAGE 1

- OBTAIN GRADING PERMIT / FINAL APPROVAL FROM CHATHAM COUNTY ENVIRONMENTAL QUALITY DEPARTMENT.
- CONTACT THE CHATHAM COUNTY EROSION CONTROL SECTION AT 919-542-8268 TO SET UP A PRE-CONSTRUCTION MEETING PRIOR TO ANY LAND DISTURBANCE WORK PERFORMED.
- THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED EROSION CONTROL PLANS ON SITE AT ALL TIMES.
- DELINEATE THE PROPOSED TREE LINE/DISTURBED LIMIT LINE AND INSTALL ALL PROPOSED SILT FENCING THROUGHOUT THE ENTIRE PROJECT AREA ALONG WITH TEMPORARY CONSTRUCTION ENTRANCE.
- INSTALL TEMPORARY SILT FENCE OUTLETS IN ALL LOCATIONS AS SHOWN ON THE PLANS.
- ONCE THE PREVIOUS MEASURES ARE INSTALLED, CLEAR ONLY AS REQUIRED TO INSTALL TEMPORARY SKIMMER BASINS, TEMPORARY DIVERSION BERMS/DITCHES, AND OTHER TEMPORARY MEASURES AS SHOWN ON THE APPROVED PLAN.
- INSTALL CHECK DAMS IN TEMPORARY DIVERSION DITCHES.
- THE CONTRACTOR SHALL STABILIZE ALL DIVERSIONS, AND RISER/SKIMMER BASINS IMMEDIATELY UPON THEIR CONSTRUCTION.
- ALL MEASURES SHALL BE INSTALLED AND INSPECTED FOR COMPLIANCE PRIOR TO COMMENCEMENT OF ANY PROPOSED R.O.W. CLEARING/GRUBBING AND EXCAVATION.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISHED GRADE WITH VEGETATION.
- CALL FOR AN INSPECTION FOR COMPLIANCE PRIOR TO ANY ADDITIONAL CLEARING. IF SITE IS APPROVED, PROCEED TO STAGE 2.

*CONTRACTOR TO REESTABLISH TEMPORARY DIVERSION SWALES AT THE END OF EACH DAY TO ENSURE DRAINAGE TO THE APPROPRIATE STRUCTURE.

EROSION CONTROL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF THE SITE. GROUND COVER STABILIZATION SHALL BE IN ACCORDANCE WITH NPDES PERMIT AND STABILIZATION CHART ABOVE. TEMPORARY GROUND COVER WILL BE INSTALLED ON ALL EXPOSED SLOPES WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER), FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- MAINTENANCE: ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF PRODUCING RAINFALL EVENT. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- MAXIMUM GRADED SLOPE SHALL NOT EXCEED THREE (3) TO ONE (1), UNLESS SPECIFIED OTHERWISE ON THE PLANS.
- THIS PHASE IS NOT LOCATED WITHIN 100 YEAR FLOOD PLAIN ACCORDING TO FEMA MAP NUMBER 3710978200K, DATED 11/17/2017.
- SEE SHEETS 23, 24, & 25 FOR EROSION CONTROL DETAILS.

GENERAL CONSTRUCTION NOTES

- EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 1-800-632-4949. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- ALL WATER UTILITY CONSTRUCTION SHALL CONFORM TO THE CHATHAM COUNTY STANDARDS AND SPECIFICATIONS.
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- DISTURBANCE IS LIMITED TO NO MORE THAN 15 AC OF GRADUAL SLOPED LAND AT ANY ONE TIME (0 - 14.9% SLOPE).
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NCDENR SELF-INSPECTION PROGRAM

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED.

RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS TAKE EFFECT OCTOBER 1, 2010.

THE SELF-INSPECTION PROGRAM IS SEPARATE FROM THE WEEKLY SELF-MONITORING PROGRAM OF THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE FOCUS OF THE SELF-INSPECTION REPORT IS THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES ACCORDING TO THE APPROVED PLAN. THE INSPECTIONS SHOULD BE CONDUCTED AFTER EACH PHASE OF THE PROJECT, AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

THE SELF-INSPECTION REPORT FORM IS AVAILABLE AS AN EXCEL SPREADSHEET FROM THE LAND QUALITY WEB SITE. <http://portal.ncdenr.gov/web/lr/erosion>

RIPRAP OUTLET DISSIPATOR TABLE - 6A3

OUTLET ID	PIPE DIA. (IN)	APRON LENGTH (FT)	APRON WIDTH (FT)	APRON THICKNESS (IN)	STONE SIZE (IN)
6A3 OUTLET	6	5	3	18	6

TEMPORARY SKIMMER BASIN DESIGN

Basin ID	Drainage Area	Disturbed Area	Storage Volume (CF)		Surface Area (SF)		Bottom Dimensions (ft.)			Top Dimensions (ft.)			Emergency Spillway (ft.)		Skimmer Sizing		Baffle Locations (Distance from Invert of Weir, ft.)		
			Required	Provided	Required	Provided	Length	Width	Bottom Elevation	Length	Width	Elevation	Length	Elevation	Head (in.)	Orifice Dia. (in.)			
TSB 6A1 - STAGE 2	7.10	6.41	23,076	26,782	10,000	10,154	See Plan		331.00	See Plan		336.00	15	334.50	3.00	2.87	27.5	55	82.5
TSB 6A3	2.18	2.18	7,848	9,370	3,610	3,850	70	35	344.00	88	53	348.50	10	347.00	2.00	1.88	25	50	75

NORTH
 0 50' 100'
 SCALE: 1" = 50'

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 AND NCDOT STANDARDS AND SPECIFICATIONS.

Date: 02/16/2018
 Scale: 1" = 50'
 Drawn: JCH
 Checked: JMC
 Project No: 330-12
 Computer Dwg. Name: 330-12 6 EROSION CONTROL PLAN 6A1 STAGE 1
 Sheet No: **6** Of 32

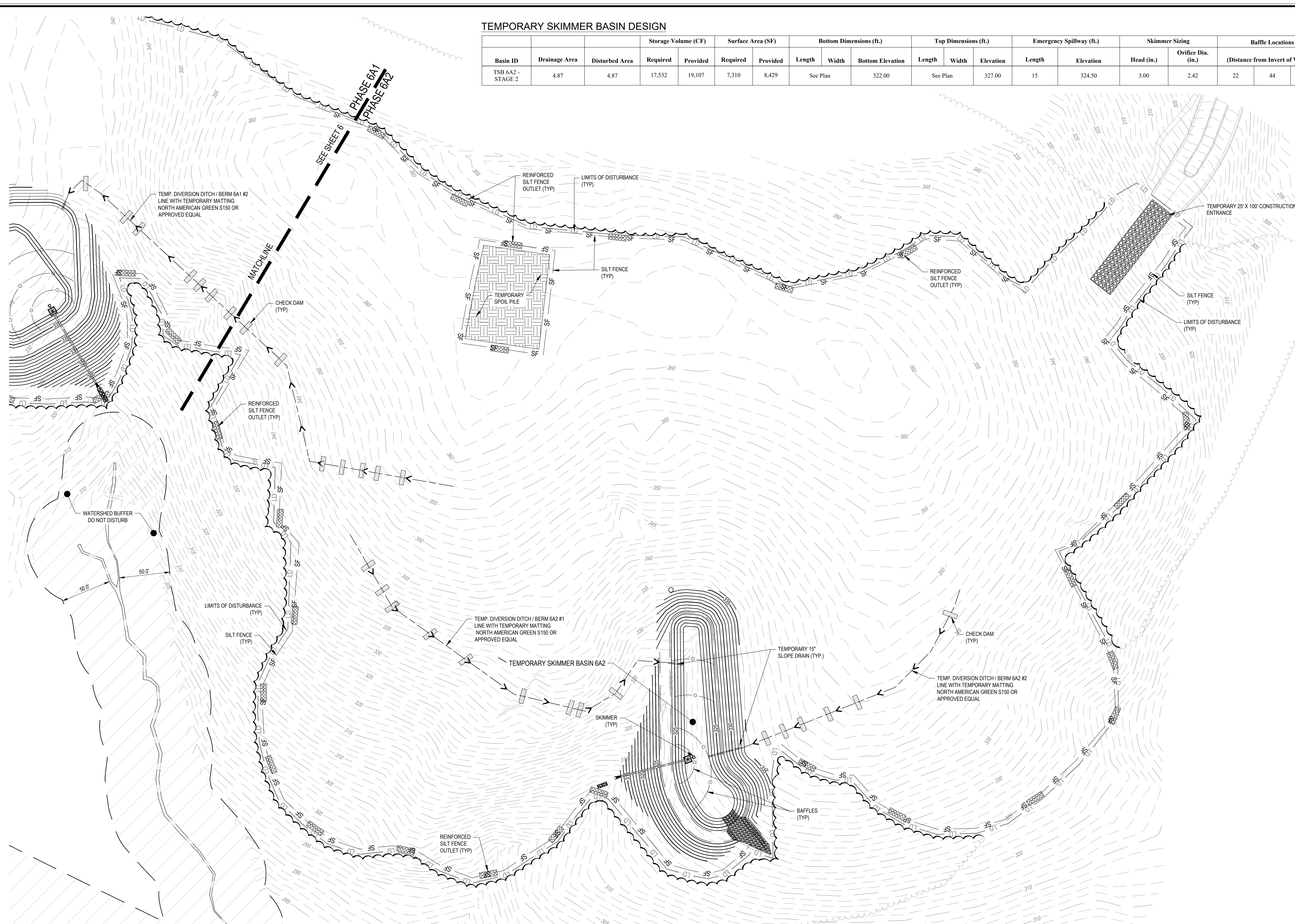
P:\330 (Emehold Capital)\330-12 (Legacy Phase 6)\Design\Plans\Construction\Plan330-12 6 EROSION CONTROL PLAN 6A1 STAGE 1.dwg PLOTTED: 2/7/2019 10:29 AM BY: EMBUELER

TEMPORARY SKIMMER BASIN DESIGN

Basin ID	Drainage Area	Disturbed Area	Storage Volume (CF)		Surface Area (SF)		Bottom Dimensions (ft.)			Top Dimensions (ft.)			Emergency Spillway (ft.)		Skimmer Sizing		Baffle Locations		
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TSB 6A2 - STAGE 2	4.87	4.87	17,532	19,107	7,310	8,429	See Plan		322.00	See Plan		327.00	15	324.50	3.00	2.42	22	44	66

LEGEND

- PROPERTY LINE (PL)
- RIGHT-OF-WAY LINE
- SETBACK LINE
- UTILITY EASEMENT
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
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- PROPOSED TREE PROTECTION FENCE
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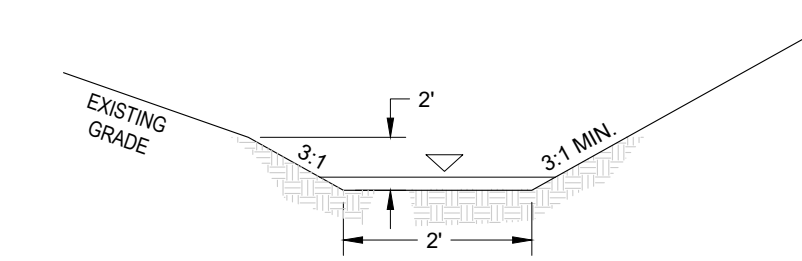
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TEMPORARY DIVERSION DITCH TYPICAL SECTION NOT TO SCALE

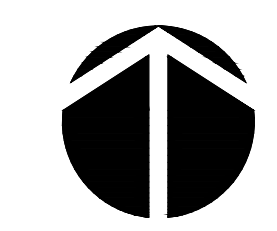
LIMITS OF DISTURBANCE (6A2) (507,207 SF = 11.64 AC.)

GENERAL CONSTRUCTION NOTES

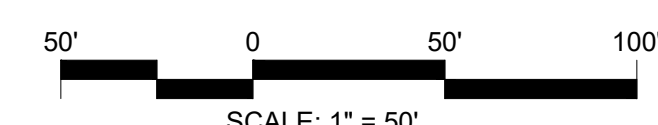
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EROSION CONTROL SEQUENCE - STAGE 1

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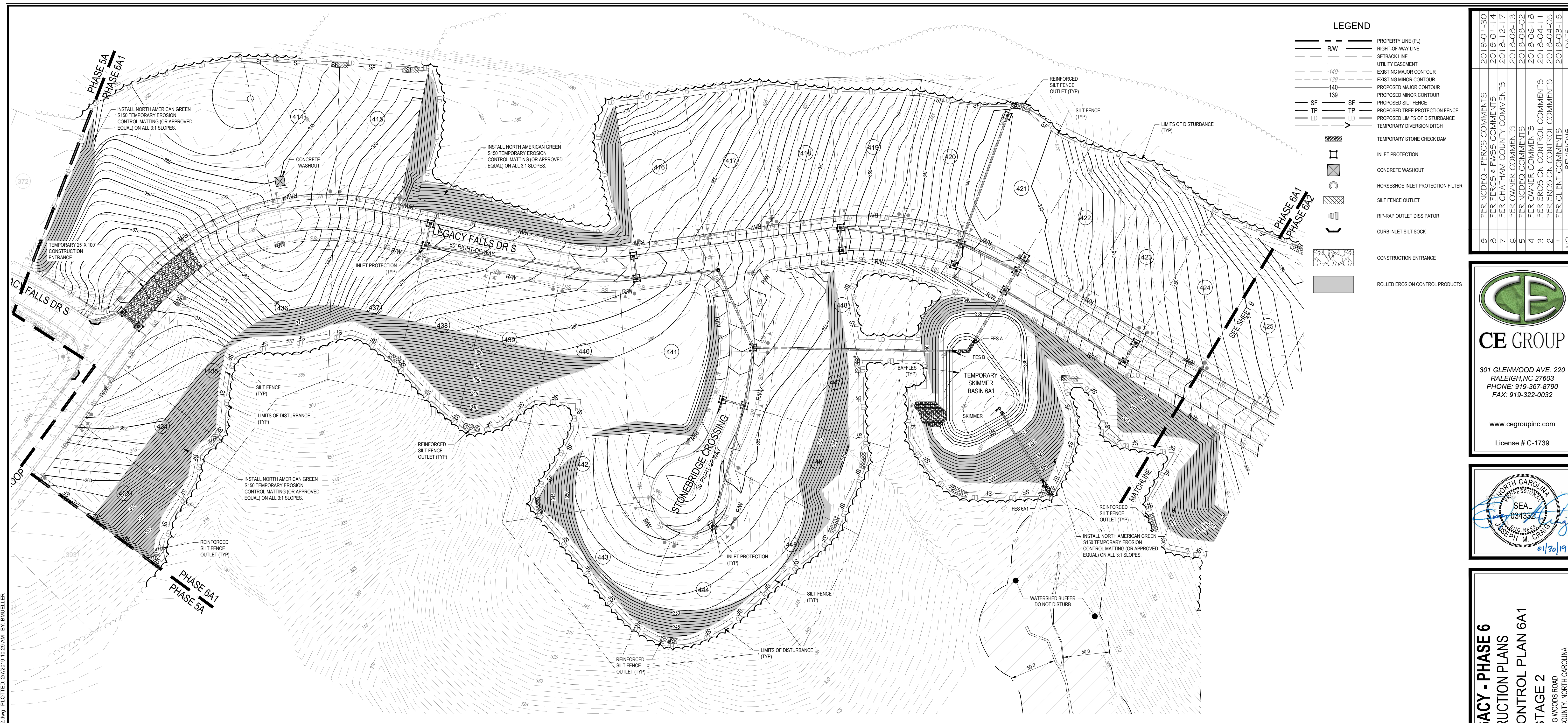
NO.	REVISIONS	DATE
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2	PER EROSION CONTROL COMMENTS	2018-04-11
3	PER EROSION CONTROL COMMENTS	2018-06-16
4	PER OWNER COMMENTS	2018-06-16
5	PER OWNER COMMENTS	2018-06-16
6	PER OWNER COMMENTS	2018-06-13
7	PER PERCS & PWSS COMMENTS	2018-12-17
8	PER CHATHAM COUNTY COMMENTS	2019-01-14
9	PER NCDENR - PERCS COMMENTS	2019-01-30

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THE LEGACY - PHASE 6
CONSTRUCTION PLANS
EROSION CONTROL PLAN 6A2
STAGE 1
BIG WOODS ROAD
CHATHAM COUNTY, NORTH CAROLINA

Date: 02/16/2018
Scale: 1" = 50'
Drawn: JCH
Checked: JMC
Project No: 330-12
Computer Dwg. Name: 330-12.7 EROSION CONTROL PLAN 6A2 STAGE

Sheet No: **7** Of 32



LEGEND

—	PROPERTY LINE (PL)
—	RIGHT-OF-WAY LINE
—	SETBACK LINE
—	UTILITY EASEMENT
—	EXISTING MAJOR CONTOUR
—	EXISTING MINOR CONTOUR
—	PROPOSED MAJOR CONTOUR
—	PROPOSED MINOR CONTOUR
—	PROPOSED SILT FENCE
—	PROPOSED TREE PROTECTION FENCE
—	PROPOSED LIMITS OF DISTURBANCE
—	TEMPORARY DIVERSION DITCH
—	TEMPORARY STONE CHECK DAM
—	INLET PROTECTION
—	CONCRETE WASHOUT
—	HORSESHOE INLET PROTECTION FILTER
—	SILT FENCE OUTLET
—	RIP-RAP OUTLET DISSIPATOR
—	CURB INLET SILT SOCK
—	CONSTRUCTION ENTRANCE
—	ROLLED EROSION CONTROL PRODUCTS

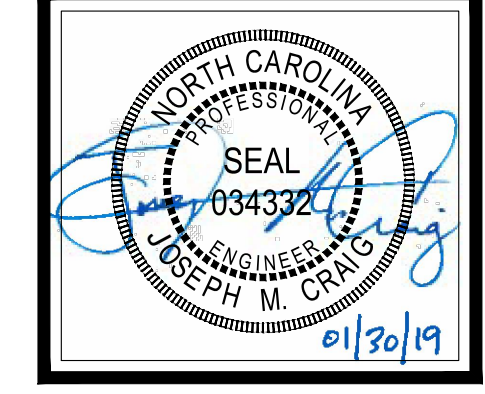
NO.	REVISIONS	DATE
9	PER NCDOT - PERCS COMMENTS	2019-01-30
8	PER PERCS & PWSS COMMENTS	2019-01-14
7	PER CHATHAM COUNTY COMMENTS	2018-12-17
6	PER OWNER COMMENTS	2018-08-13
5	PER NCDOT COMMENTS	2018-08-02
4	PER OWNER COMMENTS	2018-06-16
3	PER EROSION CONTROL COMMENTS	2018-04-11
2	PER EROSION CONTROL COMMENTS	2018-04-09
1	PER CLIENT COMMENTS	2018-03-15

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THE LEGACY - PHASE 6
CONSTRUCTION PLANS
EROSION CONTROL PLAN 6A1
STAGE 2
BIG WOODS ROAD
CHATHAM COUNTY, NORTH CAROLINA

EROSION CONTROL SEQUENCE - STAGE 2

- ONCE APPROVAL FOR PHASE 1 IS OBTAINED BEGIN CLEARING AND GRUBBING OF REMAINING DISTURBED AREAS AS SHOWN ON APPROVED PLAN.
- BEGIN EARTH MOVING OPERATIONS. INSTALL RETAINING WALLS IN CUT AREAS IMMEDIATELY AS MATERIAL IS BEING REMOVED. INSTALL RETAINING WALLS IN FILL AREAS AS SITE COMES TO FINAL GRADE. TSB 6A3 IS TO BE REMOVED AND EVENTUALLY FILLED TO FINAL GRADE. CHATHAM COUNTY IS TO BE NOTIFIED PRIOR TO REMOVAL OF TEMPORARY SKIMMER BASIN 6A3.
- BEGIN INSTALLATION OF NEW STORM DRAINAGE NETWORKS AND SITE UTILITIES AS SITE IS BEING BROUGHT UP TO FINAL GRADE.
- ONCE THE PIPES FOR STORM SYSTEM A AND B ARE COMPLETE, INSTALL STAGE 2 TEMPORARY DIVERSION BERMS/ DITCHES AND OTHER TEMPORARY MEASURES. INSTALL CHECK DAMS IN EACH AND STABILIZE WITH PERMANENT MATTING IMMEDIATELY.
- COMPLETE THE INSTALLATION OF THE STORM DRAINAGE NETWORK AS THE SITE COMES TO FINAL GRADE. PLACE INLET PROTECTION AND HORSESHOE INLET PROTECTION AROUND STORM DRAINAGE STRUCTURES ONCE THEY ARE COMPLETED.
- BRING SITE TO FINAL GRADE AND BEGIN EXCAVATION OF ROADWAYS.
- SEED AND MULCH ALL DENUDDED AREAS WITHIN 15 WORKING DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION. EROSION CONTROL MATTING IS TO BE INSTALLED ON SLOPES 3:1 OR GREATER IMMEDIATELY AFTER SEEDING.
- REQUEST FINAL APPROVAL BY ENVIRONMENTAL INSPECTOR. IF THE INSPECTOR IS SATISFIED WITH UPSTREAM PERMANENT GROUND COVER, BEGIN REMOVING TEMPORARY EROSION CONTROL MEASURES.
- AFTER STABILIZATION HAS OCCURRED REMOVE SEDIMENT FROM RISER BASIN/WATER QUALITY POND AND CONVERT TO PERMANENT STRUCTURE.

*CONTRACTOR TO REESTABLISH TEMPORARY DIVERSION SWALES AT THE END OF EACH DAY TO ENSURE DRAINAGE TO THE APPROPRIATE STRUCTURE.

EROSION CONTROL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF THE SITE. GROUND COVER STABILIZATION SHALL BE IN ACCORDANCE WITH NPDES PERMIT AND STABILIZATION CHART ABOVE. TEMPORARY GROUND COVER WILL BE INSTALLED ON ALL EXPOSED SLOPES IN 7 OR 14 DAYS. PERMANENT GROUND COVER WILL BE INSTALLED ON EXPOSED SLOPES WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER), FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- MAINTENANCE: ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF PRODUCING RAINFALL EVENT. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- MAXIMUM GRADED SLOPE SHALL NOT EXCEED THREE (3) TO ONE (1).
- THIS PHASE IS NOT LOCATED WITHIN 100 YEAR FLOOD PLAIN ACCORDING TO FEMA MAP NUMBER 3710978200K, DATED 11/17/2017.
- SEE SHEET 23, 24, & 25 FOR EROSION CONTROL DETAILS.

GENERAL CONSTRUCTION NOTES

- EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 1-800-632-4949. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- ALL WATER UTILITY CONSTRUCTION SHALL CONFORM TO THE CHATHAM COUNTY STANDARDS AND SPECIFICATIONS.
- ALL SANITARY SEWER UTILITY CONSTRUCTION SHALL CONFORM TO LATEST AQUA OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- THE SUBJECT PROPERTY IS LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM PANEL 9773, MAP NUMBER 3710977300J, DATED 02/02/07, & FEMA FIRM PANEL 9782, MAP NUMBER 3710978200J, DATED 02/02/07.
- AQUA PERSONNEL SHALL BE NOTIFIED 48 HOURS BEFORE CONSTRUCTION IS TO BEGIN. ANY TESTING IS SCHEDULED, OR BEFORE ANY PIPE IS COVERED.
- ALL WATER MAINS SHALL HAVE A MINIMUM OF 3' OF COVER AS MEASURED FROM FINISHED GRADE AT THE LOCATION WHERE INSTALLED.
- ALL WATER MAINS SHALL BE OVER THE SEWER MAIN AND SERVICES WITH A MINIMUM OF 18" SEPARATION.
- ALL WATER MAINS AND FORCE MAINS CROSSING UNDER STORM DRAINAGE PIPING SHALL BE CONSTRUCTED WITH ONE (1) JOINT OF DUCTILE IRON PIPE CENTERED ON THE STORM PIPE CROSSING.
- INSTREAM WORK SHALL BE PROHIBITED FROM MARCH 15 THROUGH JUNE 30 TO MINIMIZE IMPACTS TO SPAWNING FISH.
- TOPOGRAPHIC INFORMATION PROVIDED BY CE GROUP, INC. RALEIGH, NC. PROFILE DATA FROM FIELD SURVEY BACKGROUND TOPOGRAPHY FROM AERIAL MAPPING.
- DISTURBANCE IS LIMITED TO NO MORE THAN 15 AC OF GRADUAL SLOPED LAND AT ANY ONE TIME (0 - 14.9% SLOPE).
- DISTURBANCE IS LIMITED TO NO MORE THAN 10 AC OF MODERATELY SLOPED LAND AT ANY ONE TIME (15 - 24.9% SLOPE).
- WHERE GRAVITY SEWER LINES ARE DIP DUE TO VERTICAL SEPARATION REQUIREMENTS, THE DIP GRAVITY SEWER LINE SEGMENTS SHALL BE HYDROSTATICALLY TESTED WITH WATER TO ENSURE JOINT TIGHTNESS.

NCDENR SELF-INSPECTION PROGRAM

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED.

RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS TAKE EFFECT OCTOBER 1, 2010.

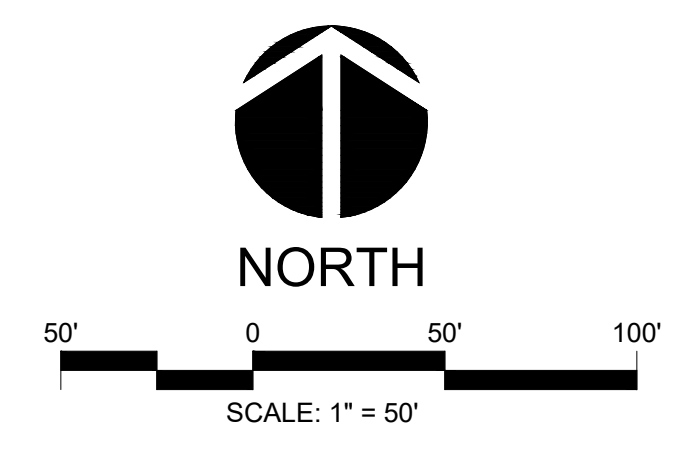
THE SELF-INSPECTION PROGRAM IS SEPARATE FROM THE WEEKLY SELF-MONITORING PROGRAM OF THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE FOCUS OF THE SELF-INSPECTION REPORT IS THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES ACCORDING TO THE APPROVED PLAN. THE INSPECTIONS SHOULD BE CONDUCTED AFTER EACH PHASE OF THE PROJECT, AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

THE SELF-INSPECTION REPORT FORM IS AVAILABLE AS AN EXCEL SPREADSHEET FROM THE LAND QUALITY WEB SITE. <http://portal.ncdenr.gov/web/erosion>

RIPRAP OUTLET DISSIPATOR TABLE - 6A1

OUTLET ID	PIPE DIA. (IN)	Q ₅₀ DISCHARGE (CFS)	APRON LENGTH (FT)	APRON WIDTH (FT)	APRON THICKNESS (IN)	d ₅₀ ROCK SIZE (IN)	RIPRAP CLASS
FES A	24	22.03	16	6	22.5	10	1
FES B	18	3.08	6	4.5	9	4	A
FES 6A1 OUTLET	15	19.21	15	4.5	31.5	14	2

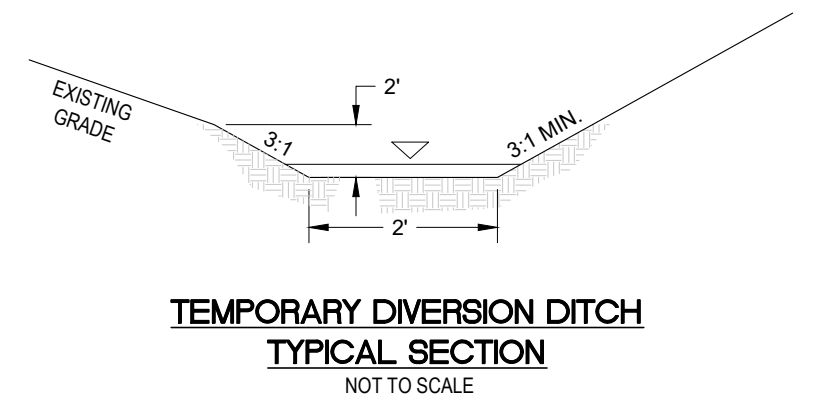
LIMITS OF DISTURBANCE (6A1)
(473,721 SF = 10.88 AC.)



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CHATHAM COUNTY, NCDEQ PWSS, AND NCDOT STANDARDS AND SPECIFICATIONS.

TEMPORARY SKIMMER BASIN DESIGN

Basin ID	Drainage Area	Disturbed Area	Storage Volume (CF)		Surface Area (SF)		Bottom Dimensions (ft.)			Top Dimensions (ft.)			Emergency Spillway (ft.)		Skimmer Sizing		Baffle Locations		
			Required	Provided	Required	Provided	Length	Width	Bottom Elevation	Length	Width	Elevation	Length	Elevation	Head (in.)	Orifice Dia. (in.)	(Distance from Invert of Weir, ft.)		
TSB 6A1 - STAGE 2	7.10	6.41	23,076	26,782	10,000	10,154	See Plan		331.00	See Plan		336.00	15	334.50	3.00	2.87	27.5	55	82.5



P:\330 (Emberold Capital)\330-12 (Legacy Phase 6)\Design\Plans\Construction Plans\330-12 8 EROSION CONTROL PLAN 6A1 STAGE 2.dwg PLOTTED: 2/7/2018 10:29 AM BY: BMEUELER