

RESIDENTIAL SUBDIVISION

1. NET AREA IN TRACT: 1,347,871 S.F. (31.495 AC. TO CENTERLINE)
2. NUMBER OF LOTS: 22
3. PROPOSED ROAD: PUBLIC; PAVED 18' TRAVEL SURFACE; 50' R/W
4. WATER SUPPLY: CHATHAM COUNTY PUBLIC WATER.
5. SEWAGE DISPOSAL: INDIVIDUAL LOT SEPTIC SYSTEMS
6. LOT SIZE: 40,018 S.F. TO 118,950 S.F.; AVERAGE = 57,416 S.F.
7. PROPOSED SETBACKS: A) MANN'S CHAPEL: 40'; B) INTERIOR FRONT: 40';  
C) REAR: 25'; D) SIDE: 25'
8. AREA IN PROPOSED PUBLIC STREET RIGHT-OF-WAY: 85,052 S.F.

# BONTERRA SUBDIVISION

## MAJOR SUBDIVISION APPROVAL

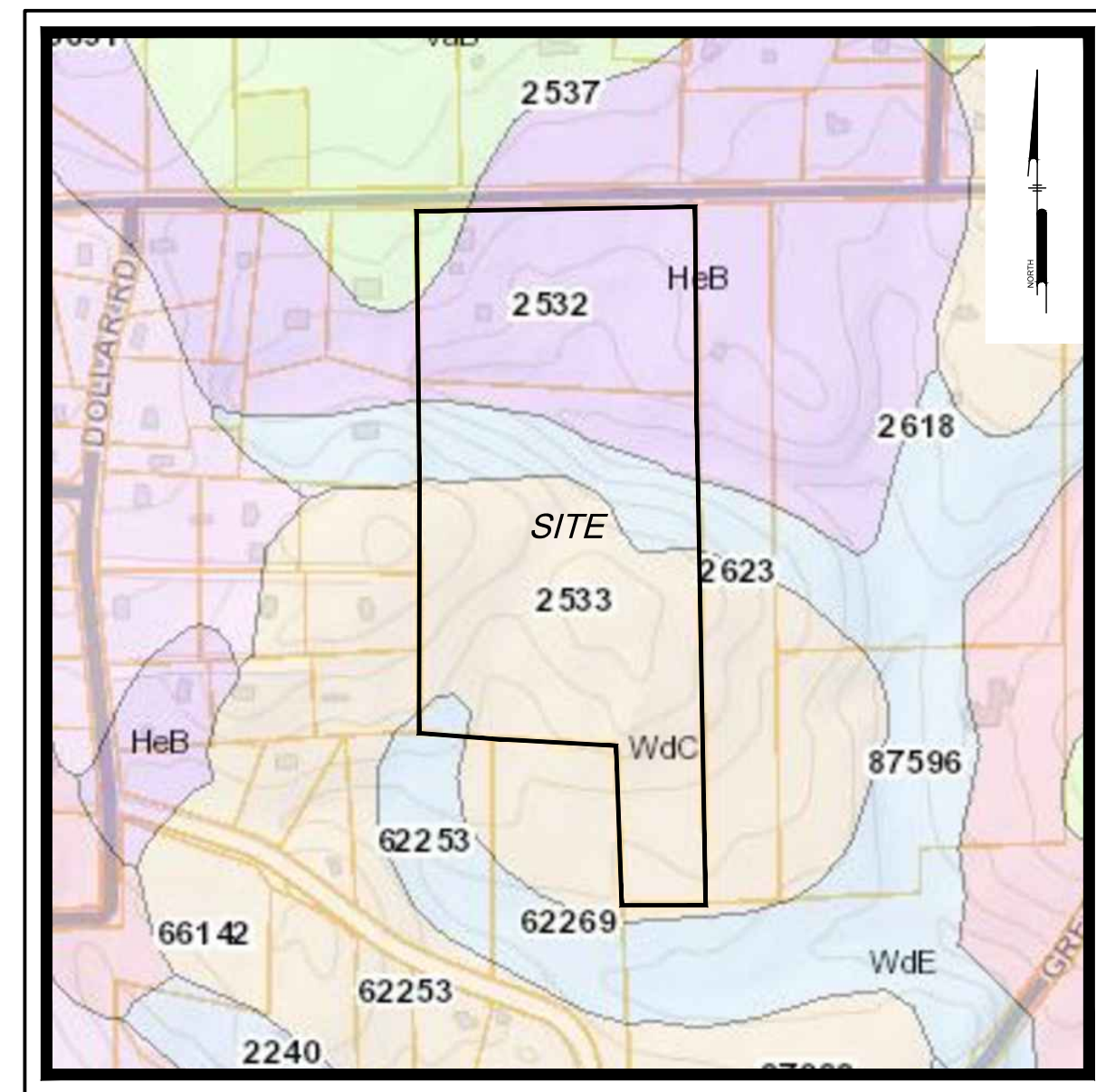
### 3954 MANN'S CHAPEL ROAD

#### CHATHAM COUNTY, NORTH CAROLINA

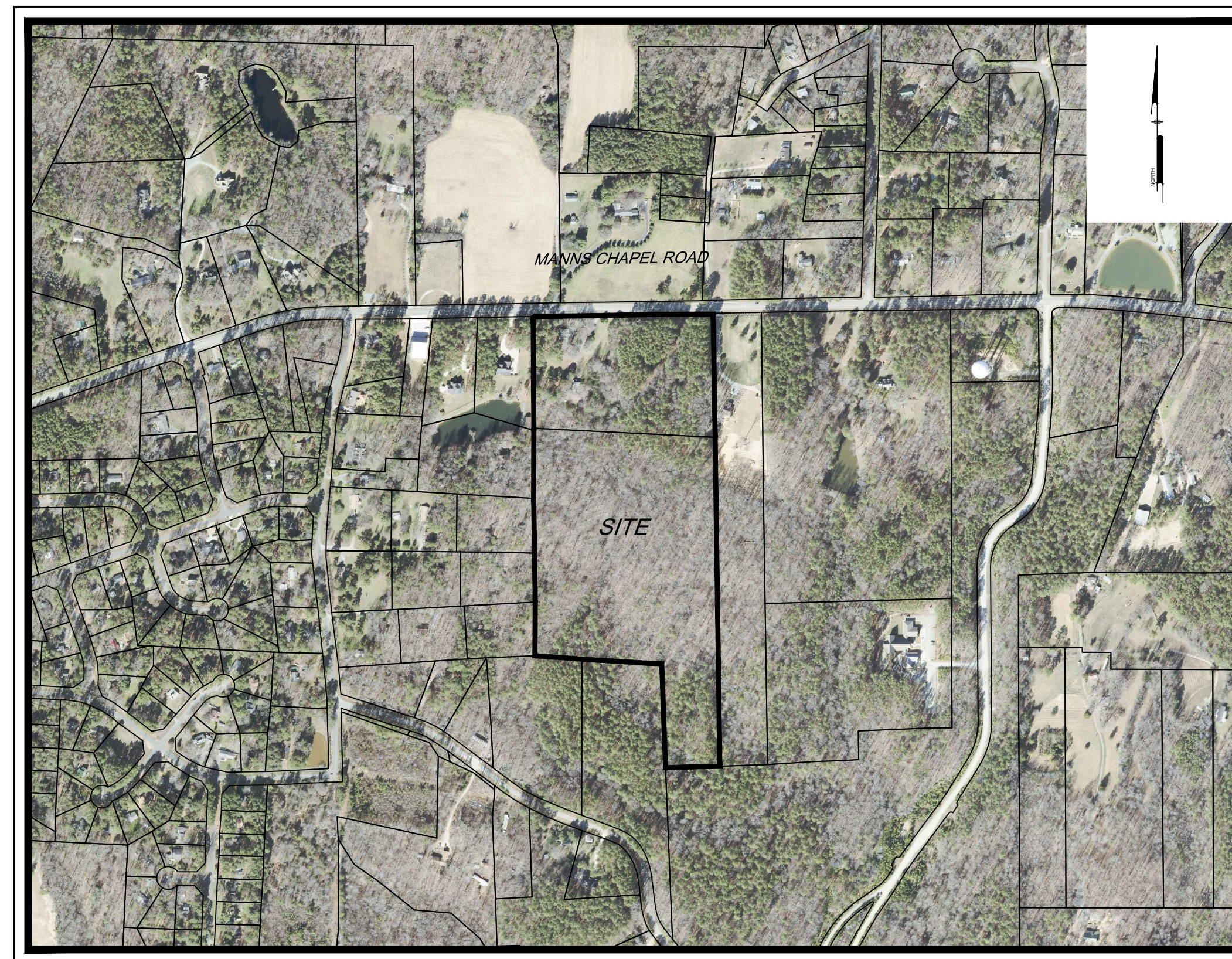
2018-04-20

PREPARED FOR:  
OWNER/DEVELOPER  
**IDEAL CAPITAL GROUP, LLC**  
2100 COOK RIDGE COURT  
RALEIGH, NC 27615  
(919) 601-2816

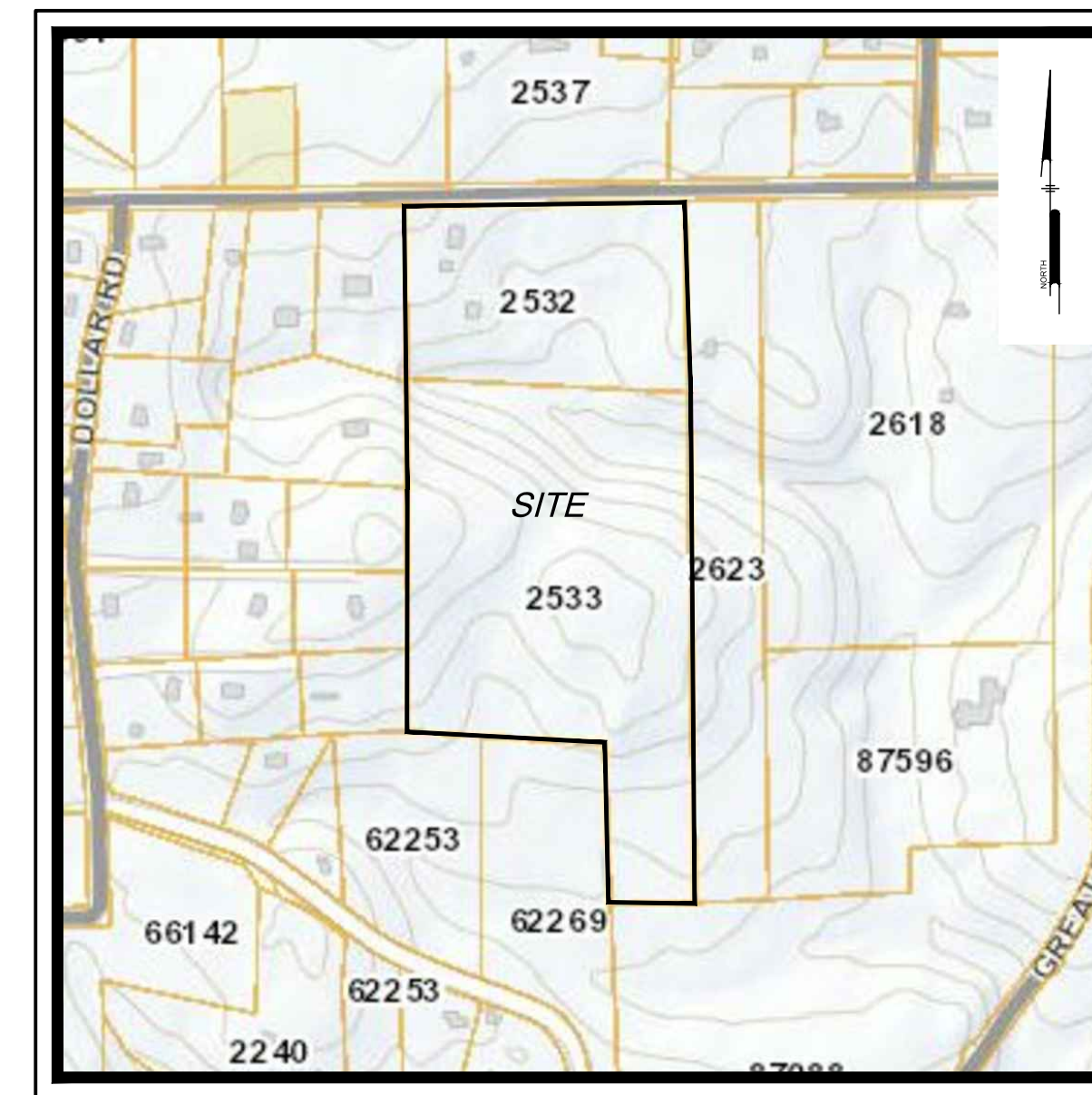
SHEET LIST TABLE		
SHEET NAME	SHEET NUMBER	SHEET TITLE
CS0001	1	COVER SHEET
CS0002	2	GENERAL NOTES SITE DATA & MASTER LEGEND
CS0201	3	EXISTING CONDITIONS / DEMOLITION PLAN
CS1001	4	SITE PLAN
CS1501	5	SITE GRADING AND UTILITY PLAN



**SOILS MAP**  
Scale: 1" = 500'



**LOCATION MAP**  
SCALE: 1" = 500'



**GIS MAP**  
Scale: 1" = 500'

PREPARED BY:  
**PENNONI ASSOCIATES INC.**



401 Providence Road #200  
Chapel Hill, NC 27514  
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F 919.493.6548

Firm License  
F-1267



**Know what's below.  
Call before you dig.**

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK



BONTERRA SUBDIVISION  
3954 MANN'S CHAPEL ROAD  
CHAPEL HILL, NC 27516

COVER SHEET

IDEAL CAPITAL GROUP, LLC  
2100 COOK RIDGE COURT  
RALEIGH, NC 27615

NO.	DATE	REVISIONS	BY
1	2018-06-20	REVISED AS PER 6/20/18 PLANNING COMMISSION MTG.	PCB

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PROJECT	DLAZ1701
DATE	2018-04-20
DRAWING SCALE	NTS
DRAWN BY	DMC
APPROVED BY	PCB

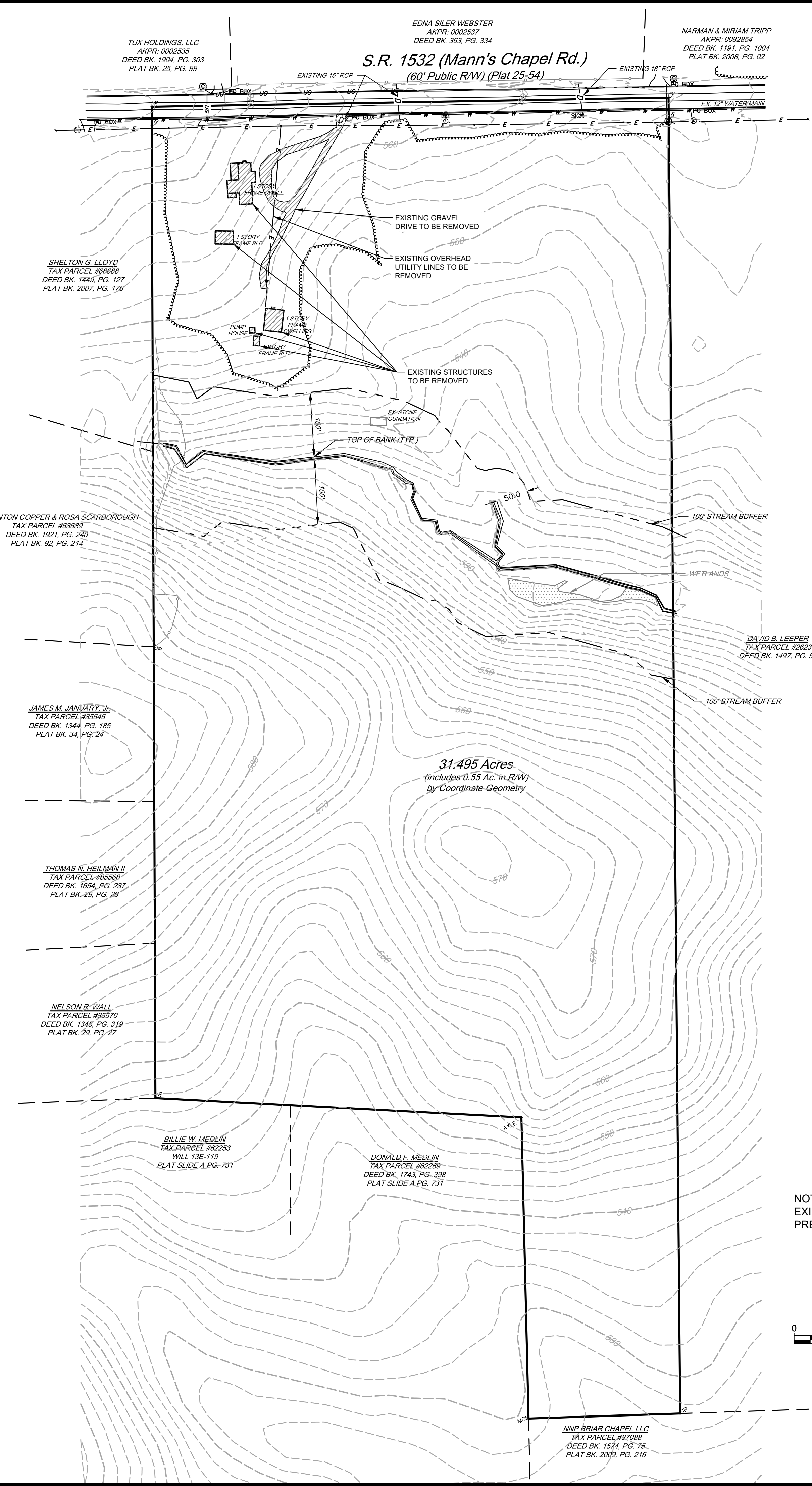
**CS0001**  
SHEET 1 OF 5

**PRELIMINARY  
NOT FOR CONSTRUCTION**

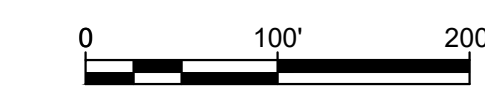
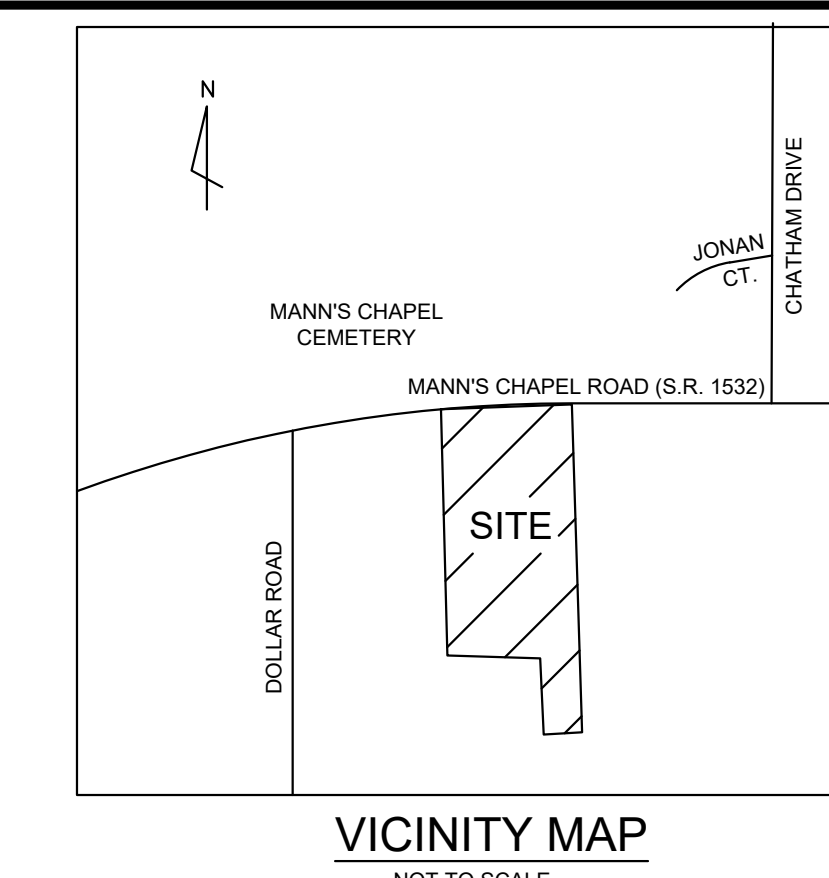
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DELINEATION OF WATERS AND STREAM BUFFERS  
 BASED UPON DOCUMENT ENTITLED, "FIGURE 3 - SKETCH  
 MAP" DATED 10/26/17, AS PREPARED BY S&EC, PA.  
 USACOE NOTICE OF JURISDICTIONAL DETERMINATION  
 ISSUED 4/18/18. ID SAW - 2017 - 02253.



NOTE:  
 EXISTING TOPOGRAPHIC FEATURES WERE OBTAINED FROM A TOPOGRAPHIC SURVEY  
 PREPARED BY PENNONI & ASSOCIATES ON OR ABOUT 9/21/2017

**PRELIMINARY  
 NOT FOR CONSTRUCTION**

**Pennoni**  
 Firm License F-1287  
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 Chapel Hill, NC 27514  
 T 919.929.1173 F 919.493.6548

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**PENNONI & ASSOCIATES, INC.**  
 PROFESSIONAL ENGINEER  
 STATE OF NORTH CAROLINA  
 LICENSE NO. 35304  
 PETER C. BEAVER

**BONTERRA SUBDIVISION**  
 3954 MANN'S CHAPEL ROAD  
 CHAPEL HILL, NC 27516

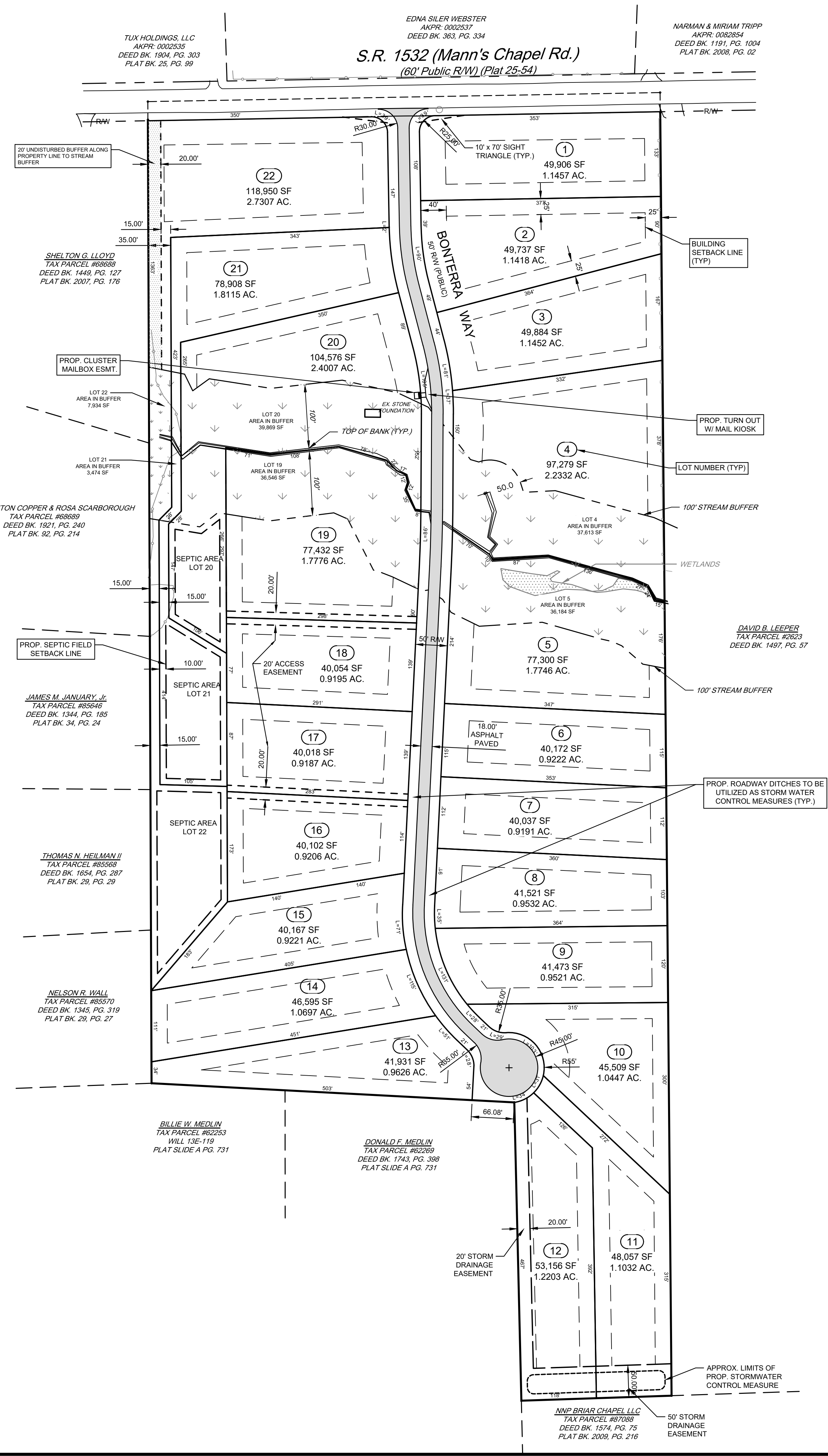
**EXISTING CONDITIONS - DEMOLITION PLAN**

IDEAL CAPITAL GROUP, LLC  
 2100 COOK RIDGE COURT  
 RALEIGH, NC 27615

NO.	DATE	REVISIONS	BY
1	2018-06-20	REVISED AS PER 6/6/2018 PLANNING COMMISSION MTG.	PCB

PROJECT: **DLAZ1701**  
 DATE: 2018-04-20  
 DRAWING SCALE: 1" = 100'  
 DRAWN BY: DMC  
 APPROVED BY: PCB

**CS0201**  
 SHEET 3 OF 5



LOT AREA TABLE					
LOT #	TOTAL AREA (sf)	AREA (ac)	AREA IN BUFFER	STREAM AREA	USABLE AREA
LOT 1	49,906 SF	1.15	0	0	49,906 SF
LOT 2	49,737 SF	1.14	0	0	49,737 SF
LOT 3	49,884 SF	1.15	0	0	49,884 SF
LOT 4	97,279 SF	2.23	37,613 SF	1,359 SF	58,307 SF
LOT 5	77,300 SF	1.77	36,184 SF	939 SF	40,177 SF
LOT 6	40,172 SF	0.92	0	0	40,165 SF
LOT 7	40,037 SF	0.92	0	0	40,032 SF
LOT 8	41,521 SF	0.95	0	0	41,520 SF
LOT 9	41,473 SF	0.95	0	0	41,473 SF
LOT 10	45,509 SF	1.04	0	0	45,509 SF
LOT 11	48,057 SF	1.10	0	0	48,057 SF
LOT 12	53,156 SF	1.22	0	0	53,156 SF
LOT 13	41,931 SF	0.96	0	0	41,931 SF
LOT 14	46,595 SF	1.07	0	0	46,595 SF
LOT 15	40,167 SF	0.92	0	0	40,167 SF
LOT 16	40,102 SF	0.92	0	0	40,102 SF
LOT 17	40,018 SF	0.92	0	0	40,018 SF
LOT 18	40,054 SF	0.92	0	0	40,054 SF
LOT 19	77,432 SF	1.78	36,546 SF	857 SF	40,029 SF
LOT 20	104,576 SF	2.40	39,869 SF	1,419 SF	63,288 SF
LOT 21	78,908 SF	1.81	3,474 SF	131 SF	75,303 SF
LOT 22	118,950 SF	2.73	7,934 SF	115 SF	110,901 SF

DELINEATION OF WATERS AND STREAM BUFFERS  
 BASED UPON DOCUMENT ENTITLED, "FIGURE 3 - SKETCH  
 MAP" DATED 10/26/17, AS PREPARED BY S&E, PA.

USACOE NOTICE OF JURISDICTIONAL DETERMINATION  
 ISSUED 4/18/18. ID SAW - 2017 - 02253.



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**Pennoni**  
 Firm License F-1287  
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**BONTERRA SUBDIVISION**  
 3954 MANN'S CHAPEL ROAD  
 CHAPEL HILL, NC 27516

**SITE PLAN**

**IDEAL CAPITAL GROUP, LLC**  
 2100 COOK RIDGE COURT  
 RALEIGH, NC 27615

NO.	DATE	REVISIONS	BY
1	2018-06-20	REVISED AS PER 6/6/2018 PLANNING COMMISSION MTG.	PCB

PROJECT: **DLAZ1701**

DATE: 2018-04-20

DRAWING SCALE: 1" = 100'

DRAWN BY: DMC

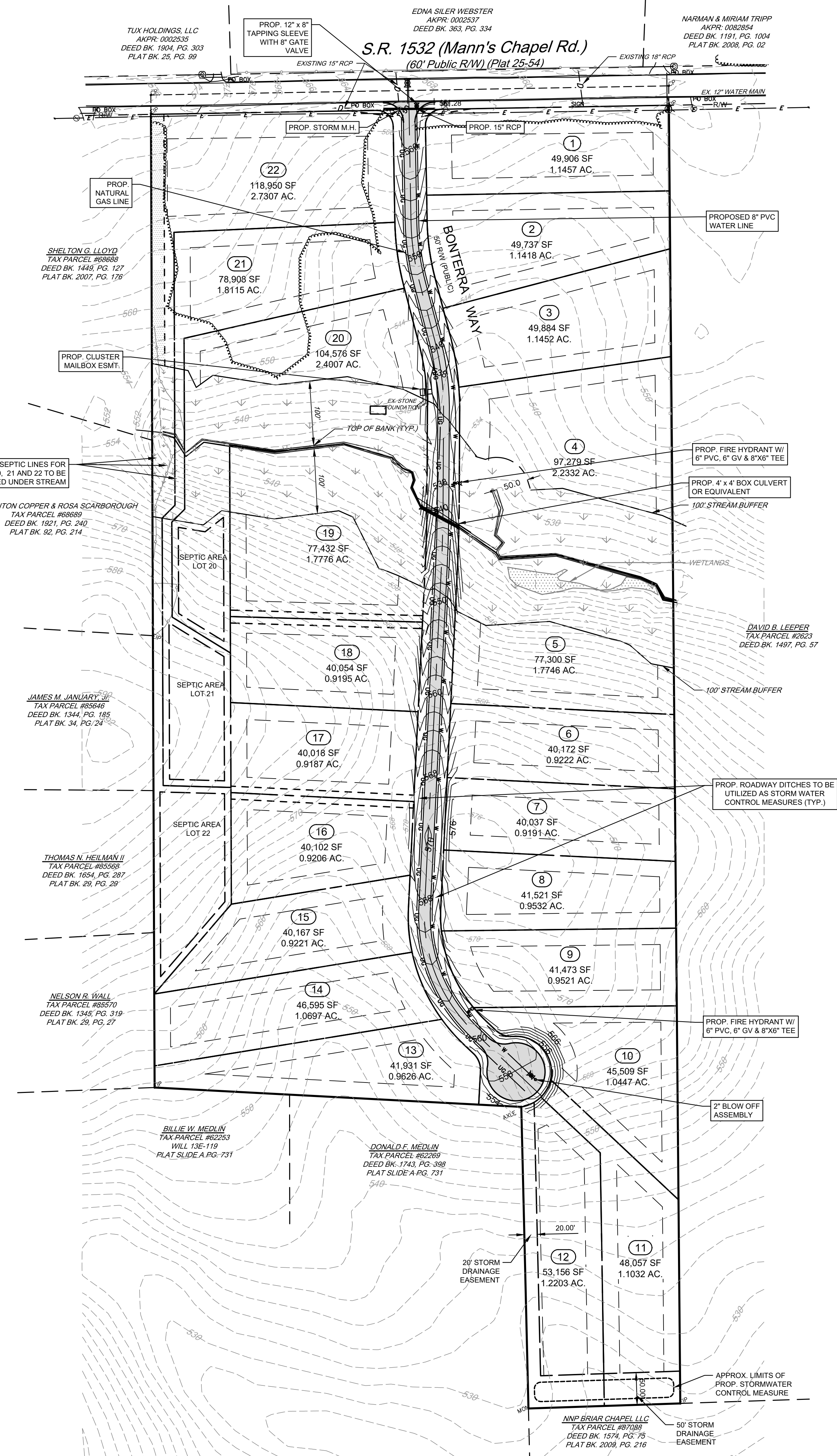
APPROVED BY: PCB

**CS1001**

SHEET 4 OF 5

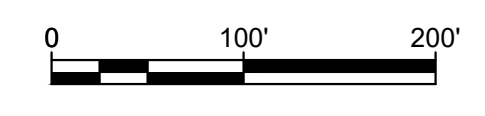
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 PLOT STYLE: Pennoni.ctb  
 PROJECT STATUS: MAJOR SUBDIVISION APPROVAL

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DELINEATION OF WATERS AND STREAM BUFFERS  
BASED UPON DOCUMENT ENTITLED, "FIGURE 3 - SKETCH  
MAP" DATED 10/26/17, AS PREPARED BY S&EC, PA.

USACOE NOTICE OF JURISDICTIONAL DETERMINATION  
ISSUED 4/18/18. ID SAW - 2017 - 02253.



**PRELIMINARY  
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**Pennoni**  
Firm License  
F-237

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DISCREPANCIES BEFORE PROCEEDING WITH WORK

**PROFESSIONAL ENGINEER**  
DAVID S. LEEPER  
102518  
033040  
NORTH CAROLINA

**BONTERRA SUBDIVISION**  
3954 MANN'S CHAPEL ROAD  
CHAPEL HILL, NC 27516

**SITE GRADING & UTILITY PLAN**

**IDEAL CAPITAL GROUP, LLC**  
2100 COOK RIDGE COURT  
RALEIGH, NC 27615

NO.	DATE	REVISIONS	BY
1	2018-06-20	REVISED AS PER 6/6/2018 PLANNING COMMISSION MTG.	PCB

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PROJECT: **DLAZ1701**

DATE: 2018-04-20

DRAWING SCALE: 1" = 100'

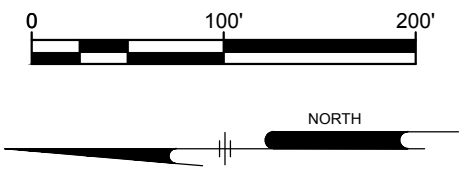
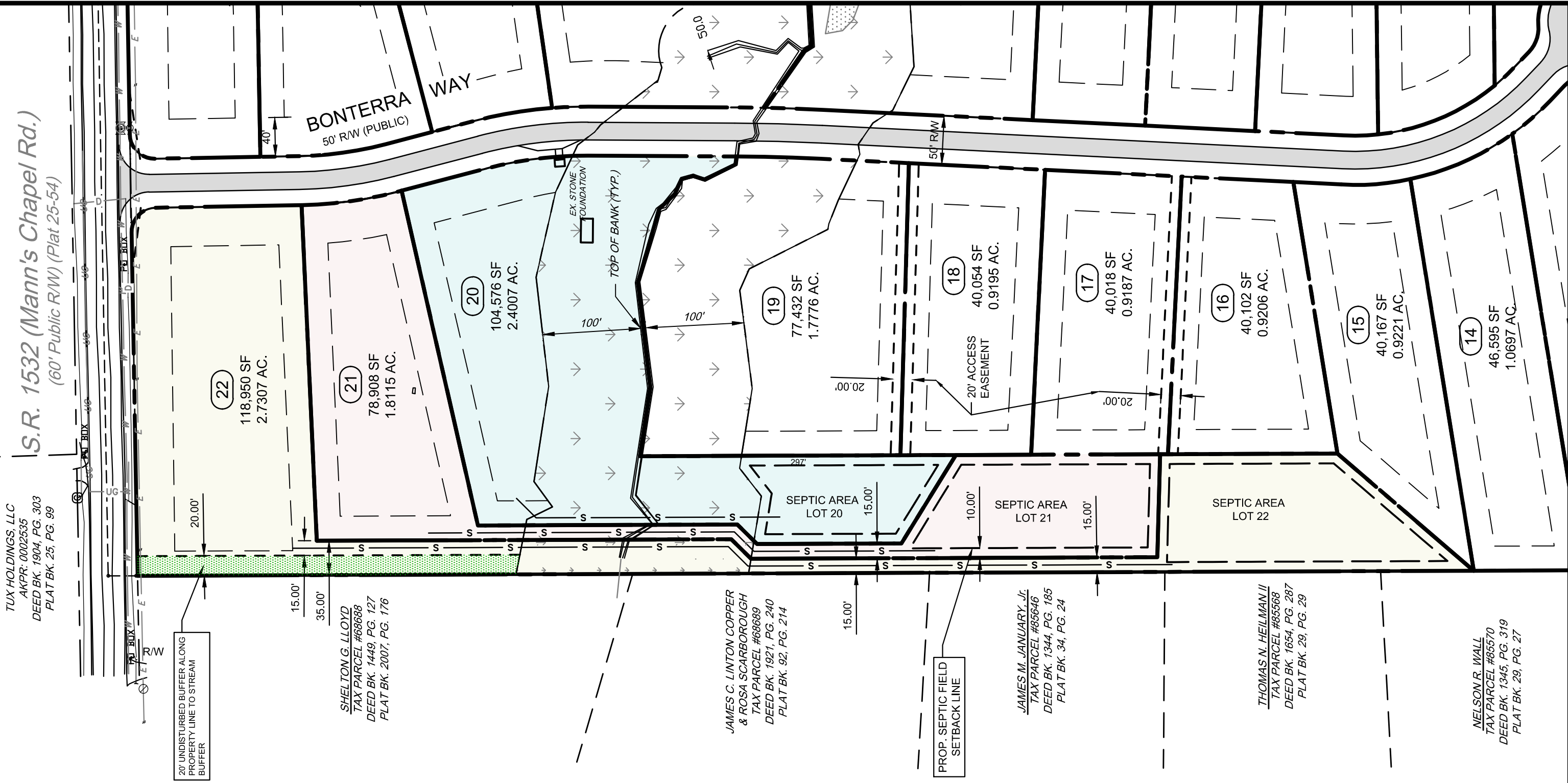
DRAWN BY: DMC

APPROVED BY: PCB

**CS1501**

SHEET 5 OF 5

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 PLOTTED: 6/25/2018 11:27:13 AM BY: DONALD CHITTY\_PLOTSTYLE: PENNONI NCS.STB, PROJECT STATUS: MAJOR SUBDIVISION APPROVAL



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**BONTERRA SUBDIVISION**  
 3954 MANN'S CHAPEL ROAD  
 CHAPEL HILL, NC 27516

**SEPTIC AREA EXHIBIT FOR PROPOSED LOTS 20, 21 & 22**

**IDEAL CAPITAL GROUP, LLC**  
 2100 COOK RIDGE COURT  
 RALEIGH, NC 27615

PROJECT	DLAZ1701
DATE	2018-06-25
DRAWING SCALE	1" = 100'
DRAWN BY	DMC
APPROVED BY	PCB
<b>EXH-A</b>	
SHEET 1 OF 1	