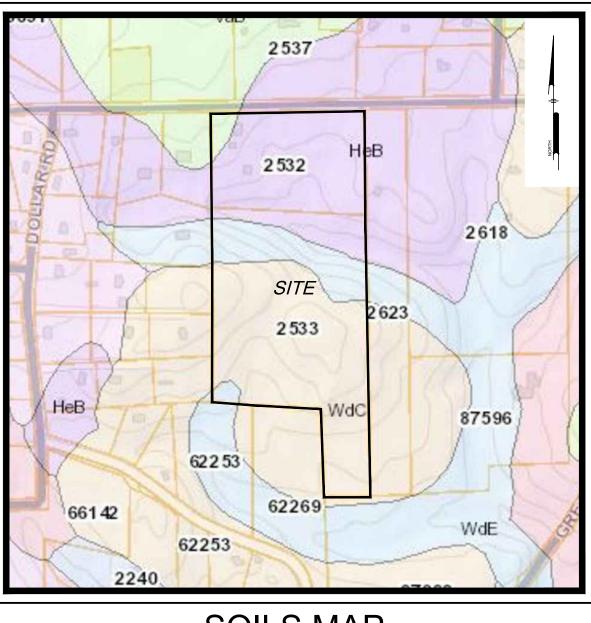


- . NET AREA IN TRACT: 1,347,871 S.F. (31.495 AC. TO CENTERLINE)
- 2. NUMBER OF LOTS: 22
- 3. PROPOSED ROAD: PUBLIC; PAVED 18' TRAVEL SURFACE; 50' R/W
- 4. WATER SUPPLY: CHATHAM COUNTY PUBLIC WATER.
- 5. SEWAGE DISPOSAL: INDIVIDUAL LOT SEPTIC SYSTEMS 6. LOT SIZE: 40,018 S.F. TO 118,950 S.F.; AVERAGE = 57,416 S.F.
- 7. PROPOSED SETBACKS: A) MANN'S CHAPEL: 40'; B) INTERIOR FRONT: 40'; C) REAR: 25'; D) SIDE: 25'
- 8. AREA IN PROPOSED PUBLIC STREET RIGHT-OF-WAY: 85,052 S.F.





SOILS MAP Scale: 1" = 500'



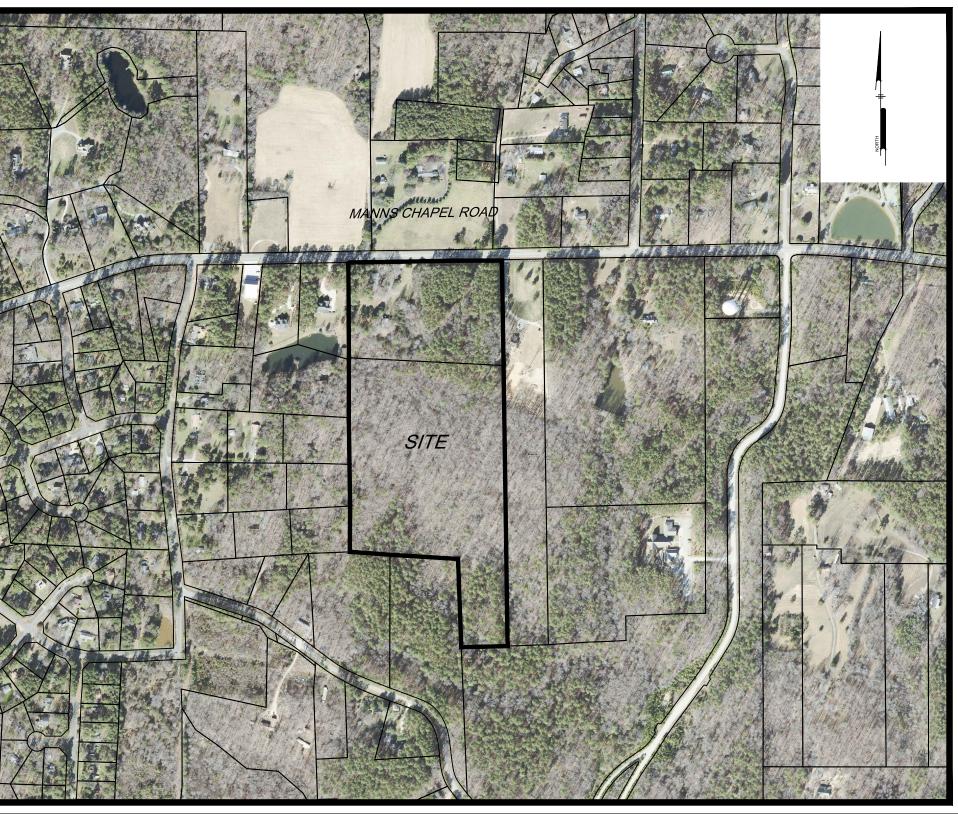
BONTERRA SUBDIVISION

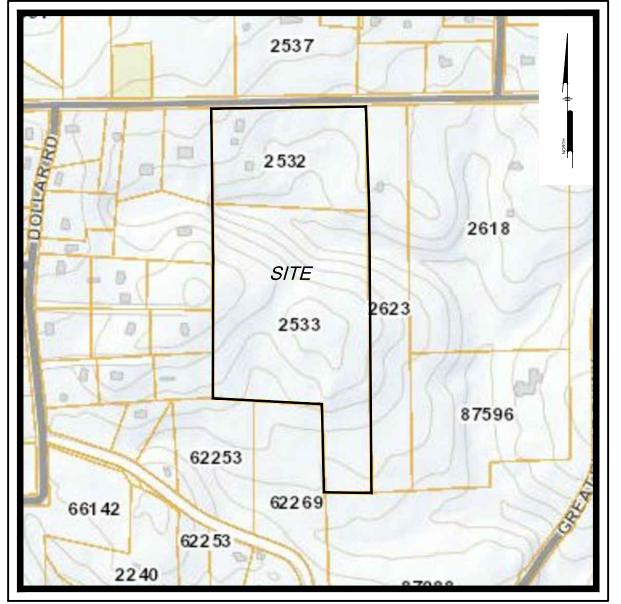
MAJOR SUBDIVISION APPROVAL 3954 MANNS CHAPEL ROAD

CHATHAM COUNTY, NORTH CAROLINA 2018-04-20

PREPARED FOR: OWNER/DEVELOPER IDEAL CAPITAL GROUP, LLC 2100 COOK RIDGE COURT RALEIGH, NC 27615

(919) 601-2816





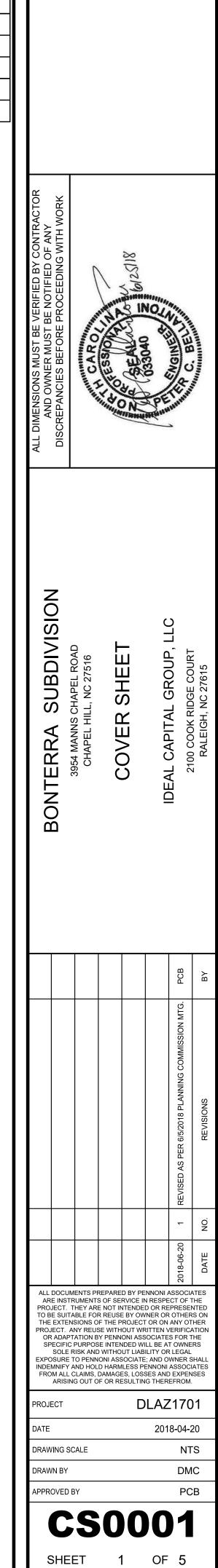
LOCATION MAP SCALE: 1" = 500'

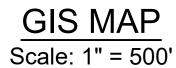
PREPARED BY: **PENNONI ASSOCIATES INC.**



401 Providence Road #200 Chapel Hill, NC 27514 **T** 919.929.1173 **F** 919.493.6548

SHEET LIST TABLE					
SHEET NAME SHEET NUMBER	SHEET TITLE				
CS0001 1	COVER SHEET				
CS0002 2	GENERAL NOTES SITE DATA & MASTER LEGEND				
CS0201 3	EXISTING CONDITIONS / DEMOLITION PLAN				
CS1001 4	SITE PLAN				
CS1501 5	SITE GRADING AND UTILITY PLAN				





PRELIMINARY **NOT FOR CONSTRUCTION**

	L NOTES:		DESCRIPTION	LEGEND PROPOSED	EXISTING
<u>RESPONS</u> DAVID LA	CAPITAL GROUP, LLC		CABLE TV, JUNCTION BOX	I NOI OSED	<u> </u>
	COOK RIDGE COURT GH, NC 27615		CABLE TV, MANHOLE		
	ING TOPOGRAPHIC FEATURES	2 EXIST	CABLE TV, OVERHEAD	oc oc	OC OC
	ARED BY PENNONI & ASSOCIAT		CABLE TV, PANEL BOX CABLE TV, PEDESTAL	<u> </u>	IV IV
	Y NOTES:	3. UTILII	CABLE TV, STUB OUT	Ŧ	\$ \$
	D STRUCTURES IS NOT GUARA	A. COM	CABLE TV, UNDERGROUND CABLE TV, WITNESS POST		<i>UCUC</i>
ROPOSED SERVICES AF	ATION OF ALL EXISTING AND F CONFIRMED INDEPENDENTI	B. LOC	CHANNEL		
	MMENCEMENT OF ANY CONS		COMMUNICATION, HANDHOLE		
	EPENDENTLY BY THE COMMENCEMENT OF CONSTRU		COMMUNICATION, JUNCTION BOX COMMUNICATION, MANHOLE	©	C
ERT (POINT OF CONNE	IEDIATELY IN WRITING TO T GINNING AT THE LOWEST IN	BE	COMMUNICATION, OVERHEAD	oc oc	OC OC
L BE FIELD VERIFIED	ADIENT. PROPOSED INTER DERGROUND UTILITIES SHA	UN	COMMUNICATION, PANEL BOX COMMUNICATION, PEDESTAL	C C	C .
UDING BUT NOT LIMITE	MMENCEMENT OF CONSTRUC UTILITIES AND SERVICES INCL	C. ALL	COMMUNICATION, FEDERAL	₽ ₽	₽ ₽
NCE SHALL BE VERTICA	ECTRIC, SANITARY AND STORM THIN THE LIMITS OF DISTURBA	WI	COMMUNICATION, UNDERGROUND	UC	<i>UCUC</i>
ATION SYSTEM TO LOC	CATED. THE CONTRACTOR SH. E APPLICABLE UTILITY NOTIFIC	TH	COMMUNICATION, WITNESS POST CONTROL, BENCHMARK		 �
	LITIES. THE CONTRACTOR IS F STING UTILITIES DURING CON		CONTROL, GPS		Δ
	OWN ON THE FLOOD INSURAN 976600K (PANEL 9787J), EFFEC		CONTROL, MAPPING CONTROL, REFERENCE		<u>م</u>
	VELOPED LIES WITHIN "ZONE) 00 YEAR FLOOD PLAIN.	BE DE	CONTROL, TRAVERSE		$\stackrel{\triangle}{\triangleq}$
			CURB		
			CURB DEPRESSION		
			EDGE OF GRAVEL		
			EASEMENT FENCE		
			FIBER OPTIC, HANDHOLE	x	× × × ×
			FIBER OPTIC, JUNCTION BOX		
			FIBER OPTIC, MANHOLE FIBER OPTIC, OVERHEAD	F0 F0	(FO) FO FO FO
			FIBER OPTIC, PANEL BOX		
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			FIBER OPTIC, UNDERGROUND		Ψ <i>F0 F0</i>
			FIBER OPTIC, WITNESS POST FLOODPLAIN	-0-	-0-
			FLOODPLAIN FUEL, MANHOLE	(FL)	(FL)
			FUEL, OVERHEAD	OFG OFG	OFG OFG
			FUEL, PLUG FUEL, PUMP	PUG PUMP	PUG PUMP
			FUEL, UNDERGROUND	UFG UFG	
			GUIDE RAIL LIMITS OF DISTURBANCE		÷ ⊥ ⊥
			MARKING, HANDICAP PARKING	گ	<u>ل</u> ب
			NATURAL GAS, METER NATURAL GAS, MANHOLE	G G	G
	LEGEND	Γ	NATURAL GAS, OVERHEAD	OG OG	0G0G
DESCRIPTION SANITARY SEWER, CL	<u>PROPOSED</u> O	EXISTING	NATURAL GAS, STUB OUT NATURAL GAS, VANDERGROUND	କ (ସ	\$ \Cl
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SANITARY SEWER, LA SANITARY SEWER, MA SANITARY SEWER, UN	ss	ss ss	PHONE, PANEL BOX	от от	<i>ОТ ОТ</i>
SANITARY SEWER, LA SANITARY SEWER, MA				от от Ш П	<i>0T0T</i> []]
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SPONSIBLE OFFICER: ID LAZZO

FROM A TOPOGRAPHIC SURVEY Г 9/21/2017

EPTH OF UNDERGROUND UTILITIES

- ICES ARE APPROXIMATE AND SHALL UTILITY COMPANIES PRIOR TO CAVATION. SANITARY SEWER AND POINTS SHALL BE CONFIRMED THE FIELD PRIOR TO THE REPANCIES SHALL BE REPORTED ONSTRUCTION SHALL COMMENCE CONNECTION) AND PROGRESS UP (CROSSINGS) WITH EXISTING ERIFIED BY TEST PIT PRIOR TO
- LIMITED TO GAS, WATER, ONE, CABLE, FIBER OPTIC, ETC. ERTICALLY AND HORIZONTALLY MPLY WITH THE REQUIREMENTS OF O LOCATE ALL THE UNDERGROUND
- REPAIRS OF DAMAGE TO ANY COST TO THE OWNER. R ORANGE COUNTY, NC, MAP
- 17 THE SITE AREA PROPOSED TO REAS DETERMINED TO BE OUTSIDE

- ON
- ER, CLEAN-OUT
- ER, FORCE MAIN
- ER, FORCE MAIN MANHOLE ER, FORCE STUB OUT
- ER, LATERAL
- VER, MANHOLE
- VER, UNDERGROUND (4" DIA TO 10" DIA) VER, SEPTIC TANK
- VER, STUB OUT
- VER, VALVE
- VER, WITNESS POST
- , INLET
- HEADWALL
- , MANHOLE
- , UNDERGROUND R, DOWNSPOUT LOCATION
- , ROOF DRAIN LINE
- , STAND PIPE
- , CLEAN-OUT
- WITNESS POST

- EMENT MARKING, BIKE LANE
- EMENT MARKING, TURN ARROWS
- EMENT MARKING, HOV LANE
- HOLE TION BOX
- HOLE BOX
- STAL STRIAN SIGNAL
- L POLE L POLE & LIGHT ARM
- B OUT HRUB
- GRASS LINE / LANDSCAPED AREA DECIDUOUS SHOWING CANOPY
- CONIFEROUS SHOWING CANOPY REE LINE
- BIB YDRANT
- TION HEAD
- TION VALVE BOX OLE
- INDICATOR VALVE SE CONNECTION
- RGROUND RGROUND FIRE
- SS POST

GENERAL CONSTRUCTION AND GRADING NOTES:

STORMWATER MANAGEMENT PLAN.

- 1. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND OSHA STANDARDS ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- 2. THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING NOT BUT NOT LIMITED TO: EROSION AND SEDIMENTATION CONTROL PLAN
- 3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERROR THEY DISCOVER IN THE PLANS.
- 4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE OF THE WORK TO BE UNACCEPTABLE.
- 5. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- 6. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPLICANT.
- 7. TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION IN ACCORDANCE WITH CURRENT AND NCDOT STANDARDS.
- 8. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, FENCING AND OTHER APPROPRIATE SAFETY ITEMS/MEASURES NECESSARY TO PROTECT THE PUBLIC FROM THE WORK AREA CONSTRUCTION ACTIVITIES.
- 9. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- 10. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC., WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1)
- 11. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONALLY BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- 12. BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 13. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, A) REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED, OR B) REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- 14. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- 15. SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- 16. ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- 17. ALL PAVEMENT MARKINGS AND REGULATORY SIGNS SHALL CONFORM TO CURRENT MUTCD STANDARDS.

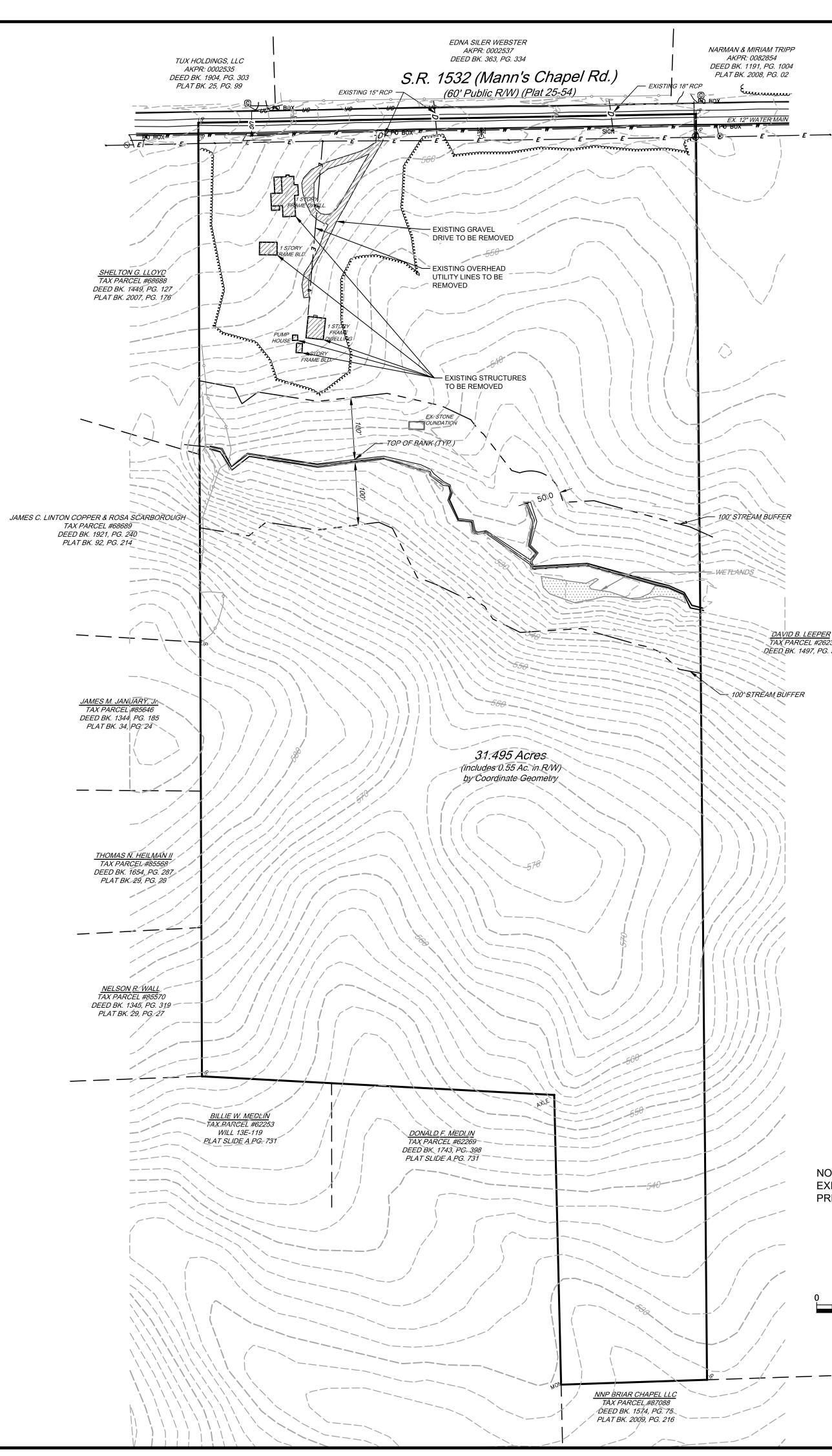
GENERAL UTILITY NOTES:

- 1. ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, E SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WIT LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCAT CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APP UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILIT CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING U DURING CONSTRUCTION AT NO COST TO THE OWNER.
- 2. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND I EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL PAID ADDITIONALLY FOR THIS COORDINATION.
- 3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEF START OF WORK AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FC PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND I ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSU RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND U AND STRUCTURES IS NOT GUARANTEED.
- 4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR EXACT LOCAT PROTECTION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE / ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- 5. CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLI CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTION FEE CONSTRUCTION. REFER TO COVER SHEET FOR AVAILABLE UTILITY COMPANY
- 6. CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNEC EXISTING SERVICES OR NEW SERVICE AND IS RESPONSIBLE FOR THE CONST OF EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICAT
- 7. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBAN CURBING, PAVING, AND COMPACTED SUB-GRADE.
- 8. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE AND ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- 9. ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURE CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLA
- 10. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEME SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY
- 11. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEF GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES (REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEE SPECIFICATIONS.
- 12. CONTRACTOR SHALL EXCAVATE ONLY ENOUGH TRENCH FOR WHICH PIPE INSTALLED AND TRENCH BACKFILLED BY THE END OF EACH WORK DAY.
- 13. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS M FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL H RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUI PROPERLY CONSTRUCT THE WORK.
- 14. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEE SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THI A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEA THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

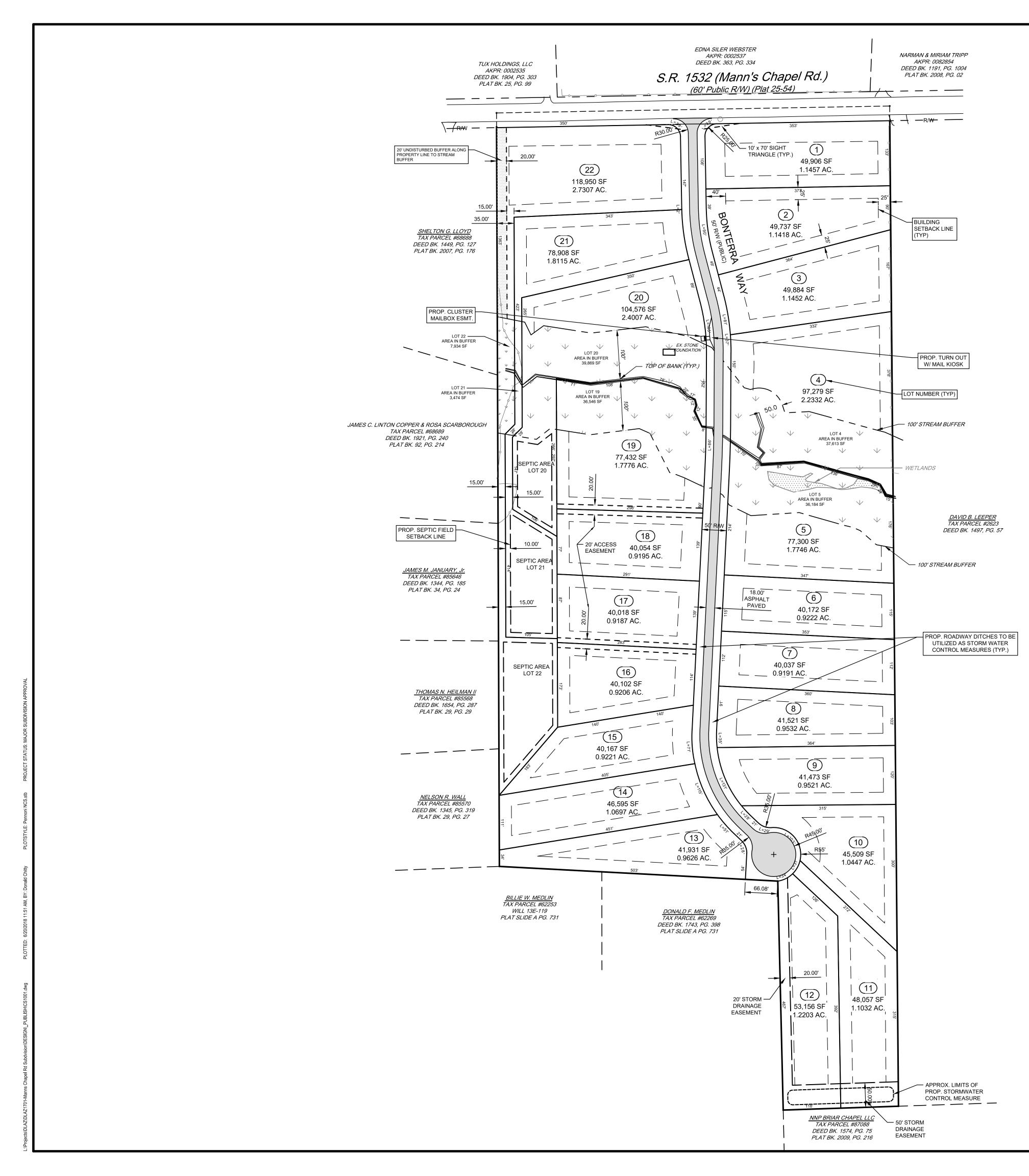
15. RUNOFF FROM IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE SEWER NOR ONTO ADJACENT PROPERTIES.

- 16. ALL JOINTS ON THE STORM WATER CONVEYANCE SYSTEM SHALL BE WATERTIG
- 17. ALL CONSTRUCTION ASSOCIATED WITH WATER SHALL BE IN ACCORDANCE CHATHAM COUNTY PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- 18. ALL ELECTRICAL SERVICE LINES TO OR AROUND THE PROPOSED STRUCTURE UNDERGROUND.

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LOT AREA TABLE								
LOT #	TOTAL AREA (sf)	AREA (ac)	AREA IN BUFFER	STREAM AREA	USABLE AREA			
LOT 1	49,906 SF	1.15	0	0	49,906 SF			
LOT 2	49,737 SF	1.14	0	0	49,737 SF			
LOT 3	49,884 SF	1.15	0	0	49,884 SF			
LOT 4	97,279 SF	2.23	37,613 SF	1,359 SF	58,307 SF			
LOT 5	77,300 SF	1.77	36,184 SF	939 SF	40,177 SF			
LOT 6	40,172 SF	0.92	0	0	40,165 SF			
LOT 7	40,037 SF	0.92	0	0	40,032 SF			
LOT 8	41,521 SF	0.95	0	0	41,520 SF			
LOT 9	41,473 SF	0.95	0	0	41,473 SF			
LOT 10	45,509 SF	1.04	0	0	45,509 SF			
LOT 11	48,057 SF	1.10	0	0	48,057 SF			
LOT 12	53,156 SF	1.22	0	0	53,156 SF			
LOT 13	41,931 SF	0.96	0	0	41,931 SF			
LOT 14	46,595 SF	1.07	0	0	46,595 SF			
LOT 15	40,167 SF	0.92	0	0	40,167 SF			
LOT 16	40,102 SF	0.92	0	0	40,102 SF			
LOT 17	40,018 SF	0.92	0	0	40,018 SF			
LOT 18	40,054 SF	0.92	0	0	40,054 SF			
LOT 19	77,432 SF	1.78	36,546 SF	857 SF	40,029 SF			
LOT 20	104,576 SF	2.40	39,869 SF	1,419 SF	63,288 SF			
LOT 21	78,908 SF	1.81	3,474 SF	131 SF	75,303 SF			
LOT 22	118,950 SF	2.73	7,934 SF	115 SF	110,901 SF			

DELINEATION OF WATERS AND STREAM BUFFERS BASED UPON DOCUMENT ENTITLED, "FIGURE 3 - SKETCH MAP" DATED 10/26/17, AS PREPARED BY S&EC, PA.

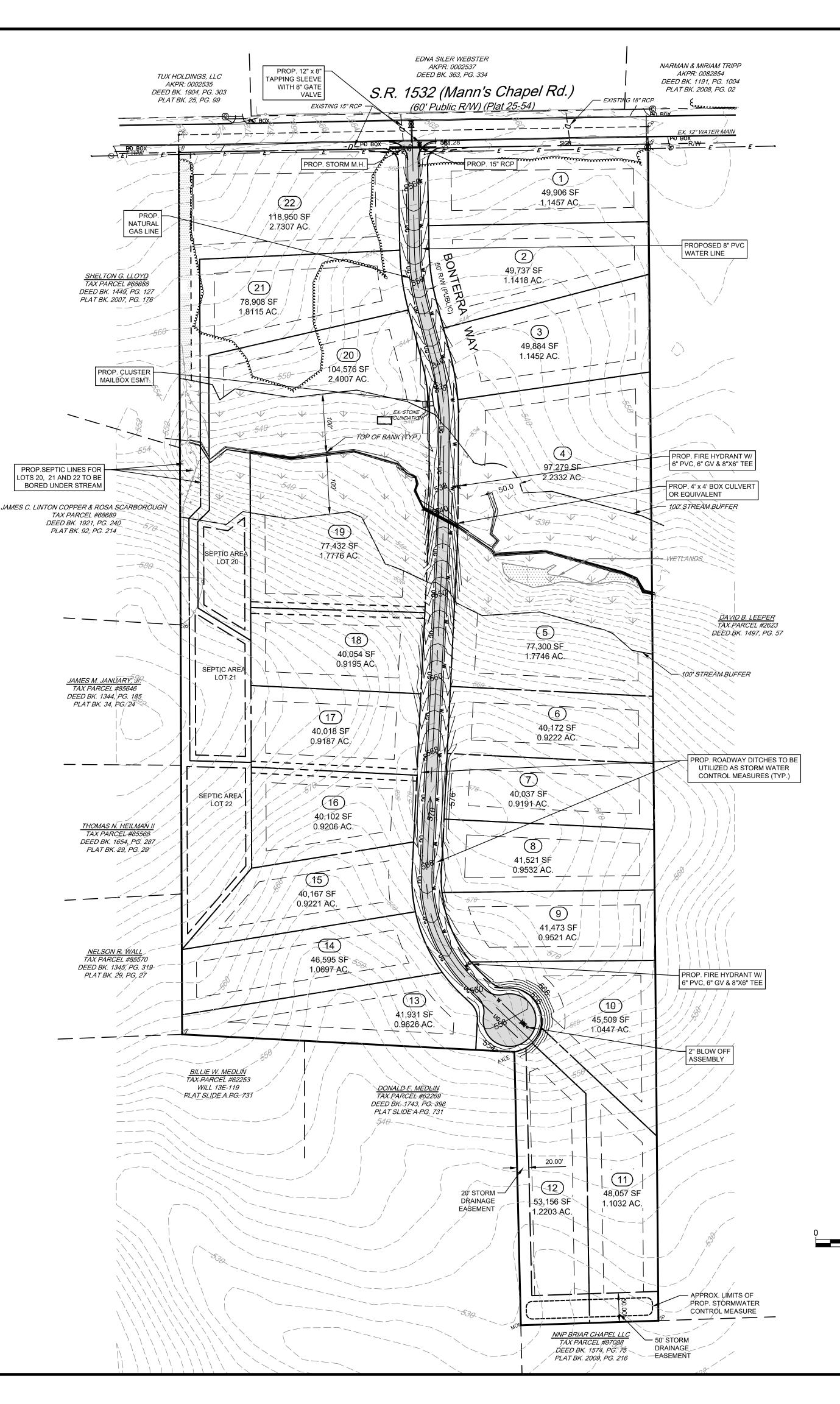
USACOE NOTICE OF JURISDICTIONAL DETERMINATION ISSUED 4/18/18. ID SAW - 2017 - 02253.

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CIATES INC Road #200 ASSO PENNONI , 401 Prov Chape ΒY V AN SUBDIVISION Δ \mathbf{C} \supset Š ADING RRA R F BO SITE ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS O THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATIO OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AN EXPENSES ARISING OUT OF OR RESULTING THEREFROM DLAZ1701 PROJECT 2018-04-20 DATE DRAWING SCALE 1"= 100' DMC DRAWN BY PCB APPROVED BY **CS1501** SHEET OF 5 5

DELINEATION OF WATERS AND STREAM BUFFERS BASED UPON DOCUMENT ENTITLED, "FIGURE 3 - SKETCH MAP" DATED 10/26/17, AS PREPARED BY S&EC, PA.

USACOE NOTICE OF JURISDICTIONAL DETERMINATION ISSUED 4/18/18. ID SAW - 2017 - 02253.

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100' 200'

